

ARCHITECHNICS, INC.
510 MAINE STREET
QUINCY, ILLINOIS 62301

PROJECT NO. : 6509

ADDENDUM NO.: 1

ISSUED: 4/22/2024

Project: Interior Renovations to Existing Building
Phase1 Demo and Future Fire Supression Service
Avenues
2910 St. Marys Avenue
Hannibal, MO 63401

This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated April 12, 2024. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

ITEM	DESCRIPTION
<u>Clarify</u>	
1.0	Clarify Prevailing wage rates do not apply for this project.
2.0	Clarify The project is tax exempt. A tax exempt certificate will be provided to contractors at a later date.
<u>Specs</u>	
1.0 00 1114 Invitation to Bid	Replace Replace with attached revised sheet.
2.0 01 2100 Allowances	Replace Replace with attached revised sheet.
<u>Drawings</u>	
1.0 G000 Title	Replace Replace with attached revised sheet.
2.0 A100 Floor Plans	Replace Replace with attached revised sheet.
3.0 A101 Floor Plans	Replace Replace with attached revised sheet.

Attachments: Prebid Attendee List; Spec Sections 00 1114; 01 2100; Sheets G000; A100; A101

Avenues Ph. 1 Prebid

04/18/2024

9:00 AM

Name

Company

Phone #

Jacques Reynolds

Architects

217 222 0584

Ryan Locke

Peters

573 822 0297

BRAD HAMMOCK

Peters

573 - 231 - 1214

Matt Kasparie

M.E. Mechanical

217-242-4525

Eric Green

Eric Green Construction

217-430-4480

David Schuckman

"

"

Josh Lee

J Lee Construction

573 022 1787

**DOCUMENT 00 1114
INVITATION TO BID**

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Qualified bidders may submit bids for project as described in this Document. Submit bids according to the Instructions to Bidders.
- B. Project Identification: Interior Renovations to Existing Building – Phase 1 Demolition and Water Service for Future Fire Suppression System
 - 1. Project Location: 2910 St. Mary’s Avenue, Hannibal, MO 63401
- C. Owner: Avenues
 - 1. Owner's Representative: Cara Miller
- D. Architect: Architechnics Inc, 510 Maine St. FL 10, Quincy, Illinois.
- E. General contractor bids will be received for the following projects:
 - 1. **Base Bid 1** – All selective demolition work as indicated on the drawings including mechanical, plumbing and electrical selective demolition and minor new construction.
 - a. All work can begin immediately upon award of contract, which is presumed to occur by May 31, 2024. All work must be substantially completed before March 28, 2025.
 - 2. **Base Bid 2** - All work as indicated on the drawings to install a new water service and other components for a future fire suppression system.
 - a. All work can begin immediately upon award of contract, which is presumed to occur by May 31, 2024. All work must be substantially completed before March 28, 2025.

1.2 BID SUBMITTAL AND OPENING

- A. Owner will receive sealed lump sum bids until the bid time and date at the location given below. Owner maintains the right to waive informalities or irregularities. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
 - 1. Bid Date: April 25, 2024.
 - 2. Bid Time: 3:00 pm, local time.
 - 3. Location: Architechnics, Inc, 510 Maine - 10th Floor, Quincy, IL 62301.
- B. Bids will be thereafter be privately opened.

1.3 BID SECURITY

- A. Bid security shall be submitted with each bid in the amount of 5 percent of the bid amount FOR EACH BID OFFERED. No bids may be withdrawn for a period of 30 days after opening of bids. Owner reserves the right to reject any and all bids and to waive informalities and irregularities.

1.4 PREBID MEETING

- A. Prebid Meeting: See Document 002513 "Prebid Meetings."
- B. Prebid Meeting: A Prebid meeting for all bidders will be held at Avenues, 2910 St. Mary's Avenue, Hannibal, MO 63401 on April 18, 2024 at 9:00 am, local time. Prospective prime bidders are requested to attend.

1.5 DOCUMENTS

- A. Printed Procurement and Contracting Documents: Obtain after April 12, 2024, by contacting the Architect. Only complete sets of documents will be issued.
 - 1. Non-refundable purchase cost: \$100.00.
 - 2. Shipping: Additional shipping charges will apply.
- B. Online Procurement and Contracting Documents: Obtain access after April 12, 2024, by contacting the Architect. Online access will be provided to all registered bidders and suppliers.
 - 1. Non-refundable purchase cost: \$50.00.
- C. Bidders who obtain documents from the Architect will be included on the official bidder's list and shall receive all future bulletins or addenda related to the project. The bidder's list will be issued in future addenda.

1.6 TIME OF COMPLETION AND LIQUIDATED DAMAGES

- A. Successful bidder shall begin the Work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time specified in paragraph 1.1.D.1, 2 and 3 of this section. Work is not subject to liquidated damages.

1.7 BIDDER'S QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work. A Performance Bond, separate Labor and Material Payment Bond, and Insurance in a form acceptable to Owner will be required of the successful Bidder.

1.8 BID AWARD

- A. Owner reserves the right to award contract to most responsible bidder without obligation to bid amount.
- B. Owner reserves the right to award alternate bids in any order best suited to owner's needs.
- C. An award, if made, will be made most responsible bidder complying with the terms of the Contract by May 31, 2024.

- D. During this period, the Owner shall have the right to retain all Bids, Bid Deposits received during bidding, and no bid or Bid Deposit may be withdrawn and will remain in full force and effect for such period.
- E. The Owner reserves the right to waive informalities in a bid or failure to comply with all of the requirements of these instructions, and to award the work to other than the lowest bidder.

END OF DOCUMENT 00 1113

**SECTION 01 2100
ALLOWANCES**

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Contingency allowances.

1.2 DEFINITIONS

- A. Allowance is a quantity of work or dollar amount established in lieu of additional requirements, used to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.

1.3 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's overhead, profit, and related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, taxes (if applicable), insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALLOWANCES

- A. Allowance No. A-1 Owner's Contingency Allowance for Base Bid 1: Include the amount of \$12,500.00.
- B. Allowance No. A-2 Owner's Contingency Allowance for Base Bid 2: Include the amount of \$5,000.00.

