

RESTROOM RENOVATION FOR:

CENTRAL FIRE STATION

906 VERMONT STREET, QUINCY, IL 62301

PREBID MEETING: MARCH 2, 2021 @ 10:00 AM

BID OPENING: MARCH 11, 2021 @ 2:00 PM

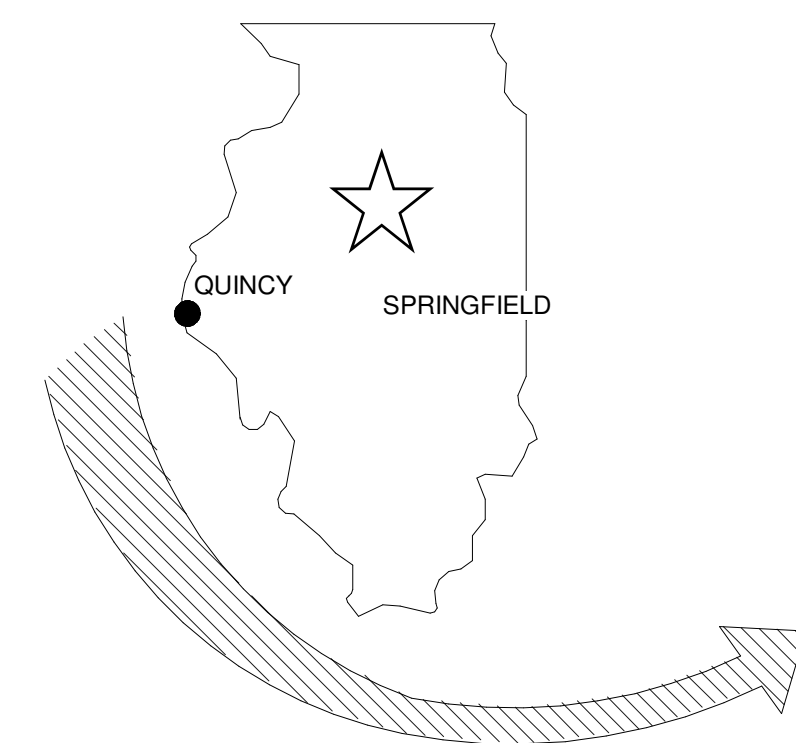
GENERAL NOTES

- 1 CONTRACTOR TO VERIFY ALL DIMENSIONS.
- 2 ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- 3 DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
- 5 THE CONTRACTOR WITH THE COOPERATION OF THE OWNER SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
- 6 THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
- 7 THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
- 8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 9 THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
- 10 THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY MEASURES FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.

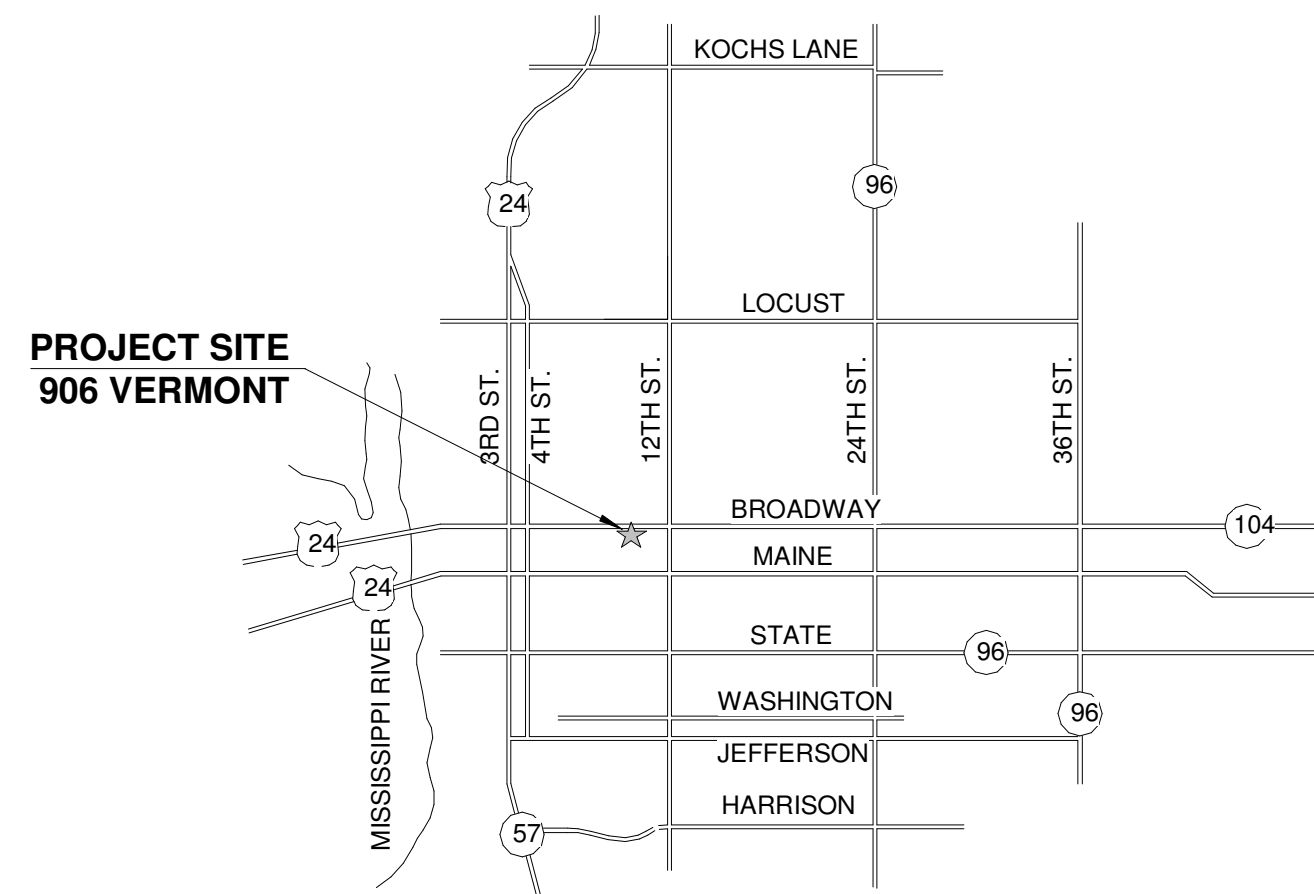
CONTACT INFORMATION

JACQUES REYNOLDS, AIA - PROJECT ARCHITECT
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 QUINCY, IL 62301
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STATE OF ILLINOIS



CITY OF QUINCY

ADA COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A./ADAAG) AND TITLE 17 ILLINOIS ADMINISTRATIVE CODE (I.A.C) SECTION 400

AMERICANS WITH DISABILITIES ACT (A.D.A./ADAAG)
 TITLE 17 ILLINOIS ADMINISTRATIVE CODE (I.A.C)

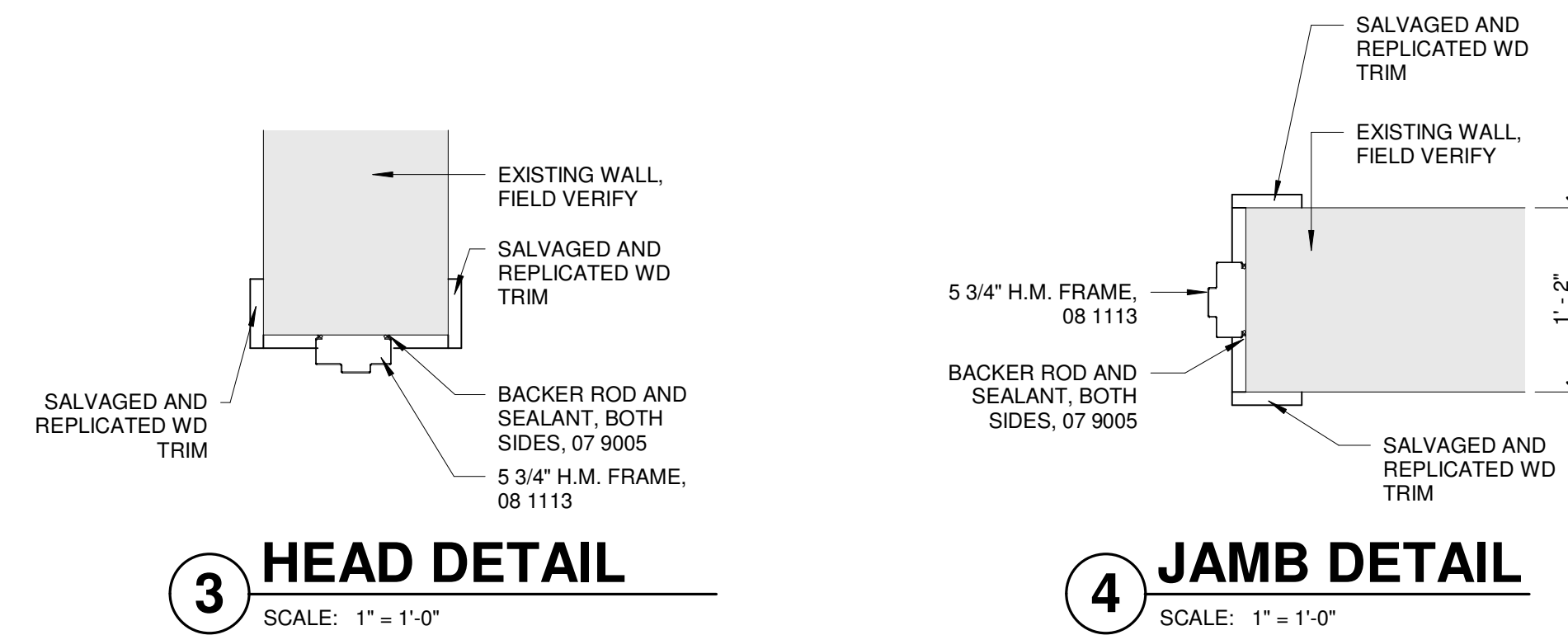
ARCHITECHNICS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE 'AMERICANS WITH DISABILITIES ACT' AND OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS. ARCHITECHNICS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A., WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK DEVIATING FROM THESE DOCUMENTS AND/OR DRAWINGS.