END OF SECTION 01 2100

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PHASE 1 DEMO AND FUTURE FIRE SUPPRESSION SYSTEM

AVENUES

2910 ST. MARY'S AVENUE
HANNIBAL, MO 63401

ISSUED FOR BIDDING 4/12/2024

ARCHITECT OF RECORD:



CONTACT PERSON: JACQUES REYNOLDS, AIA
PROJECT NO. 6509

CONTACT INFORMATION

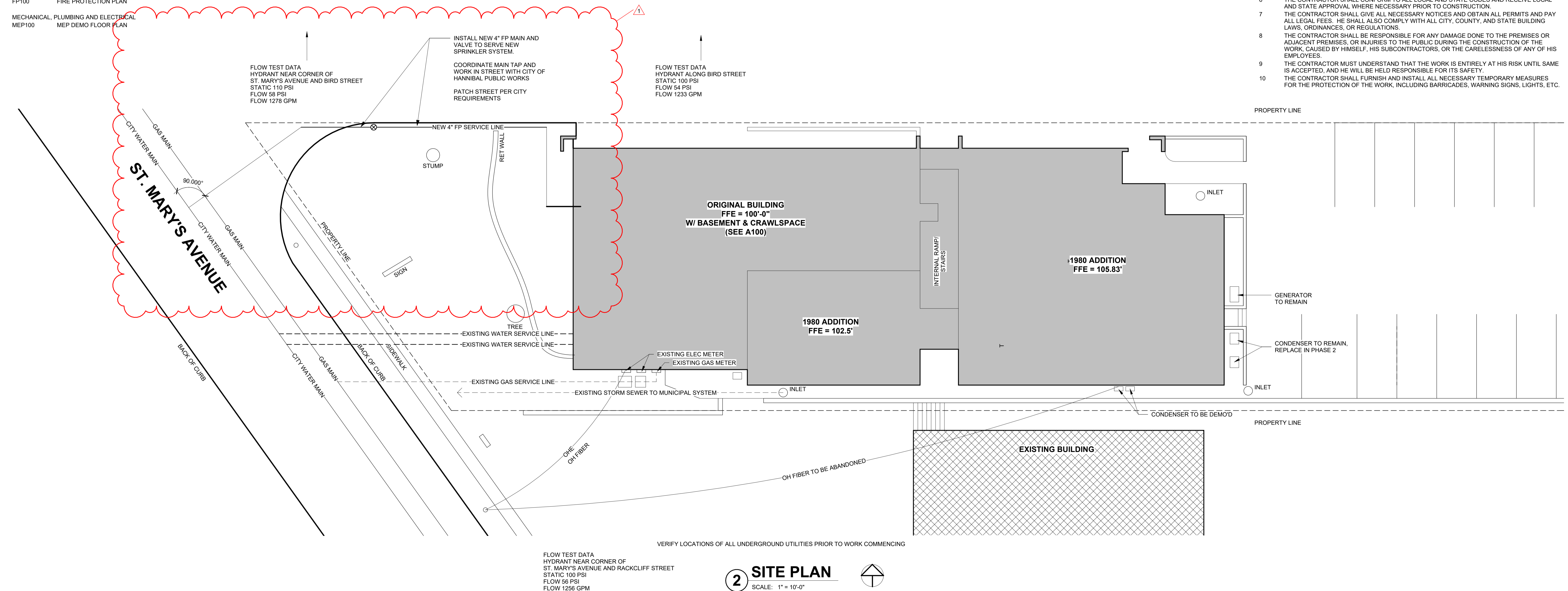
ARCHITECHNICS, INC.
510 MAINE STREET - FLOOR 10
QUINCY, IL 62305
PHONE: 217.222.0554

INDEX OF DRAWINGS

TITLE	TITLE
G000	
ARCHITECTURE	
A100	FLOOR PLANS
A101	FLOOR PLANS
FIRE PROTECTION	
FP100	FIRE PROTECTION PLAN
MECHANICAL, PLUMBING AND ELECTRICAL	
MEP100	MEP DEMO FLOOR PLAN

BID CATEGORIES

- BASE BID 1** - ALL SELECTIVE DEMOLITION WORK AS INDICATED ON THE DRAWINGS INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL SELECTIVE DEMOLITION.
- BASE BID 2** - ALL WORK AS INDICATED ON THE DRAWINGS TO INSTALL A NEW WATER SERVICE AND OTHER COMPONENTS FOR A FUTURE FIRE SUPPRESSION SYSTEM.



2 SITE PLAN
SCALE: 1" = 10'-0"

THIS PLAN INDICATES DEMOLITION/CONSTRUCTION TO OCCUR IN PHASE 1

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS.
- ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY MEASURES FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.

BIDDING PHASE

NOT FOR CONSTRUCTION

ISSUE DATE: 04/12/2024

REVISIONS

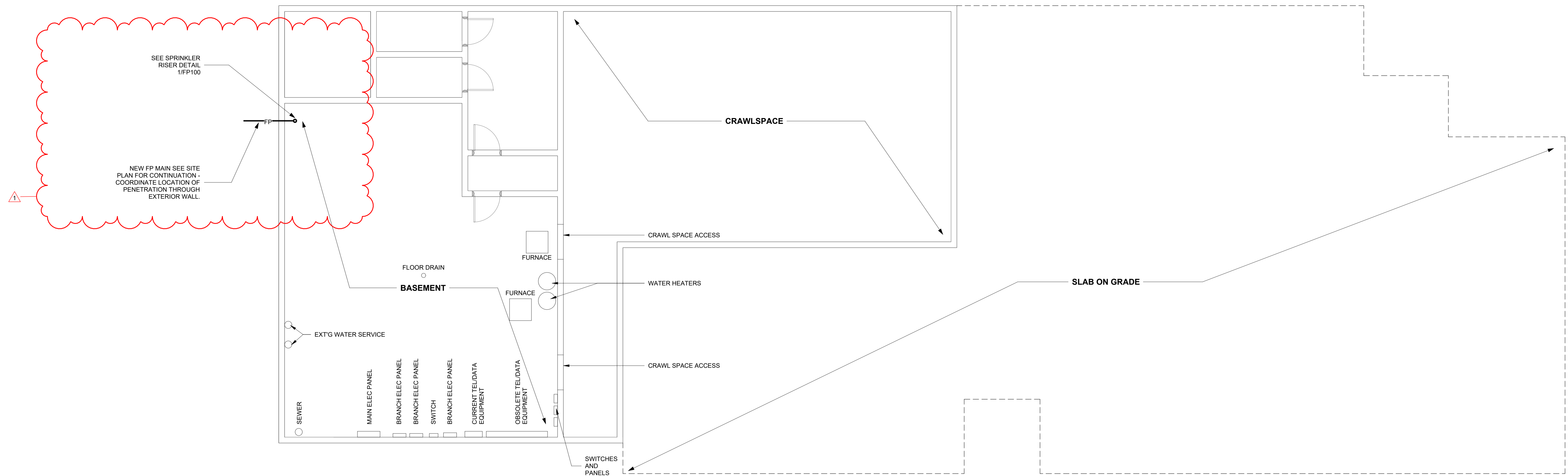
NO.	Date	Description
1	4/22/2024	Addendum #1

PROJECT NUMBER: 6509

TITLE

DWG. NO.