APPLICABLE CODES

INTERNATIONAL BUILDING CODE 2006
 NATIONAL ELECTRIC CODE 2011
 ILLINOIS STATE PLUMBING CODE
 ILLINOIS ENERGY CONSERVATION CODE
 ILLINOIS ACCESSIBILITY CODE
 ILLINOIS FIRE CODE 2006
 CITY OF QUINCY MUNICIPAL CODE

INDEX OF DRAWINGS

- G1.0 TITLE
- A1.0 PLANS AND DETAILS
- A2.0 PLANS AND DETAILS
- MEP1.0 MAIN LEVEL MEP PLANS
- MEP2.0 UPPER LEVEL MEP PLANS

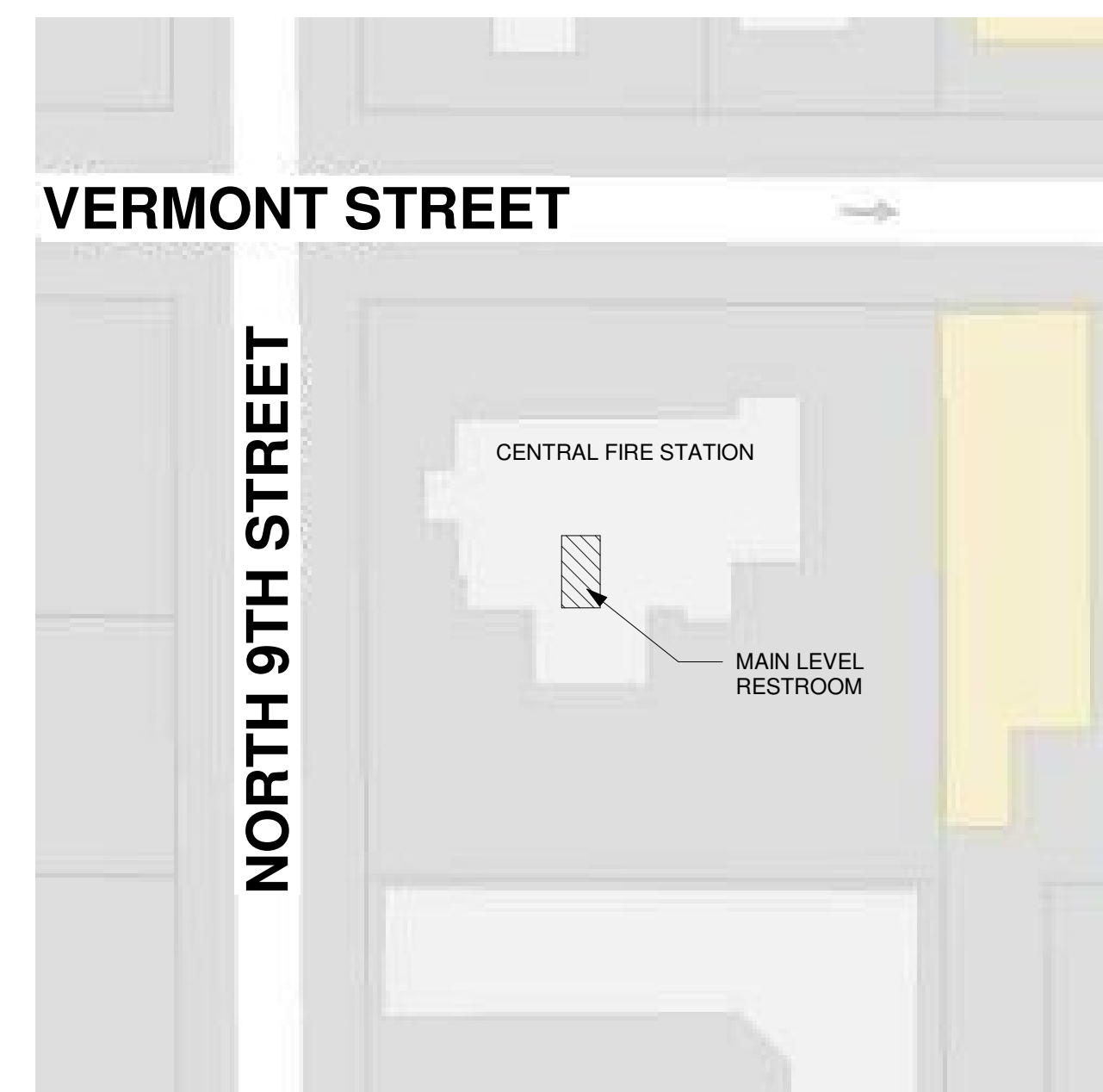


3 HEAD DETAIL

SCALE: 1" = 1'-0"

4 JAMB DETAIL

SCALE: 1" = 1'-0"



2 KEY PLAN

SCALE: N.T.S.

CURRENT DATE: 02/05/2021



LICENSE EXPIRES: 11/30/22

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BIDDING PHASE

NOT FOR CONSTRUCTION

SET ISSUE DATE: 02/05/2021

REVISIONS	DATE	REMARKS

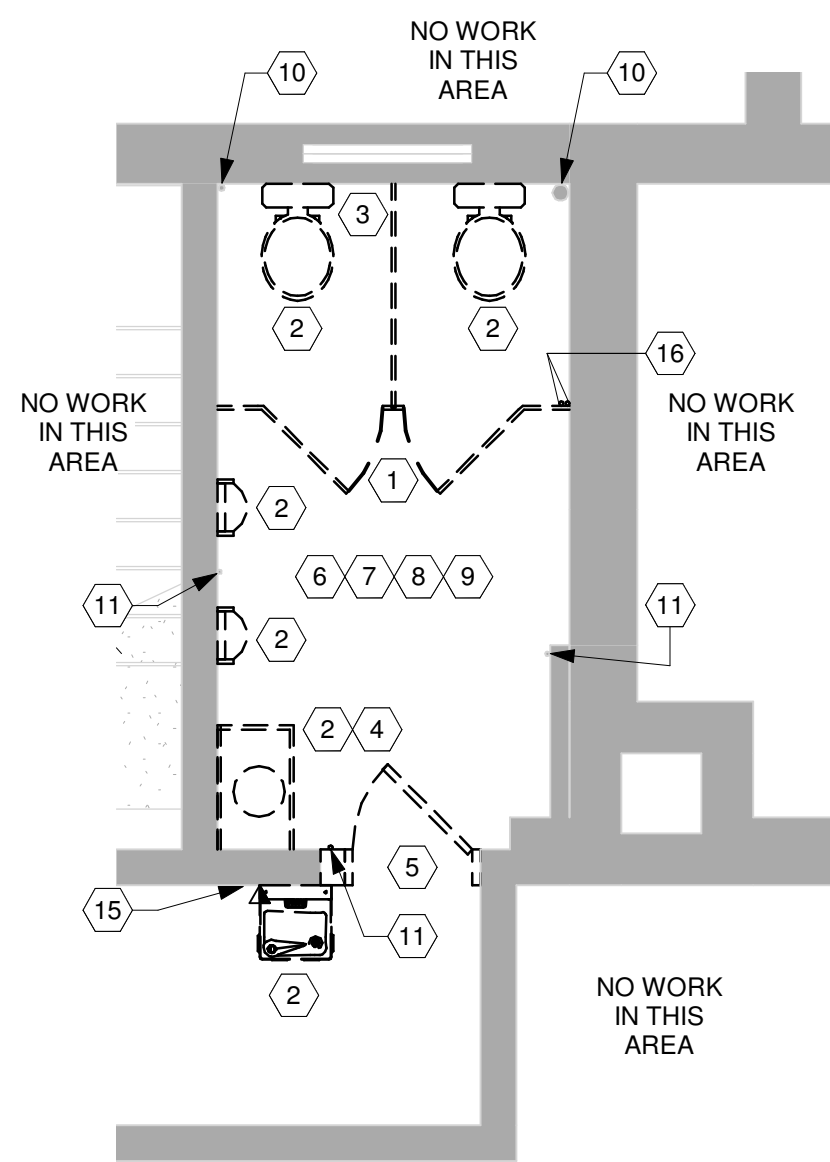
PROJECT NUMBER: 6027

TITLE

DWG. NO.