G000

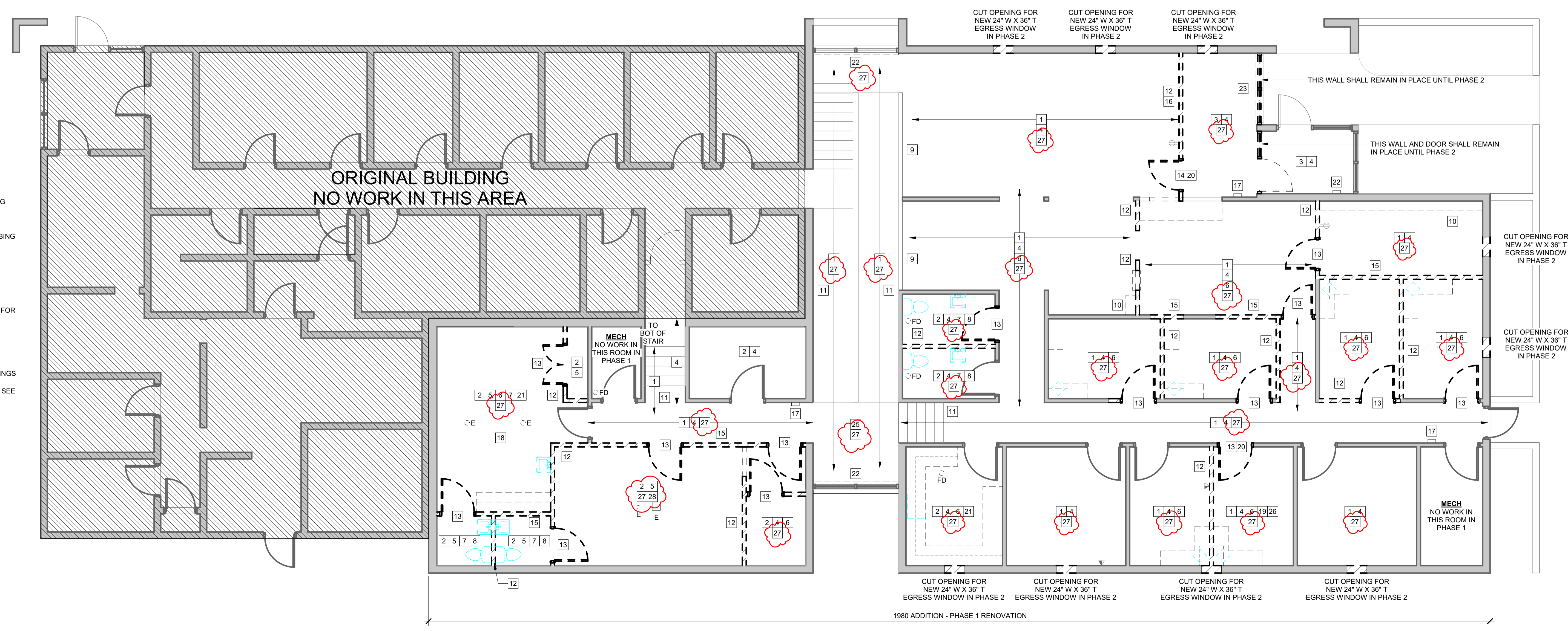


1 FLOOR PLAN - LOWER LEVEL
 SCALE: 3/16" = 1'-0"

THIS PLAN INDICATES DEMOLITION/CONSTRUCTION TO OCCUR IN PHASE 1

KEYED NOTES - DEMO

- 1 REMOVE ALL PORTIONS OF EXISTING CARPET FLOORING AND WOOD BASE
- 2 REMOVE ALL PORTIONS OF EXISTING VINYL FLOORING AND RUBBER COVE BASE
- 3 REMOVE ALL PORTIONS OF EXISTING TILE FLOORING AND RUBBER COVE BASE
- 4 REMOVE ALL PORTIONS OF EXISTING SUSPENDED TILE CEILING SYSTEM AND ALL CEILING HOSTED ELEMENTS
- 5 REMOVE ALL PORTIONS OF EXISTING GWB CEILING SYSTEM AND ALL CEILING HOSTED ELEMENTS
- 6 REMOVE ALL PORTIONS OF EXISTING CASEWORK AND COUNTERTOPS INCLUDING PLUMBING ITEMS. SEE MEP DEMO.
- 7 REMOVE ALL PORTIONS OF EXISTING PLUMBING FIXTURES. SEE MEP DEMO.
- 8 REMOVE ALL WALL MOUNTED ITEMS AND SALVAGE FOR REUSE
- 9 REMOVE ALL PORTIONS OF WOOD CAP FROM ATOP LOW WALL
- 10 REMOVE ALL PORTIONS OF EXISTING WALL MOUNTED SHELVING
- 11 EXISTING HANDRAILS TO REMAIN
- 12 DEMOLISH ALL PORTIONS OF EXISTING WALL SHOWN DASHED
- 13 REMOVE ALL PORTIONS OF EXISTING DOOR AND FRAME SHOWN DASHED AND SALVAGE FOR REUSE.
- 14 DEMOLISH ALL PORTIONS OF EXISTING ALUMINUM DOOR AND FRAME SHOWN DASHED.
- 15 BEARING WALL TO BE DEMOLISHED. XXX
- 16 DEMOLISH ALL PORTIONS OF EXISTING ALUMINUM STOREFRONT WALL ATOP 3/4 HEIGHT WALL
- 17 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN
- 18 REMOVE STEEL EQUIPMENT SUPPORTS IN CEILING THAT MAY CONFLICT WITH NEW CIELINGS IN FUTURE PHASE
- 19 REMOVE MINI-SPLIT HVAC SYSTEMS ONCE NETWORK EQUIPMENT HAS BEEN REMOVED. SEE MEP DEMO
- 20 REMOVE ACCESS CONTROL SYSTEM
- 21 REMOVE ALL PORTIONS OF EXISTING SOFFIT ABOVE CABINETS
- 22 EXISTING ELECTRIC HEATER TO REMAIN
- 23 EXISTING ELECTRIC HEATER TO REMAIN UNTIL PHASE 2
- 24 CEILING IN THIS AREA TO REMAIN
- 25 EXISTING OBSOLETE NETWORK EQUIPMENT TO BE DEMO'D BY GC
- 26 DEMO ANY EXISTING VINYL WALL COVERING ON WALLS TO REMAIN. REMOVE ADHESIVE. REMOVE ANY WOOD CHAIR RAIL OR OTHER WOOD TRIM
- 27 WALLS, DOORS, AND CEILING THIS ROOM ARE LEAD LINED (FORMER X-RAY ROOM)



2 FLOOR PLAN - MAIN LEVEL DEMOLITION
 SCALE: 3/16" = 1'-0"

THIS PLAN INDICATES DEMOLITION/CONSTRUCTION TO OCCUR IN PHASE 1

SECURITY CAMERAS SHALL BE REMOVED BY OWNER PRIOR TO DEMOLITION
 REMOVE ALL MOUNTED ITEMS ON WALLS TO REMAIN, EVEN IF NOT INDICATED ON DRAWING. SALVAGE FOR REUSE.
 REMOVE ALL WALL COVERINGS ON WALLS TO REMAIN

BIDDING PHASE

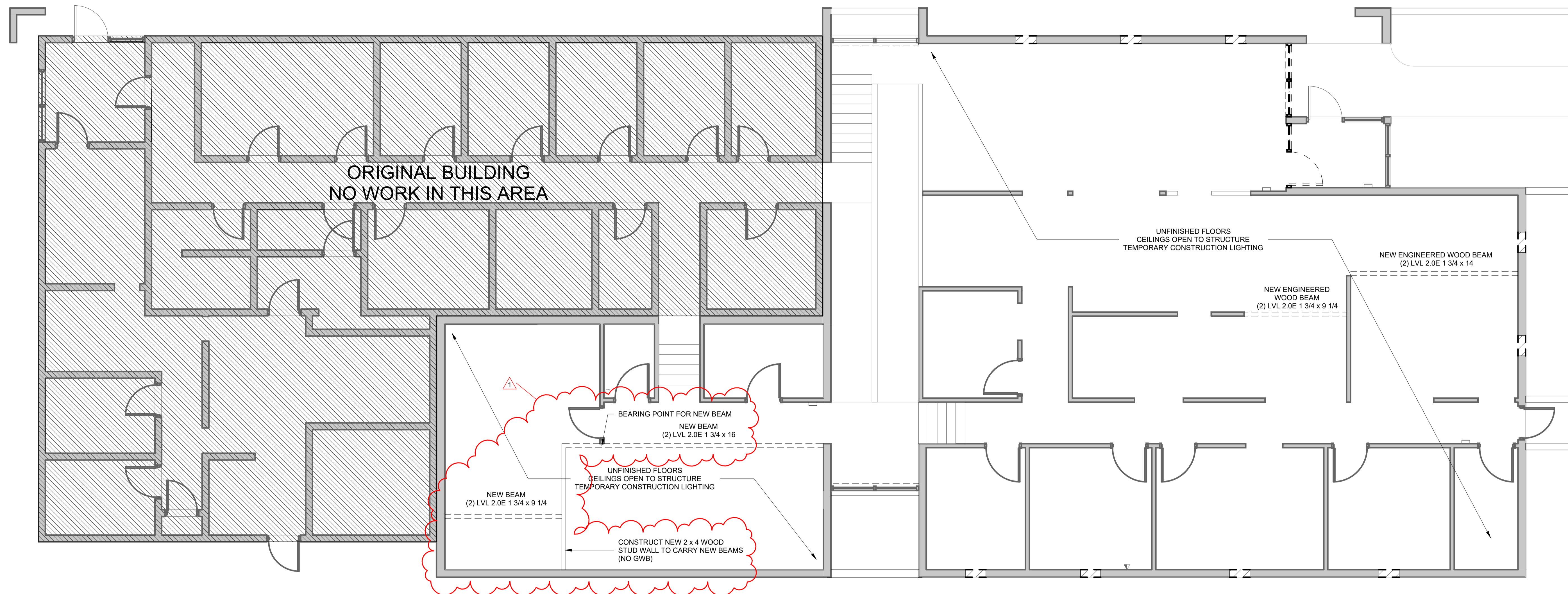
NOT FOR CONSTRUCTION
 ISSUE DATE: 04/12/2024