G1.0

KEYED NOTES APPLY TO PLANS ON SHEET A2.0 ALSO

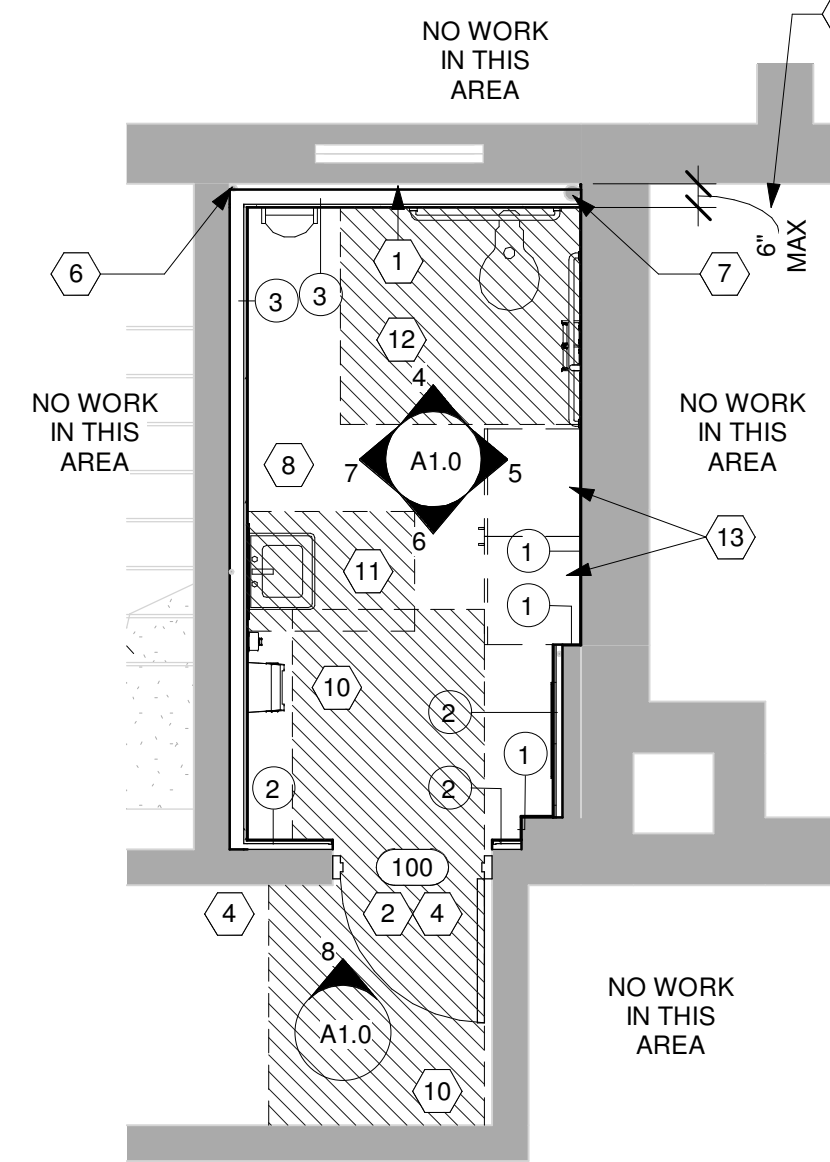


1 MAIN LEVEL - DEMO PLAN
SCALE: 1/4" = 1'-0"

MAIN LEVEL DEMO KEYED NOTES

- REMOVE ALL PORTIONS OF EXISTING TOILET PARTITIONS, SALVAGE UPPER LEVEL PARTITIONS AND RETURN TO OWNER
- REMOVE ALL PORTIONS OF EXISTING TOILET FIXTURES. SALVAGE DRINKING FOUNTAIN FOR REPLACEMENT. SALVAGE ONE UPPER LEVEL URINAL FOR REPLACEMENT. REFER TO PLUMBING PLANS
- REMOVE ALL PORTIONS OF EXISTING WINDOW TRIM AND PREPARE FOR NEW CONSTRUCTION
- REMOVE ALL PORTIONS OF EXISTING BASE CABINET AND COUNTERTOP
- REMOVE ALL PORTIONS OF EXISTING DOOR, FRAME AND TRIM AND PREPARE FOR NEW WORK. REMOVE PORTIONS OF MASONRY WALL AS REQ'D FOR NEW DOOR. SALVAGE BRICK TO BE REPLACED AND TOOTHED IN AT NEW OPENING. REFER TO DETAIL 10/A1.0.
- REMOVE ALL PORTIONS OF EXISTING TILE FLOORING AND TILE BASE
- REMOVE ALL PORTIONS OF EXISTING FRP WALL PANELING
- REMOVE ALL PORTIONS OF EXISTING CEILING INCLUDING ALL ATTACHED ITEMS. EXHAUST FAN TO REMAIN. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS
- REMOVE ALL PORTIONS OF EXISTING WALL MOUNTED ITEMS (TOWEL DISPENSER, SOAP DISPENSER, MEDICINE CABINET, ETC)
- EXISTING VENT OR DRAIN PIPE TO REMAIN, PROTECT AS REQ'D
- EXISTING WATER SUPPLY PIPE AND LATERALS, REFER TO PLUMBING PLANS
- DEMOLISH ALL PORTIONS OF EXISTING WATER HYDRANT. REFER TO ELECTRICAL DRAWINGS
- EXISTING STEAM PIPES TO BE DEMO'D, REFER TO PLUMBING DWGS
- EXISTING WINDOW AND TRIM TO REMAIN.

KEYED NOTES APPLY TO PLANS ON SHEET A2.0 ALSO



2 MAIN LEVEL - NEW PLAN
SCALE: 1/4" = 1'-0"

MAIN LEVEL KEYED NOTES

- EXISTING WINDOW CONCEALED BY NEW WALL
- NEW OPENING FOR NEW DOOR, SEE ELEVATION 8/A1.0 AND DETAIL 10/A1.0.
- PATCH AND REPAIR PLASTER, BRICK AND TRIM AROUND NEW DOORWAY AND FORMER DRINKING FOUNTAIN LOCATION. PAINT PLASTER AND TRIM TO MATCH ADJACENT CONSTRUCTION
- HOLD NEW WALL OFF TO CLEAR VENT PIPES
- EXISTING VENT PIPE TO REMAIN
- EXISTING DRAIN PIPE TO REMAIN, PAINT FINISH
- NEW CERAMIC TILE FLOOR WITH INTEGRAL BASE, SEE SPEC
- MINIMUM CLEAR FLOOR AREA REQ'D AT DOOR
- MINIMUM CLEAR FLOOR AREA REQ'D AT SINK
- MINIMUM CLEAR FLOOR AREA REQ'D AT TOILET
- NEW TALL CABINET, SEE SPEC
- 3 5/8" WALL APPROX 4'-0" TALL, CAP WITH SOLID WOOD, STAINED, 1 5/8" WALL ABOVE
- PROVIDE BLOCKING IN WALL. COORDINATE WITH OWNER

WALL TYPES

- FRP ADHERED/FASTENED TO EXISTING SUBSTRATE
- 1 1/2" METAL HAT CHANNELS W/ MOISTURE RESISTANT GWB SHEETING AND FRP
- 3 5/8" METAL STUDS W/ MOISTURE RESISTANT GWB SHEETING AND FRP

NOTE: PROVIDE BLOCKING FOR ALL PLUMBING AND TOILET ACCESSORIES. COORDINATE WITH ARCHITECT AND PLUMBING CONTRACTOR.

SEE SPEC 10 2800 FOR ALL TOILET ROOM ACCESSORIES. ALL ACCESSORIES MAY NOT BE SHOWN IN ELEVATIONS.

GENERAL FINISH NOTES

- WORKMANSHIP SHALL BE THE BEST OF ITS RESPECTIVE KINDS FOR EACH OF THE VARIOUS TRADES EMPLOYED.
- PROVIDE AND CONTINUE SCHEDULED FLOORING FROM PARTITION TO PARTITION AND UNDER MILLWORK UNLESS OTHERWISE NOTED.
- ALL WALL MOUNTED GRILLS AND EQUIPMENT TO BE PAINTED TO MATCH WALL UNLESS NOTED OTHERWISE.
- ALL OUTLET COVERS, RECEPTACLES, AND TRIMS TO BE WHITE.

ABBREVIATIONS

- ACT ACOUSTIC CEILING TILE
- CT CERAMIC TILE
- MFG MANUFACTURER
- P PAINT
- PL PLASTIC LAMINATE
- RCB RUBBER COVE BASE

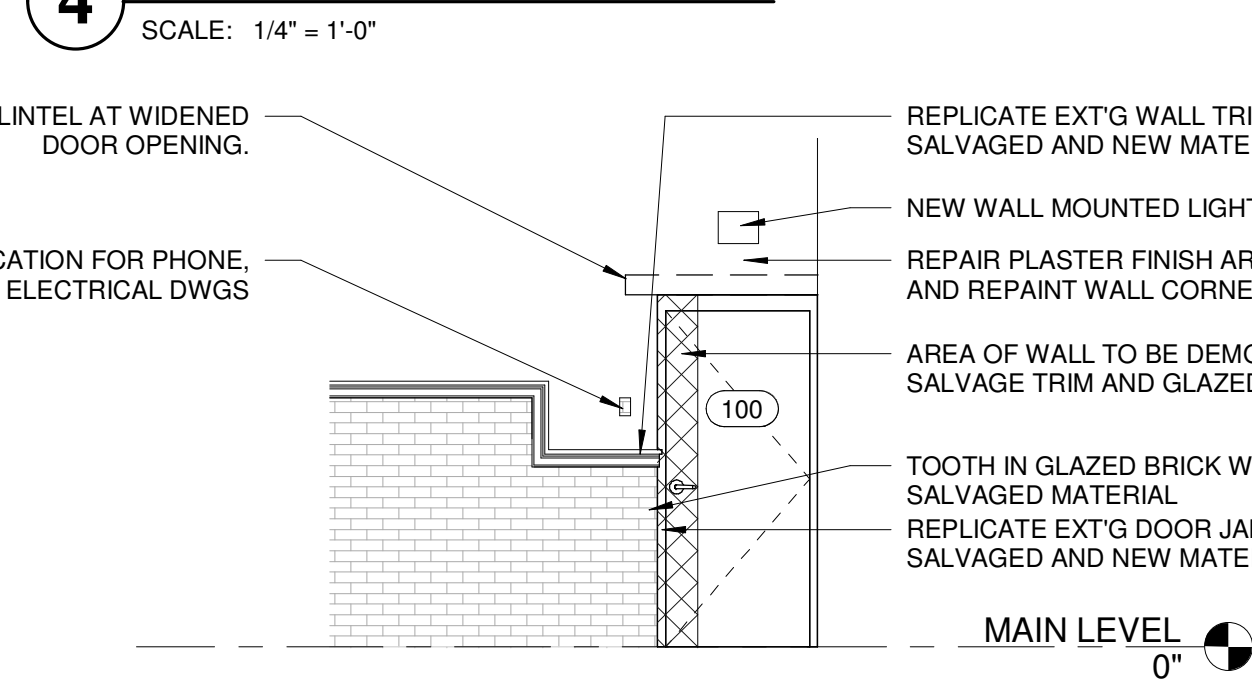
INTERIOR FINISH SPECIFICATIONS

- ACOUSTICAL CEILING TILE**
ACT-1 (MAIN)
MFG: ARMSTRONG
STYLE: MESA
STYLE #: 684
EDGE: 15/16" ANGLED TEGULAR
SIZE: 24"x48"
COLOR: WHITE
GRID COLOR: WHITE
REP: BRETT LINDENMEYER
618-830-5462
- PAINT**
P1
MFG: SHERWIN WILLIAMS
COLOR: ACCESSIBLE BEIGE
NO: SW 7036
- P2 DOOR FRAME AND TRIM**
MFG: SHERWIN WILLIAMS
COLOR: TBD
NO: TBD
- P3 PLASTER WALL OUTSIDE RESTROOM**
MFG: SHERWIN WILLIAMS
COLOR: TBD
NO: TBD
- CERAMIC TILE**
CT-1
MFG: ATLAS CONCORDE USA
STYLE: SIGN
COLOR: GREIGE
SIZE: 12X24
INSTALL: SEE PLANS/ELEVATIONS
BASE: COORDINATING 6X12 COVE
- PLASTIC LAMINATE**
PL-1
MFG: TBD
STYLE: TBD
STYLE #: TBD
REP:
- RUBBER COVE BASE**
RCB-1
MFG: JOHNSONITE
STYLE: 6" COVE
COLOR: TBD
REP: ADAM GLASER
314-405-0147
- GROUT**
MFG: MAPEI
PRODUCT: FLEXCOLOR CQ
COLOR: 11 SAHARA BEIGE
THICKNESS: 1/8"
- DOOR FINISH**
MFG: GRAHAM
SPECIES: SEE SPEC
STAIN: TBD

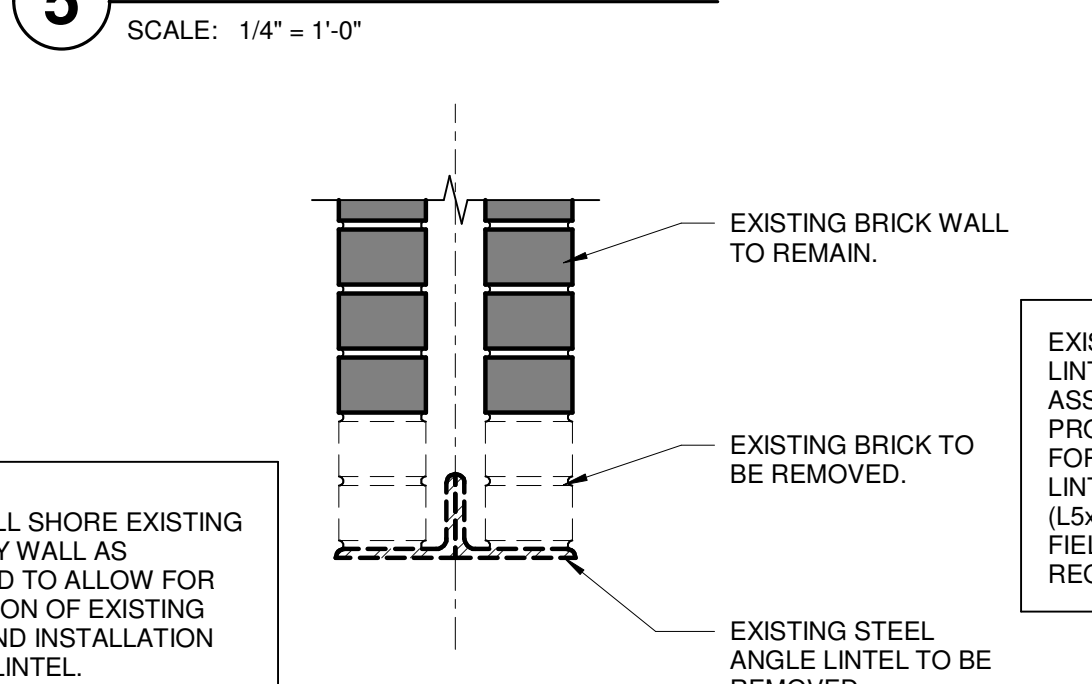
DOOR SCHEDULE

WT	SIZE			DOOR		FRAME					HDWE. GROUP	REMARKS		
	W.	HT.	TH.	MAT'L	FIN.	MAT'L	FIN.	TYPE	HEAD	JAMB			THRESHOLD	
100	3'-0"	7'-0"	1 3/4"	WD	PT	12/A1.0	HM	PT	11/A1.0	3/G1.0	4/G1.0	NONE	01	MATCH EXT'G HEIGHT