REVISIONS

NO.	Date	Description
1	4/22/2024	Addendum #1

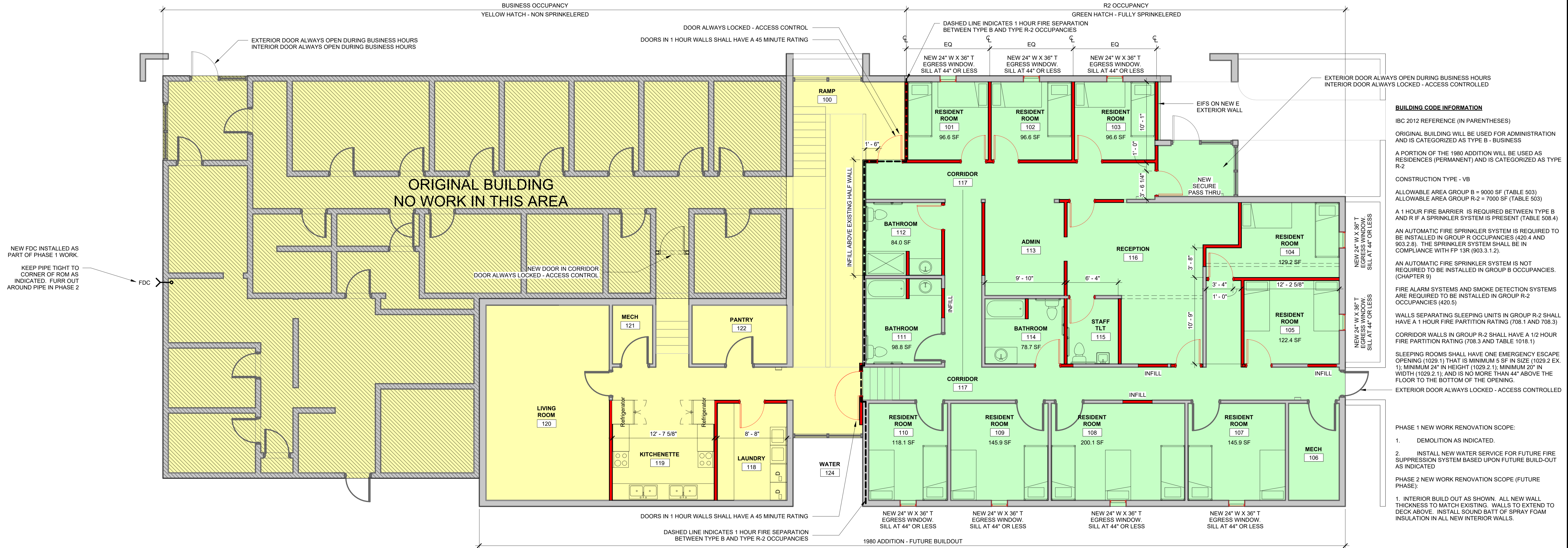
PROJECT NUMBER: 6509

FLOOR PLANS



1 MAIN LEVEL FLOOR PLAN - POST DEMOLITION
 SCALE: 3/16" = 1'-0"

THIS PLAN IS FOR REFERENCE ONLY. PLAN INDICATES CONSTRUCTION TO REMAIN AFTER DEMOLITION PHASE W/ EXCEPTION OF NOTED NEW ENGINEERED WOOD BEAMS



2 MAIN LEVEL FLOOR PLAN - NEW CONSTRUCTION
 SCALE: 3/16" = 1'-0"

THIS PLAN IS FOR REFERENCE ONLY. PLAN INDICATES CONSTRUCTION TO OCCUR IN PHASE 2 W/ EXCEPTION OF FDC ON EAST END. (SEE FP 100).

BUILDING CODE INFORMATION
 IBC 2012 REFERENCE (IN PARENTHESES)
 ORIGINAL BUILDING WILL BE USED FOR ADMINISTRATION AND IS CATEGORIZED AS TYPE B - BUSINESS
 A PORTION OF THE 1980 ADDITION WILL BE USED AS RESIDENCES (PERMANENT) AND IS CATEGORIZED AS TYPE R-2
 CONSTRUCTION TYPE - VB
 ALLOWABLE AREA GROUP B = 9000 SF (TABLE 503)
 ALLOWABLE AREA GROUP R-2 = 7000 SF (TABLE 503)
 A 1 HOUR FIRE BARRIER IS REQUIRED BETWEEN TYPE B AND R IF A SPRINKLER SYSTEM IS PRESENT (TABLE 508.4)
 AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED TO BE INSTALLED IN GROUP R OCCUPANCIES (420.4 AND 903.2.8). THE SPRINKLER SYSTEM SHALL BE IN COMPLIANCE WITH FP-15R (903.3.1.2).
 AN AUTOMATIC FIRE SPRINKLER SYSTEM IS NOT REQUIRED TO BE INSTALLED IN GROUP B OCCUPANCIES (CHAPTER 9)
 FIRE ALARM SYSTEMS AND SMOKE DETECTION SYSTEMS ARE REQUIRED TO BE INSTALLED IN GROUP R-2 OCCUPANCIES (420.5)
 WALLS SEPARATING SLEEPING UNITS IN GROUP R-2 SHALL HAVE A 1 HOUR FIRE PARTITION RATING (708.1 AND 708.3)
 CORRIDOR WALLS IN GROUP R-2 SHALL HAVE A 1/2 HOUR FIRE PARTITION RATING (708.3 AND TABLE 1018.1)
 SLEEPING ROOMS SHALL HAVE ONE EMERGENCY ESCAPE OPENING (1029.1) THAT IS MINIMUM 5 SF IN SIZE (1029.2 EX. 1) MINIMUM 24" IN HEIGHT (1029.2.1); MINIMUM 20" IN WIDTH (1029.2.1); AND IS NO MORE THAN 44" ABOVE THE FLOOR TO THE BOTTOM OF THE OPENING.
 EXTERIOR DOOR ALWAYS LOCKED - ACCESS CONTROLLED

PHASE 1 NEW WORK RENOVATION SCOPE:
 1. DEMOLITION AS INDICATED.
 2. INSTALL NEW WATER SERVICE FOR FUTURE FIRE SUPPRESSION SYSTEM BASED UPON FUTURE BUILD-OUT AS INDICATED

PHASE 2 NEW WORK RENOVATION SCOPE (FUTURE PHASE):
 1. INTERIOR BUILD OUT AS SHOWN. ALL NEW WALL THICKNESS TO MATCH EXISTING. WALLS TO EXTEND TO DECK ABOVE. INSTALL SOUND BATT OF SPRAY FOAM INSULATION IN ALL NEW INTERIOR WALLS.

AVENUES
PHASE 1 DEMO AND FUTURE FIRE SUPPRESSION SYSTEM
 2910 ST. MARY'S AVENUE
 HANNBAL, MO 63401

BIDDING PHASE

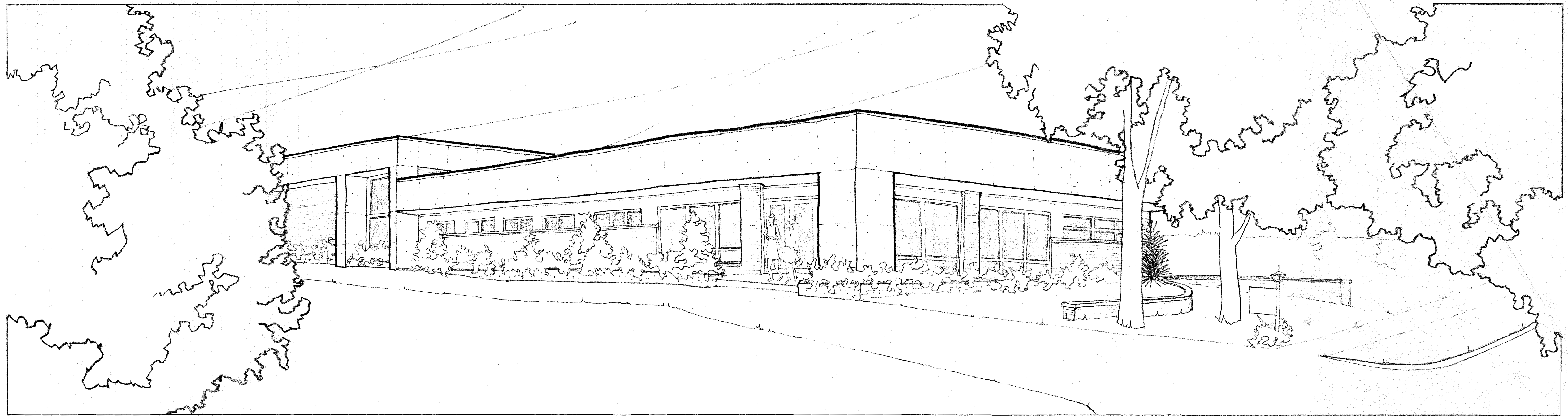
NOT FOR CONSTRUCTION
 ISSUE DATE: 04/12/2024