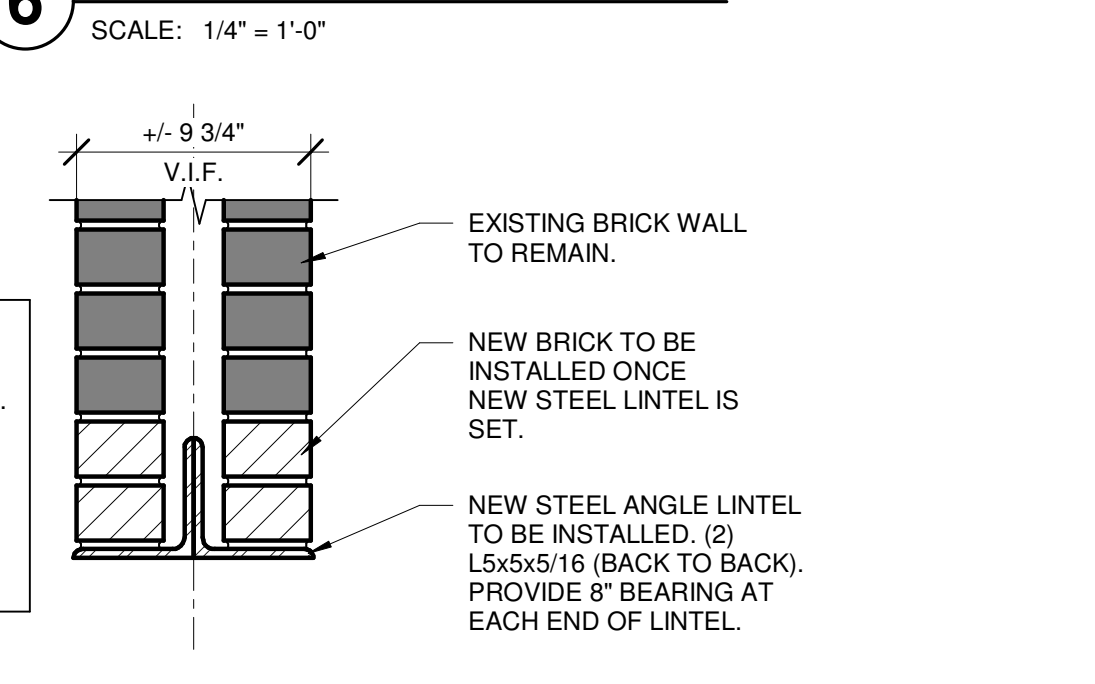
4 SOUTH ELEVATION



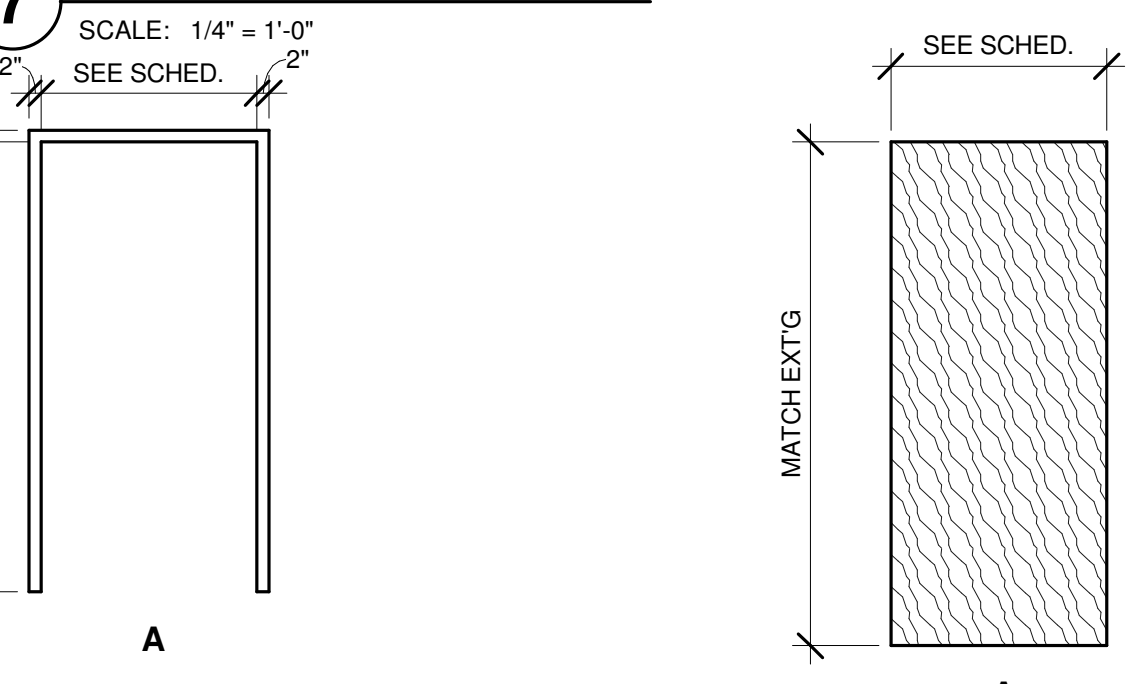
5 WEST ELEVATION



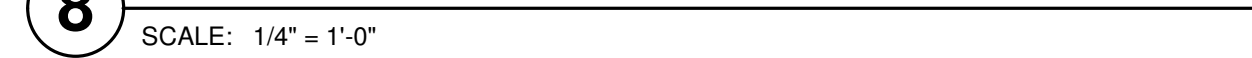
6 NORTH ELEVATION



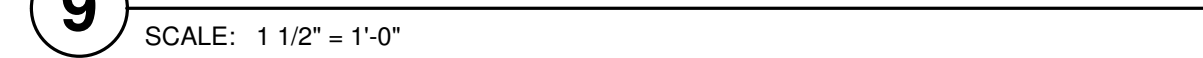
7 EAST ELEVATION



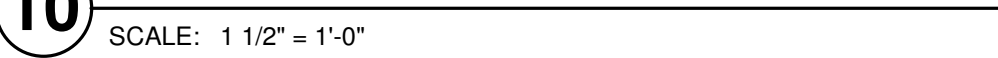
8 SOUTH ELEVATION - RESTROOM ENTRY



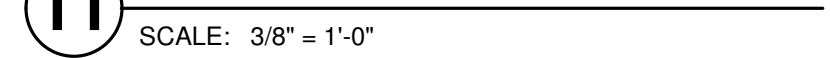
9 EXISTING STEEL LINTEL DETAIL



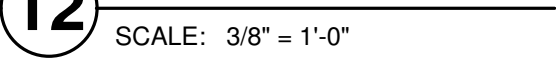
10 NEW STEEL LINTEL DETAIL



11 DOOR FRAME TYPES



12 DOOR TYPES



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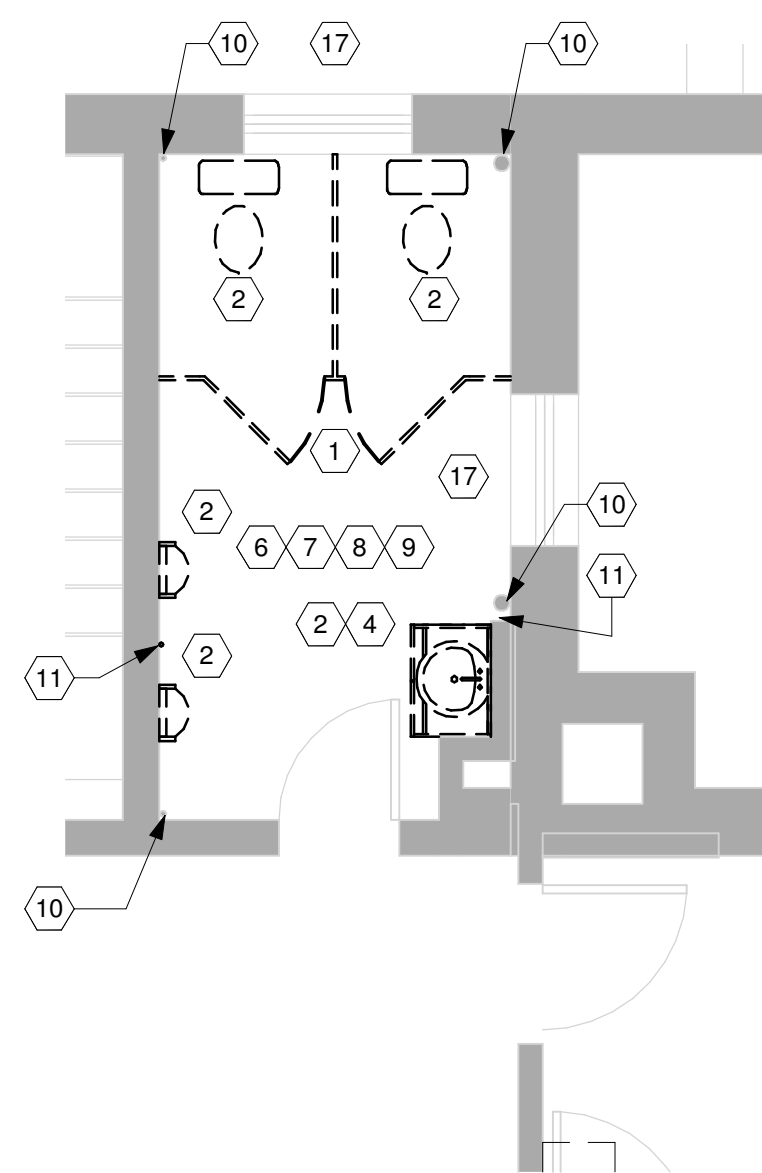
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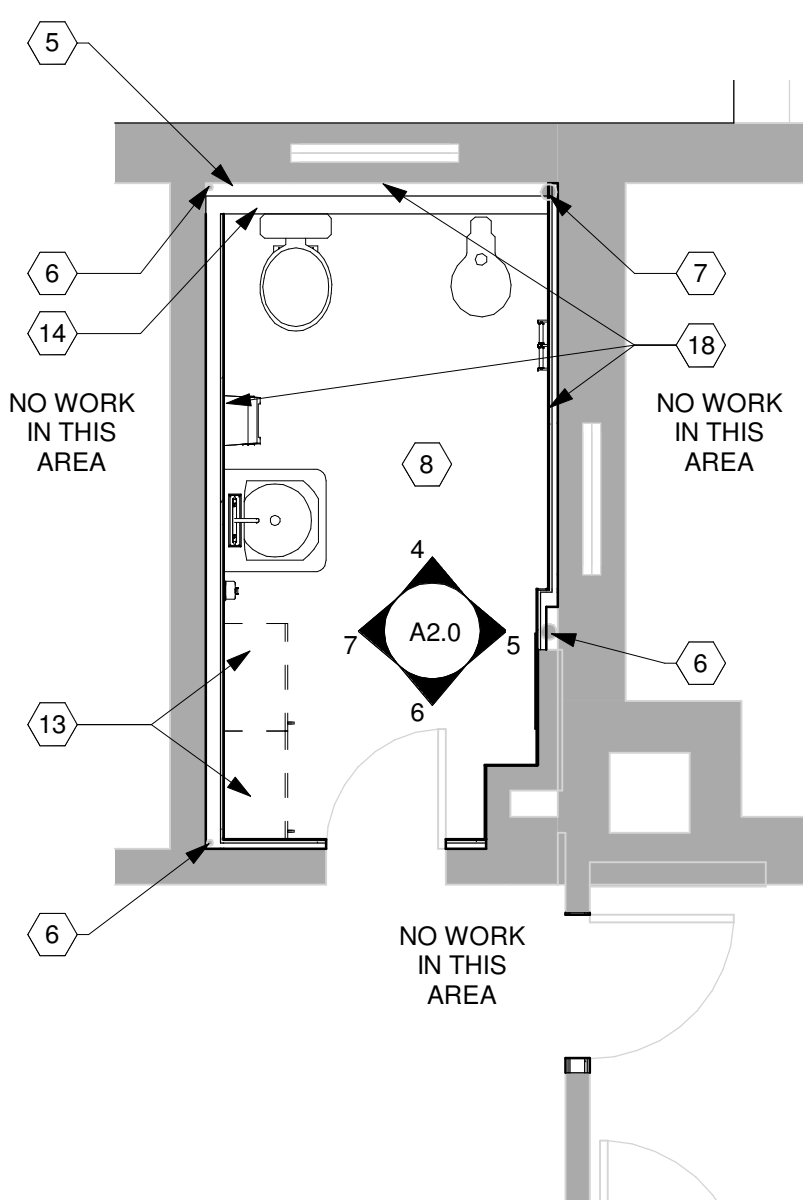
PLANS AND DETAILS

DWG. NO.

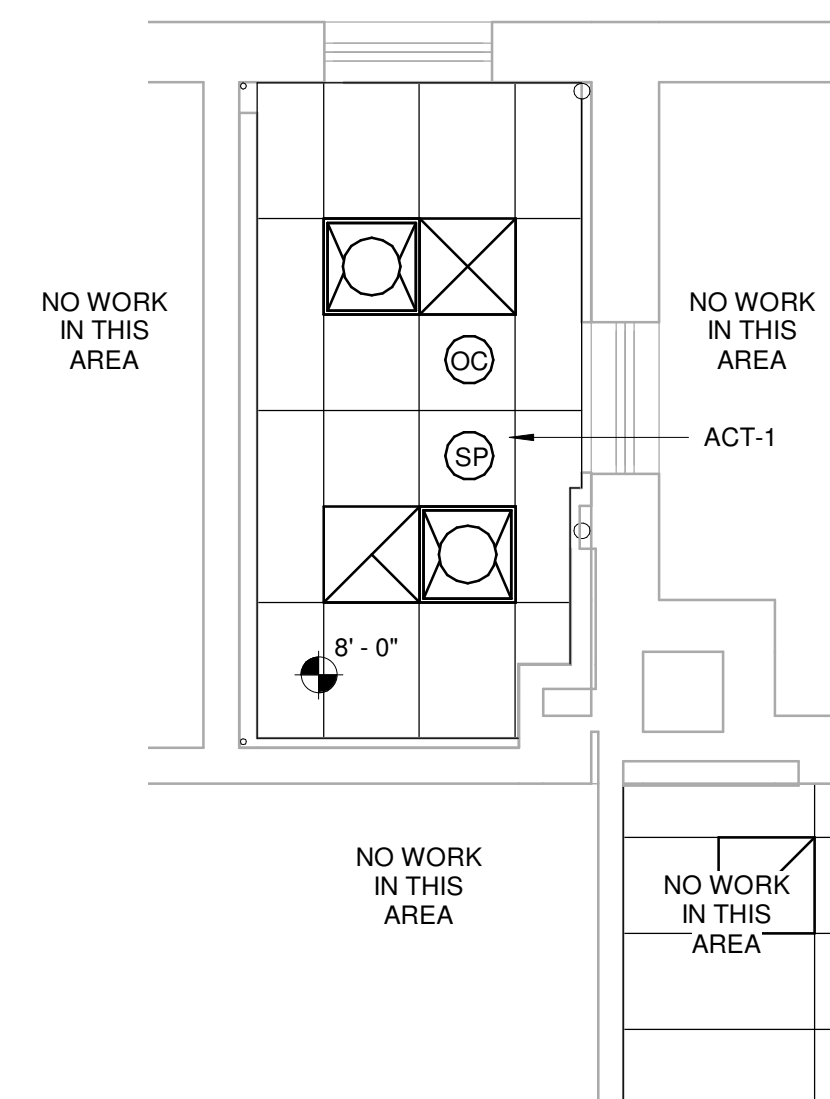
A1.0



1 UPPER LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"



2 UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL RCP
SCALE: 1/4" = 1'-0"

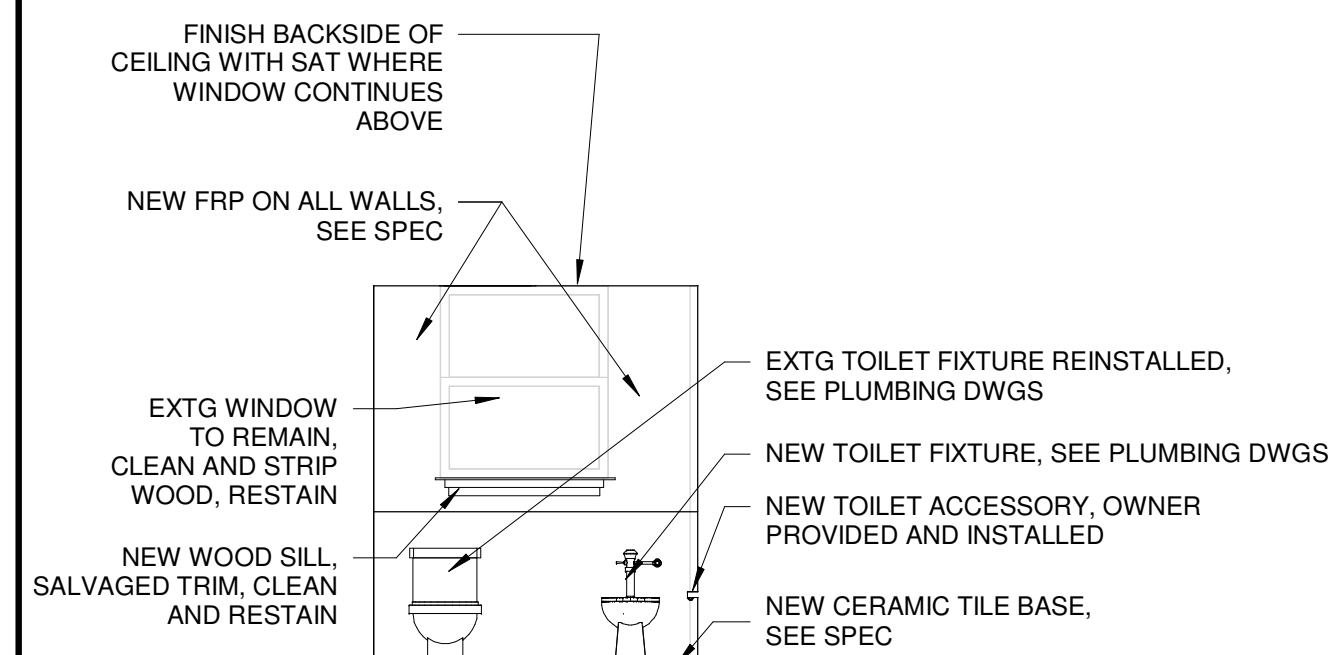
REFER TO SHEET A1.0 FOR FINISH NOTES
REFER TO SHEET A1.0 FOR WALL TYPES

NOTE: PROVIDE BLOCKING FOR ALL PLUMBING AND TOILET ACCESSORIES. COORDINATE WITH ARCHITECT AND PLUMBING CONTRACTOR.