REVISIONS		
NO.	Date	Description
1	4/22/2024	Addendum #1

PROJECT NUMBER: 6509

FLOOR PLANS

DWG. NO.
A101



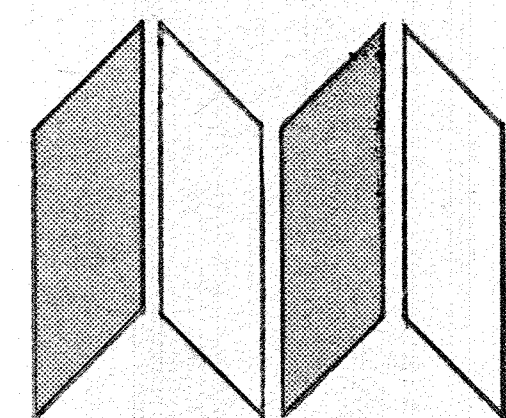
ADDITION AND ALTERATIONS TO:

GREAT RIVER CLINIC

DR. M. ROLLER
 DR. R. W. BUBEN
 DR. Y. KWON

2910 ST. MARYS AVENUE

HANNIBAL, MISSOURI



MEYER AND PETER
 ARCHITECTS — ENGINEERS
 718 W. GU. BUILDING QUINCY, ILLINOIS

DRAWING INDEX

TITLE	SHEET NO.
SITE PLAN	A 1
FOUNDATION PLAN	A 2
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FLOOR PLAN	A 4
FLOOR PLAN	A 5
BUILDING ELEVATIONS	A 6
BUILDING ELEVATIONS	A 7
BUILDING SECTIONS	A 8
SECTION / INTERIOR ELEVATIONS / DETAILS	A 9
WALL SECTIONS	
WALL SECTIONS	
ROOF PLAN / DOOR SCHEDULE	
UTILITY SITE PLAN	
PLUMBING - FOUNDATION PLAN	
PLUMBING - FOUNDATION PLAN	
PLUMBING - FLOOR PLAN	
PLUMBING - FLOOR PLAN	
HVAC - FLOOR PLAN	
HVAC - FLOOR PLAN	
HVAC - SCHEDULES	
ELECTRICAL - FLOOR PLAN	
ELECTRICAL - FLOOR PLAN	
ELECTRICAL - SCHEDULES	

DATE: 9.22.80

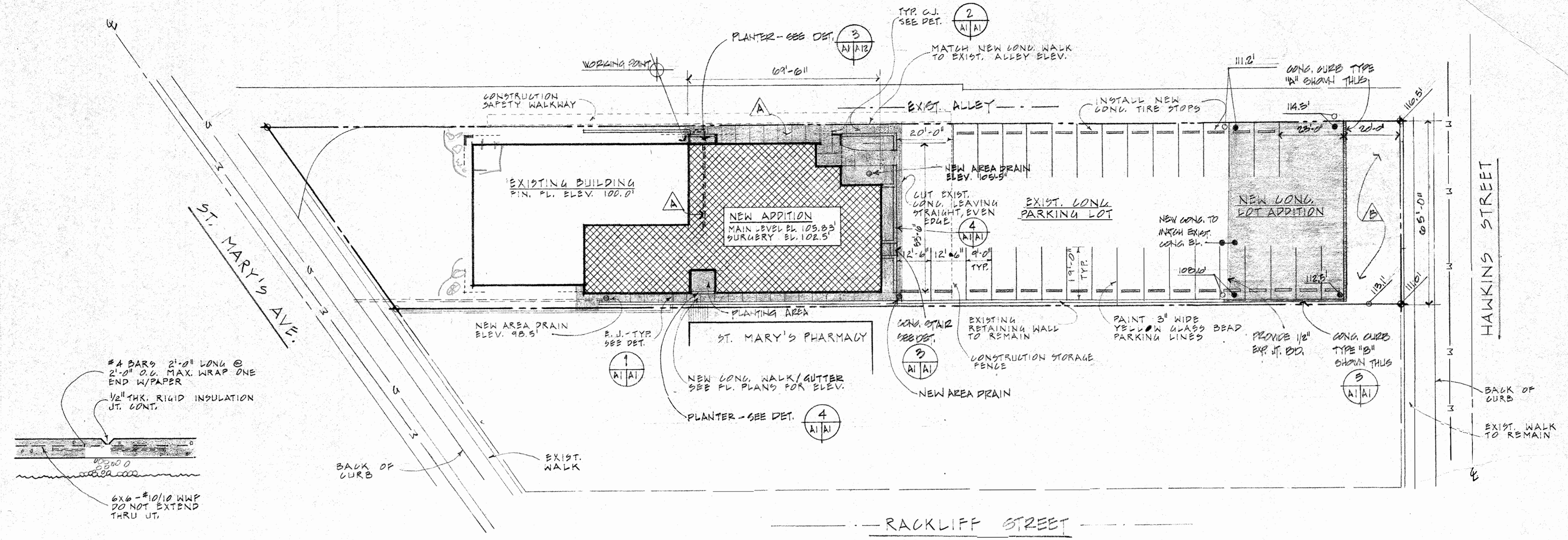
SET

12

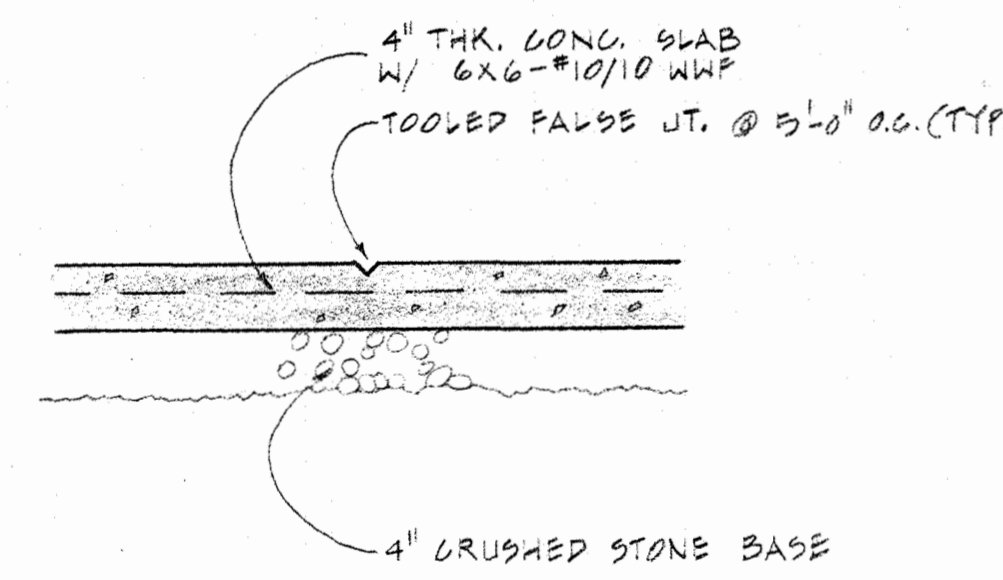
SYMBOLS

- 100.0' NEW SURFACE ELEVATION
- 100.0' EXISTING ELEVATION
- PROPERTY LINE

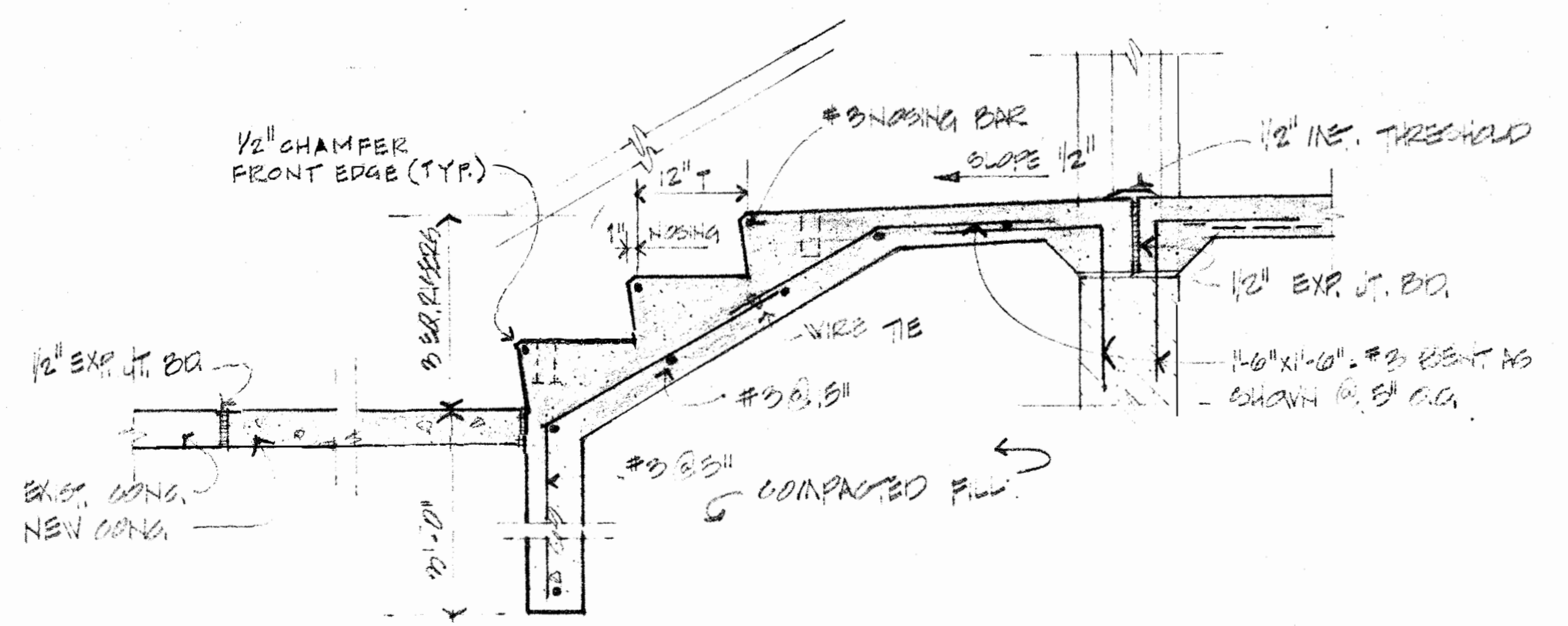
- GENERAL NOTES**
- ▲ REMOVE EXISTING 8" CONC. RET. WALL & CONC. PARKING LOT SURFACE AS READ TO INSTALL NEW CONCRETE.
 - ▲ NEW PLANTING AREA - CONTOUR AS READ TO MATCH ELEVATIONS SHOWN, PROVIDE 6" DEPTH MIN., TO BE COMPLETELY SODDED.