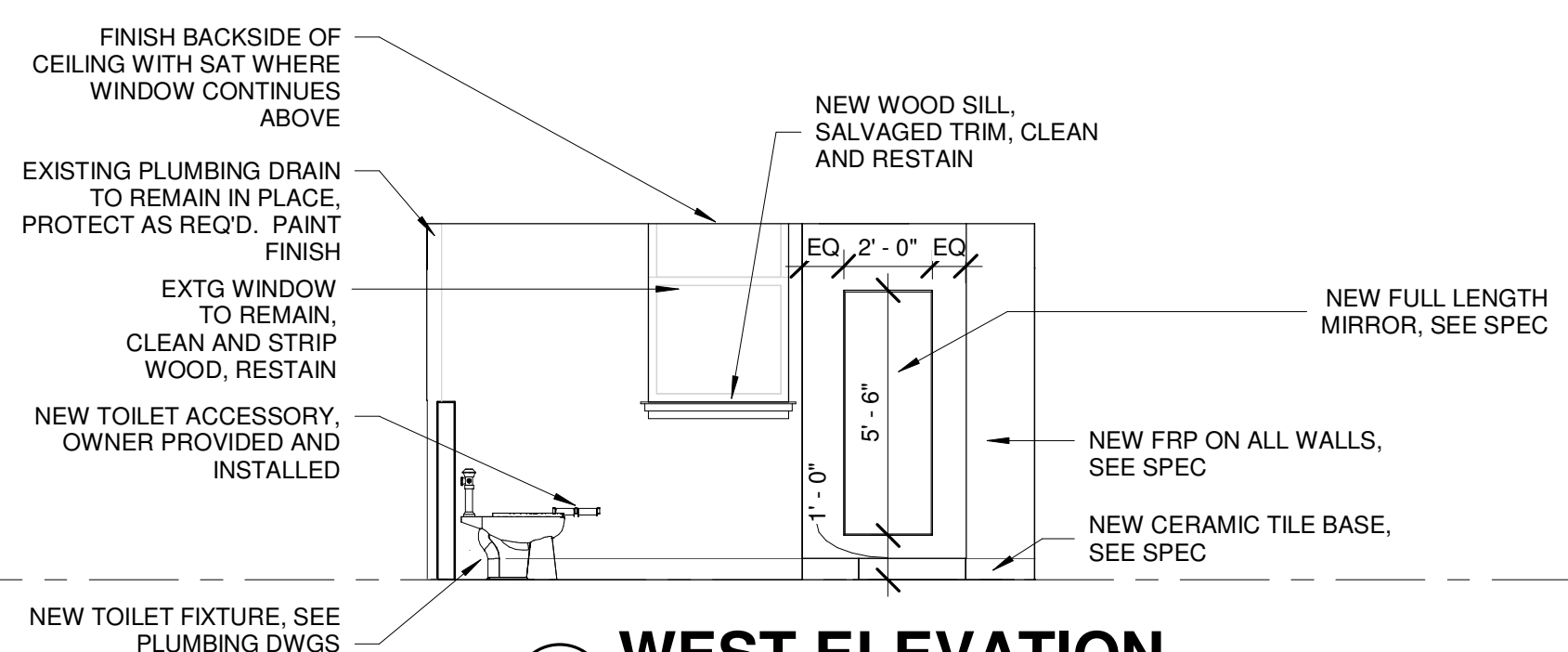
SEE SPEC 10 2800 FOR ALL TOILET ROOM ACCESSORIES. ALL ACCESSORIES MAY NOT BE SHOWN IN ELEVATIONS.

REFER TO SHEET A1.0 FOR KEYED NOTES

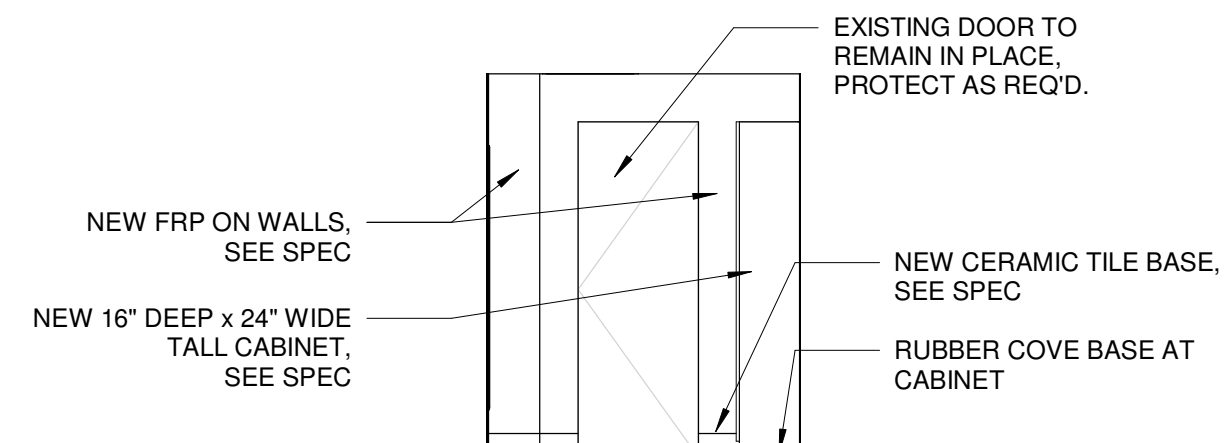
REFER TO SHEET A1.0 FOR KEYED NOTES



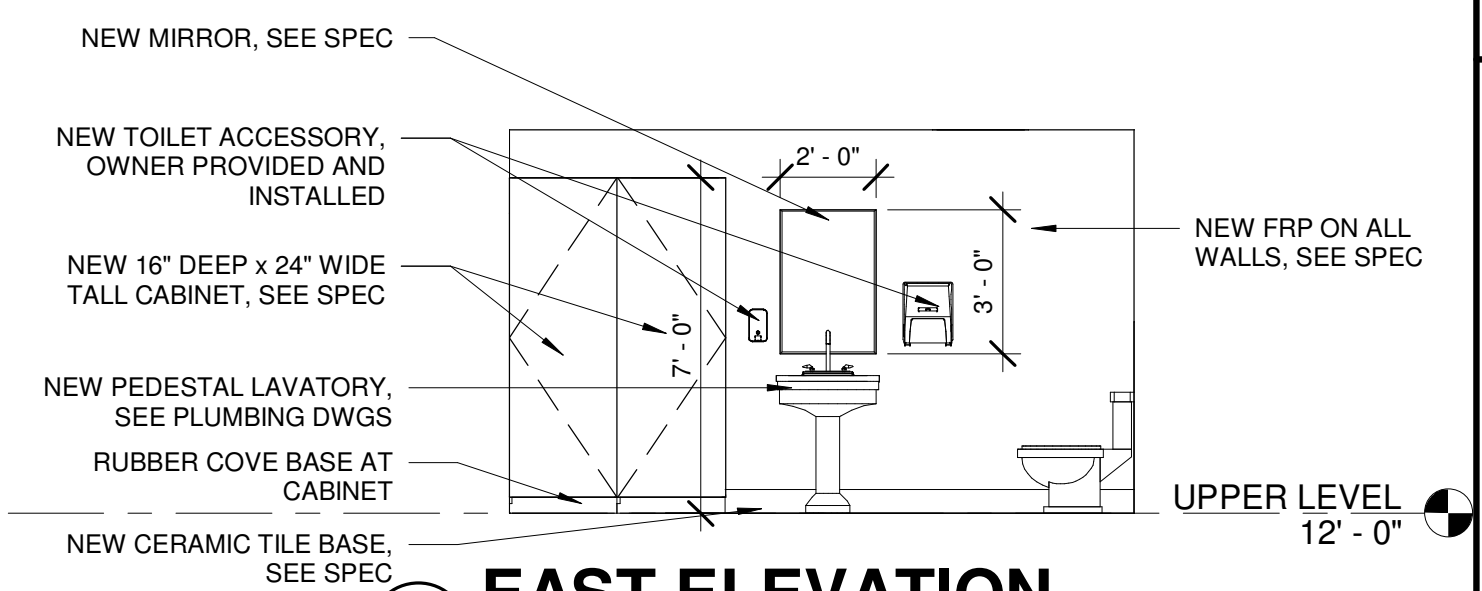
4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 WEST ELEVATION
SCALE: 1/4" = 1'-0"



6 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



7 EAST ELEVATION
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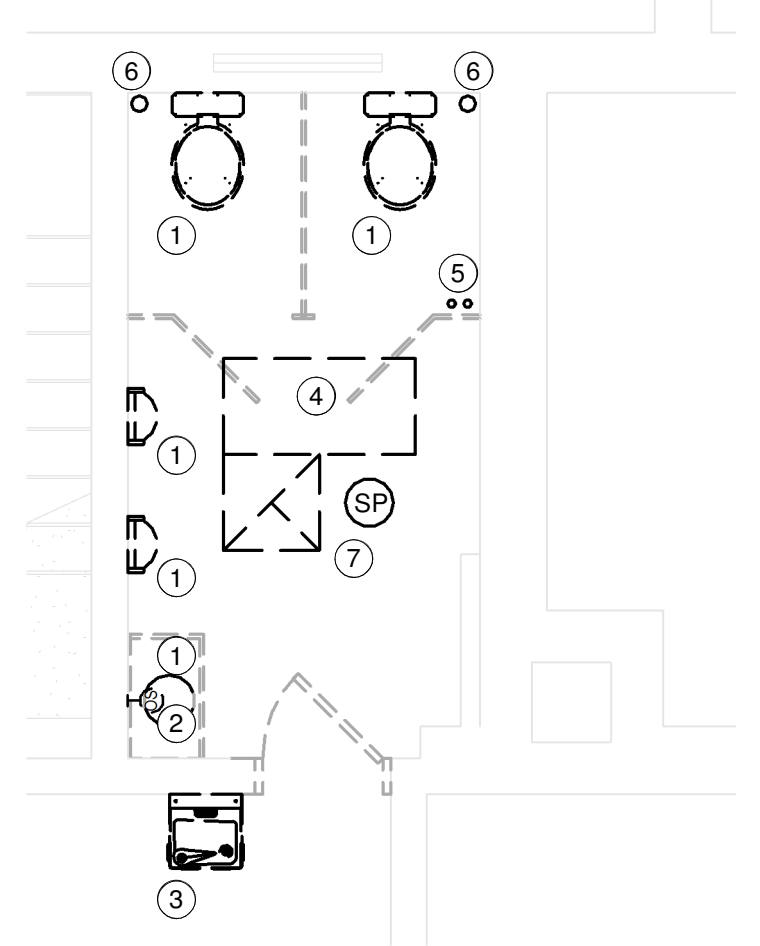
REVISIONS	DATE	REMARKS

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PLANS AND DETAILS

DWG. NO.

A2.0

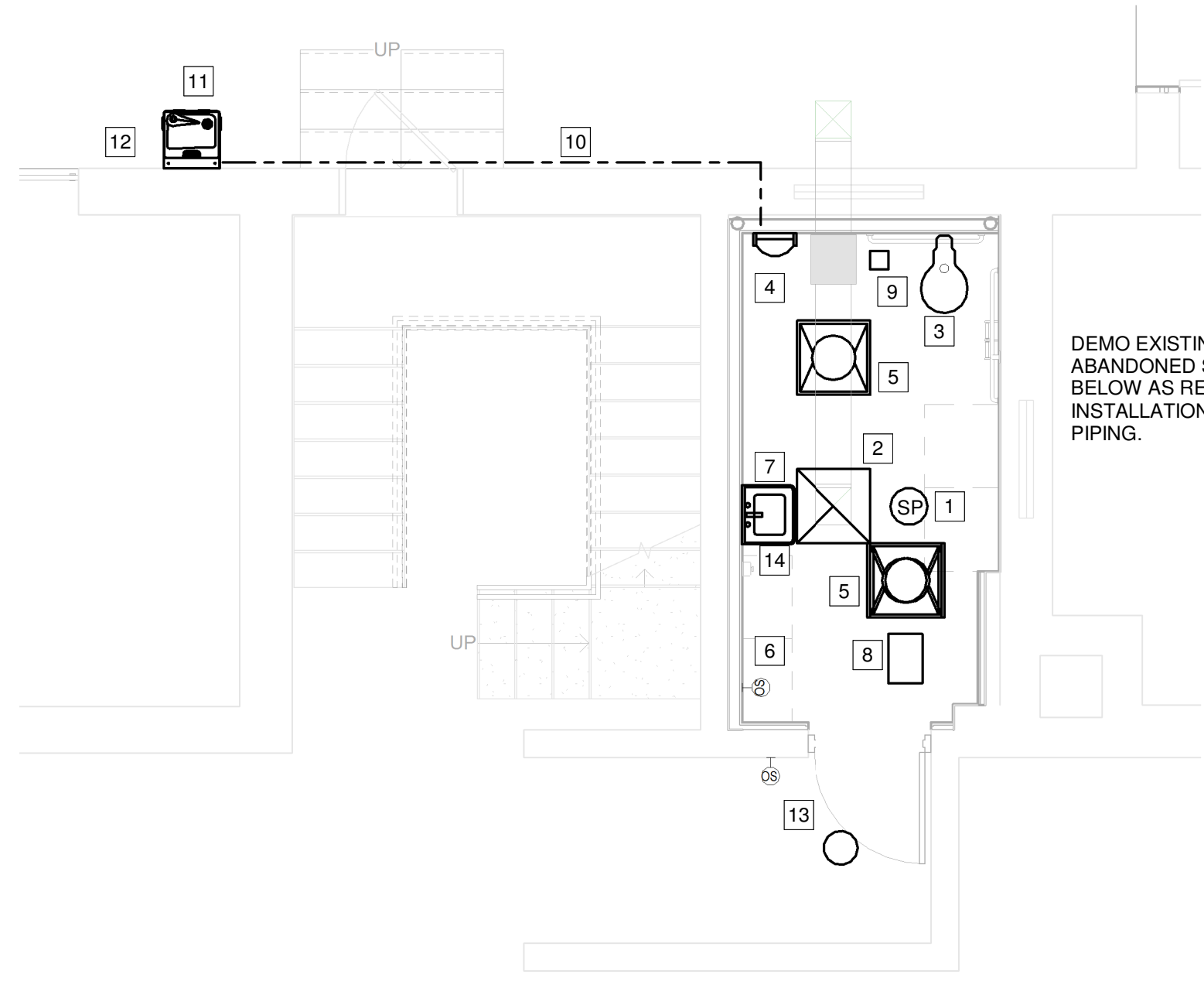


1 MAIN LEVEL - MEP DEMO PLAN

SCALE: 1/4" = 1'-0"

MAIN LEVEL MEP DEMO NOTES

- 1 COMPLETELY REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED PIPING BACK TO MAIN AND CAP.
- 2 RELOCATE EXISTING LIGHTING OCCUPANCY SENSOR TO NEW WALL. SEE NEW PLAN FOR NEW WORK.
- 3 RELOCATE EXISTING ELECTRIC WATER COOLER TO GARAGE/WEIGHT ROOM. SEE NEW PLAN FOR NEW LOCATION. COMPLETELY REMOVE EXISTING CIRCUIT, CONDUIT, AND PLUMBING PIPING.
- 4 REMOVE EXISTING LIGHT FIXTURE. MODIFY CIRCUIT AS REQUIRED TO SERVE NEW FIXTURES. SEE NEW PLAN.
- 5 COMPLETELY REMOVE EXISTING ABANDONED STEAM PIPING BACK TO MAIN BELOW.
- 6 EXISTING SANITARY STACK TO REMAIN.
- 7 RELOCATE EXISTING EA GRILLE AND SPEAKER TO NEW CEILING.



2 MAIN LEVEL - MEP NEW PLAN

SCALE: 1/4" = 1'-0"

MAIN LEVEL MEP NOTES

- 1 RELOCATE EXISTING CEILING SPEAKER TO THIS LOCATION IN NEW CEILING
- 2 RELOCATE EXISTING EA GRILLE TO NEW CEILING.
- 3 EXTEND NEW DRAIN, VENT, AND WATER PIPING AS REQUIRED FOR NEW ADA WATER CLOSET EQUAL TO KOHLER K-4350 WITH ZURN Z6000WS1 WITH BEMIS 3155SSCT OPEN FRONT SEAT. DRAIN PIPE THROUGH FLOOR SHALL BE CAST IRON. INSTALL WATER HAMMER ARRESTOR SIZED PER FIXTURES SERVED.
- 4 EXTEND NEW DRAIN, VENT, AND WATER PIPING AS REQUIRED FOR NEW URINAL EQUAL TO KOHLER K-4991-ET WITH WALL CARRIER AND ZURN Z6001AV FLUSH VALVE. INSTALL WATER HAMMER ARRESTOR SIZED PER FIXTURES SERVED.
- 5 MODIFY EXISTING CIRCUIT AS REQUIRED AND INSTALL NEW DAY-BRITE OR EQUAL 2STG38L835-2-DS-UNV-DIM LIGHT FIXTURE.
- 6 EXTEND EXISTING CIRCUIT AS REQUIRED AND RELOCATE EXISTING WALL SWITCH OCC SENSOR TO CONTROL LIGHTS AND EXHAUST FAN.
- 7 EXTEND NEW DRAIN, VENT, AND WATER PIPING AS REQUIRED FOR NEW LAVATORY EQUAL TO KOHLER K-2867 WITH CONCEALED WALL CARRIER, DELTA 21C23 FAUCET, SYMMONS S-110 MIXING VALVE, AND TRUEBRO "LAV SHIELD" ENCLOSURE; MCGUIRE "BV" SERIES CHRM. PLTD. WALL SUPPLIES W/ FLEX. RISERS MOUNT TOP OF FIXTURE 34" A.F.F.
- 8 EXTEND NEW CIRCUIT FROM NEARBY PANELBOARD IN BASEMENT BELOW AND INSTALL NEW MARKEL OR EQUAL 3380 SERIES CEILING HEATER WITH INTEGRAL THERMOSTAT, T-BAR KIT, 208V/1 PHASE, 2.3KW, 10.8A.
- 9 EXTEND NEW DRAIN AND VENT PIPING FROM NEW FLOOR DRAIN EQUAL TO SIOUX CHIEF 832-23NQ
- 10 EXTEND NEW 1/2" CW PIPE WITH ISOLATION VALVE FROM NEW RESTROOM OVER TO EWC.
- 11 RELOCATE EXISTING ELECTRIC WATER COOLER TO THIS LOCATION. MODIFY/CONNECT TO EXISTING NEARBY SANITARY PLUMBING AND VENT PIPING.
- 12 REPLACE EXISTING RECEPTACLE WITH NEW GFI AND RELOCATE AS REQUIRED FOR RELOCATED EWC. COORDIANTE WITH PLUMBING CONTRACTOR.
- 13 MODIFY EXISTING NEARBY CIRCUIT AND INSTALL NEW MOTION SENSING DIMMER SWITCH AND EXTEND TO CONTROL NEW LIGHTOLIER OR EQUAL SD5R07930120W SURFACE DOWNLIGHT.
- 14 INSTALL NEW EEMAX OR EQUAL SPEX1812T INSTANTANEOUS WATER HEATER UNDER LAV AND EXTEND PIPING TO SERVE FAUCET. ELECTRICAL CONTRACTOR EXTEND CIRCUIT FROM NEARBY PANEL IN LOWER LEVEL OR GARAGE/WEIGHT ROOM.

DEMO EXISTING ABANDONED STEAM PIPING BELOW AS REQUIRED FOR INSTALLATION OF NEW PIPING.

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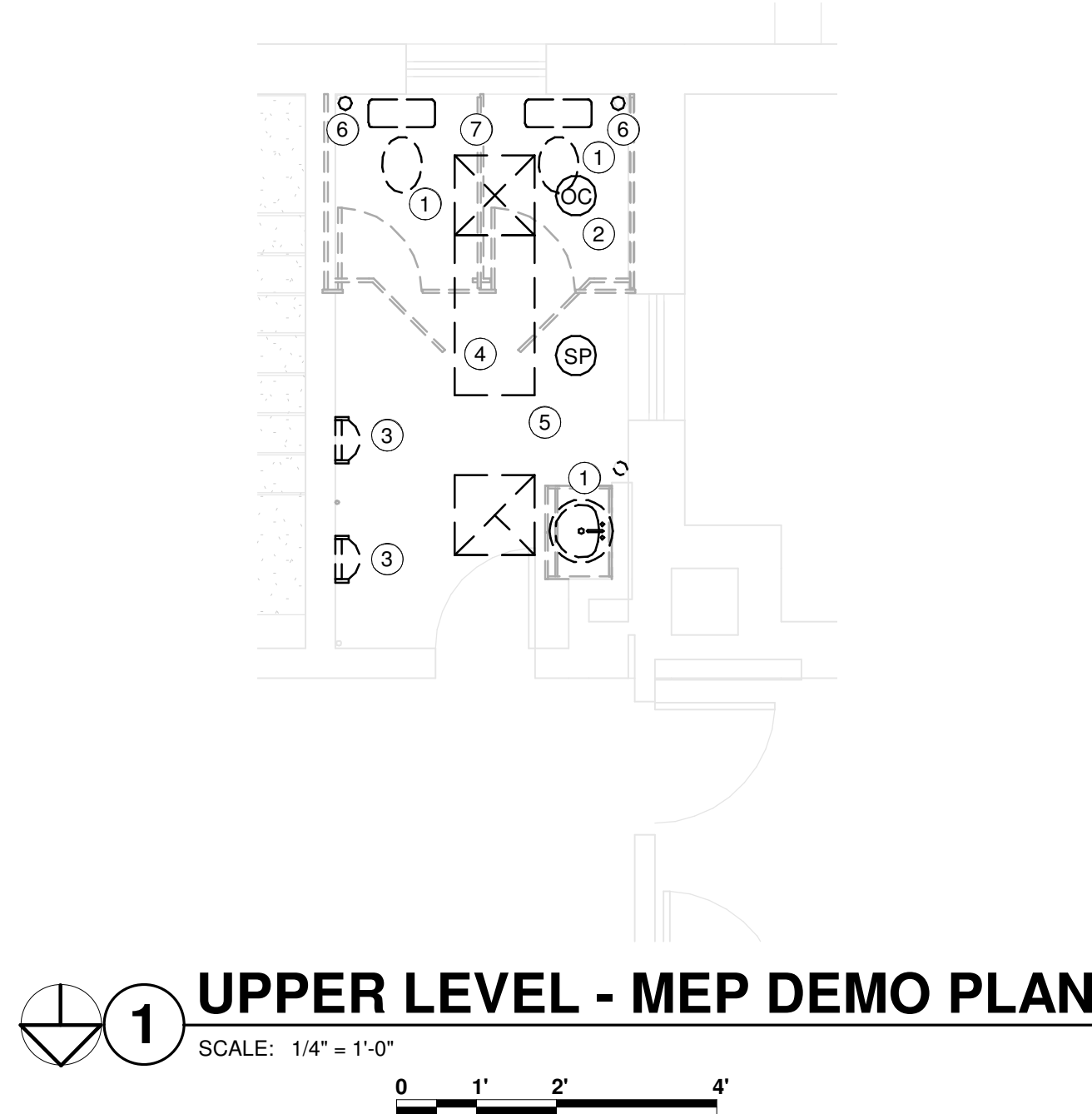
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MAIN LEVEL MEP PLANS

DWG. NO.
MEP1.0

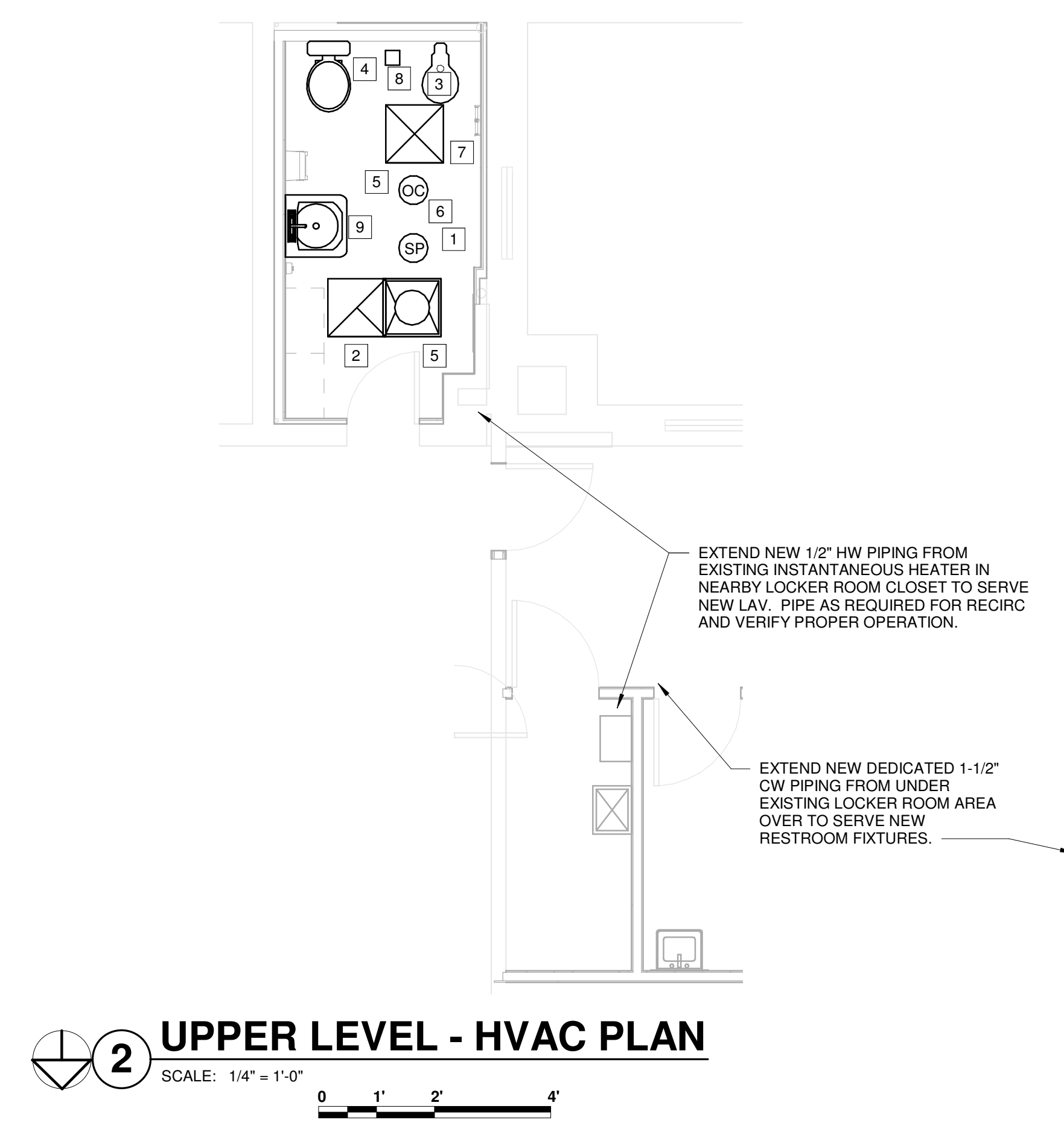


1 UPPER LEVEL - MEP DEMO PLAN
SCALE: 1/4" = 1'-0"

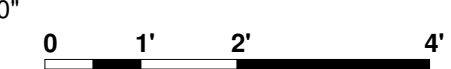


UPPER LEVEL MEP DEMO NOTES

- 1 COMPLETELY REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED PIPING BACK TO MAIN AND CAP.
- 2 RELOCATE EXISTING LIGHTING OCCUPANCY SENSOR TO NEW CEILING. SEE NEW PLAN FOR NEW WORK.
- 3 REMOVE EXISTING URINAL. SALVAGE FOR INSTALLATION IN NEW RESTROOM. RETURN EXTRA URINAL TO OWNER FOR SALVAGE.
- 4 REMOVE EXISTING LIGHT FIXTURE. MODIFY CIRCUIT AS REQUIRED TO SERVE NEW FIXTURES. SEE NEW PLAN.
- 5 RELOCATE EXISTING EA GRILLE AND SPEAKER TO NEW CEILING.
- 6 EXISTING SANITARY STACK TO REMAIN.
- 7 RELOCATE EXISTING SA GRILLE TO NEW CEILING.



2 UPPER LEVEL - HVAC PLAN
SCALE: 1/4" = 1'-0"



UPPER LEVEL MEP NOTES

- 1 RELOCATE EXISTING CEILING SPEAKER TO THIS LOCATION IN NEW CEILING
- 2 RELOCATE EXISTING EA GRILLE TO NEW CEILING.
- 3 EXTEND NEW DRAIN, VENT, AND WATER PIPING AS REQUIRED FOR NEW ADA WATER CLOSET EQUAL TO KOHLER K-4350 WITH ZURN Z6000WS1 WITH BEMIS 315SSCOT OPEN FRONT SEAT. DRAIN PIPE THOROUGH FLOOR SHALL BE CAST IRON. INSTALL WATER HAMMER ARRESTOR SIZED PER FIXTURES SERVED.
- 4 EXTEND NEW DRAIN, VENT, AND WATER PIPING AS REQUIRED FOR RELOCATED URINAL AND PROVIDE ZURN Z6001AV FLUSH VALVE (VERIFY COMPATIBILITY). INSTALL WATER HAMMER ARRESTOR SIZED PER FIXTURES SERVED.
- 5 MODIFY EXISTING CIRCUIT AS REQUIRED AND INSTALL NEW DAY-BRITE OR EQUAL 2STG38L835-2-DS-UNV-DIM LIGHT FIXTURE.
- 6 EXTEND EXISTING CIRCUIT AS REQUIRED AND RELOCATE EXISTING CEILING OCC SENSOR TO CONTROL LIGHTS AND MAIN LEVEL EXHAUST FAN.
- 7 MODIFY DUCT AS REQUIRED AND RELOCATE SA GRILLE TO NEW CEILING.
- 8 EXTEND NEW DRAIN AND VENT PIPING FROM NEW FLOOR DRAIN EQUAL TO SIOUX CHIEF 832-23NO.
- 9 EXTEND NEW DRAIN, VENT, AND WATER PIPING AS REQUIRED FOR NEW LAVATORY EQUAL TO KOHLER K-2238 PEDESTAL SINK, DELTA 21C233 FAUCET, SYMMONS 5-110 MIXING VALVE; AND TRUEBRO "LAV SHIELD" ENCLOSURE; MCGUIRE "BV" SERIES CHRM. PLTD. WALL SUPPLIES W/ FLEX. RISERS. COORDINATE PIPING LOCATIONS WITH PEDESTAL.

CURRENT DATE: 02/05/2021



LICENSE EXPIRES: 11/30/22

CURRENT DATE: 02/05/2021



LICENSE EXPIRES: 11/30/21

RESTROOM RENOVATION FOR:
CENTRAL FIRE STATION
906 VERMONT STREET, QUINCY, IL 62301

BIDDING PHASE

NOT FOR CONSTRUCTION

SET ISSUE DATE: 02/05/2021

REVISIONS	DATE	REMARKS

PROJECT NUMBER: 6027

UPPER LEVEL MEP PLANS

DWG. NO.

MEP2.0