1 DET. @ EXPANSION JT. - E.J.
SCALE: 1/2" = 1'-0"

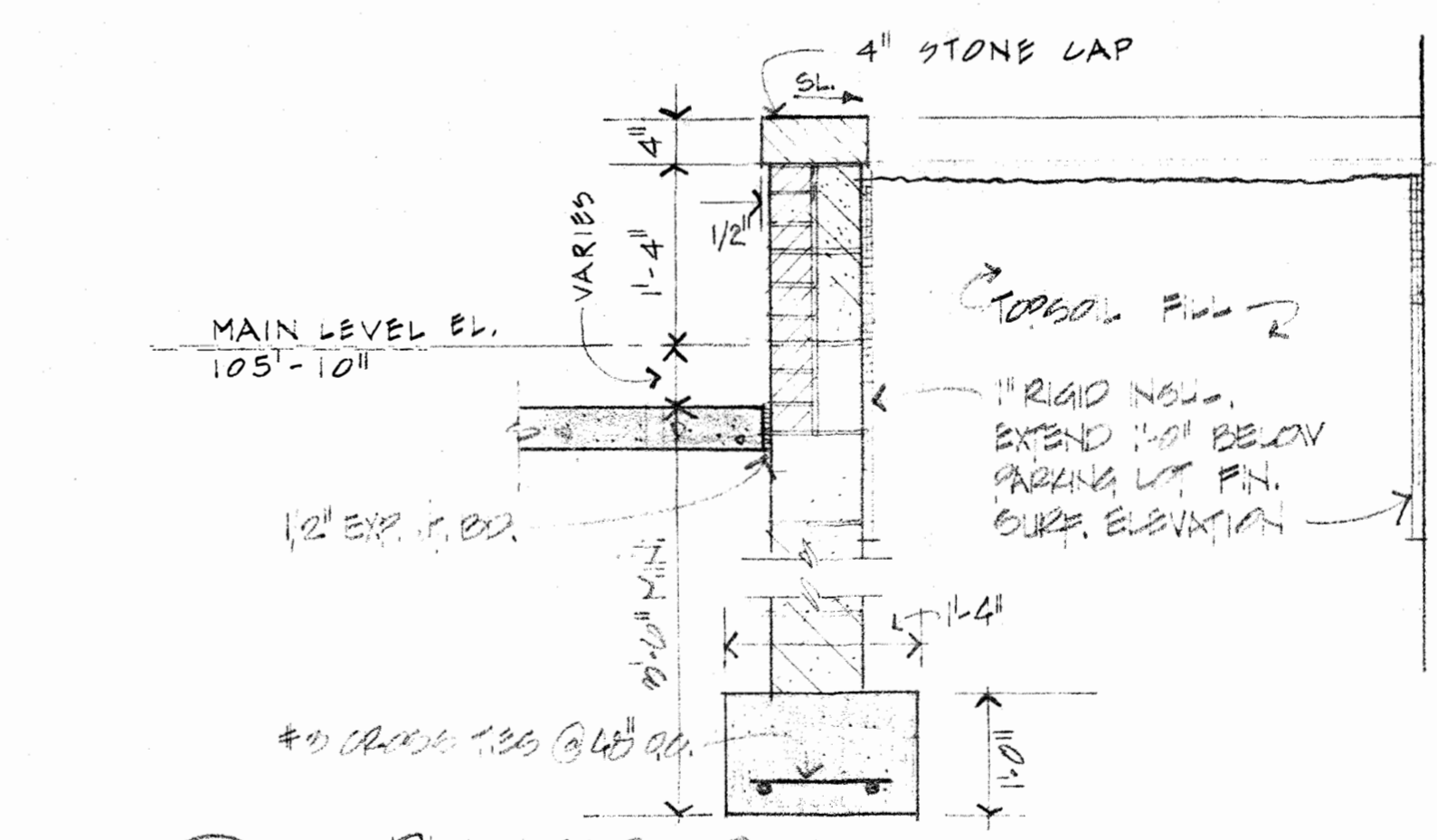


SITE PLAN
SCALE: 1" = 20'-0"

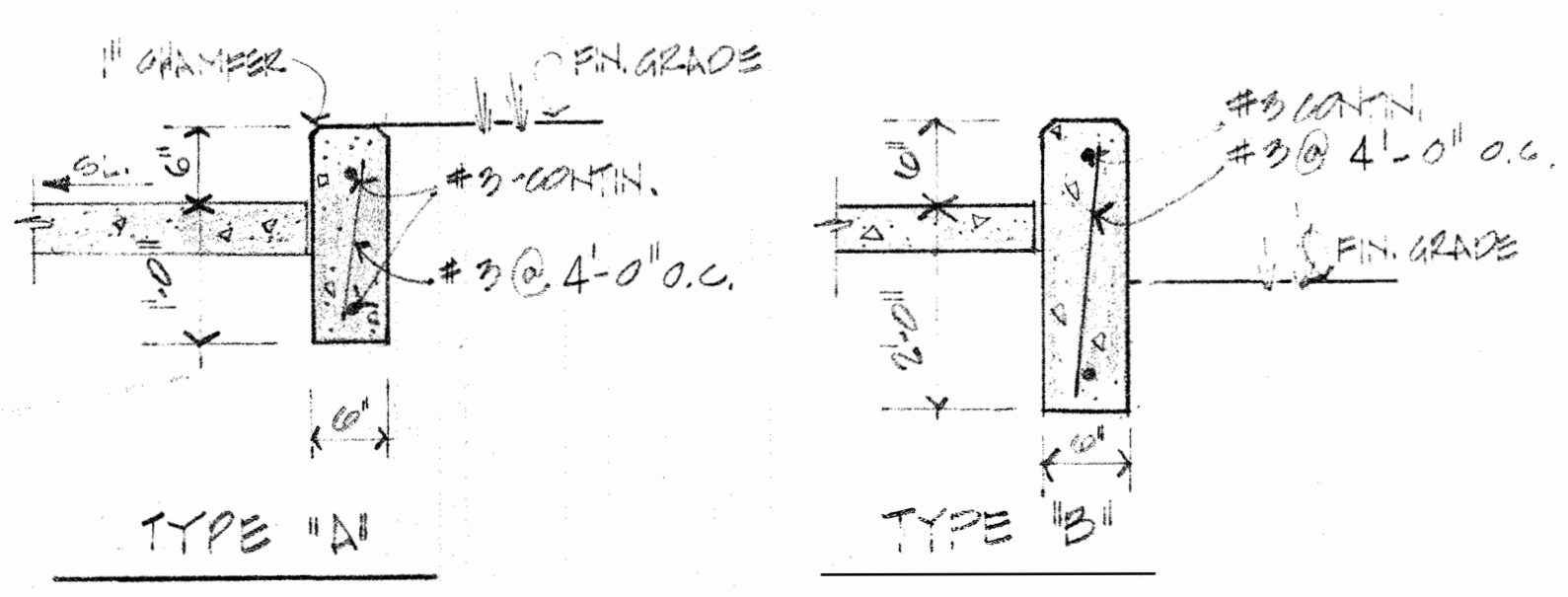


2 DET. @ CONCR. CURB - C.U.
SCALE: 1/2" = 1'-0"

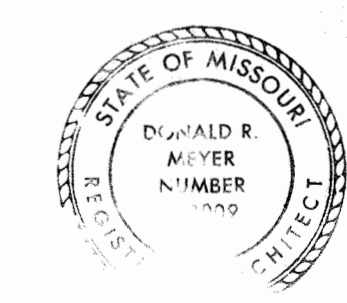
3 CONCRETE STAR DETAIL - EXTERIOR
SCALE: 3/4" = 1'-0"



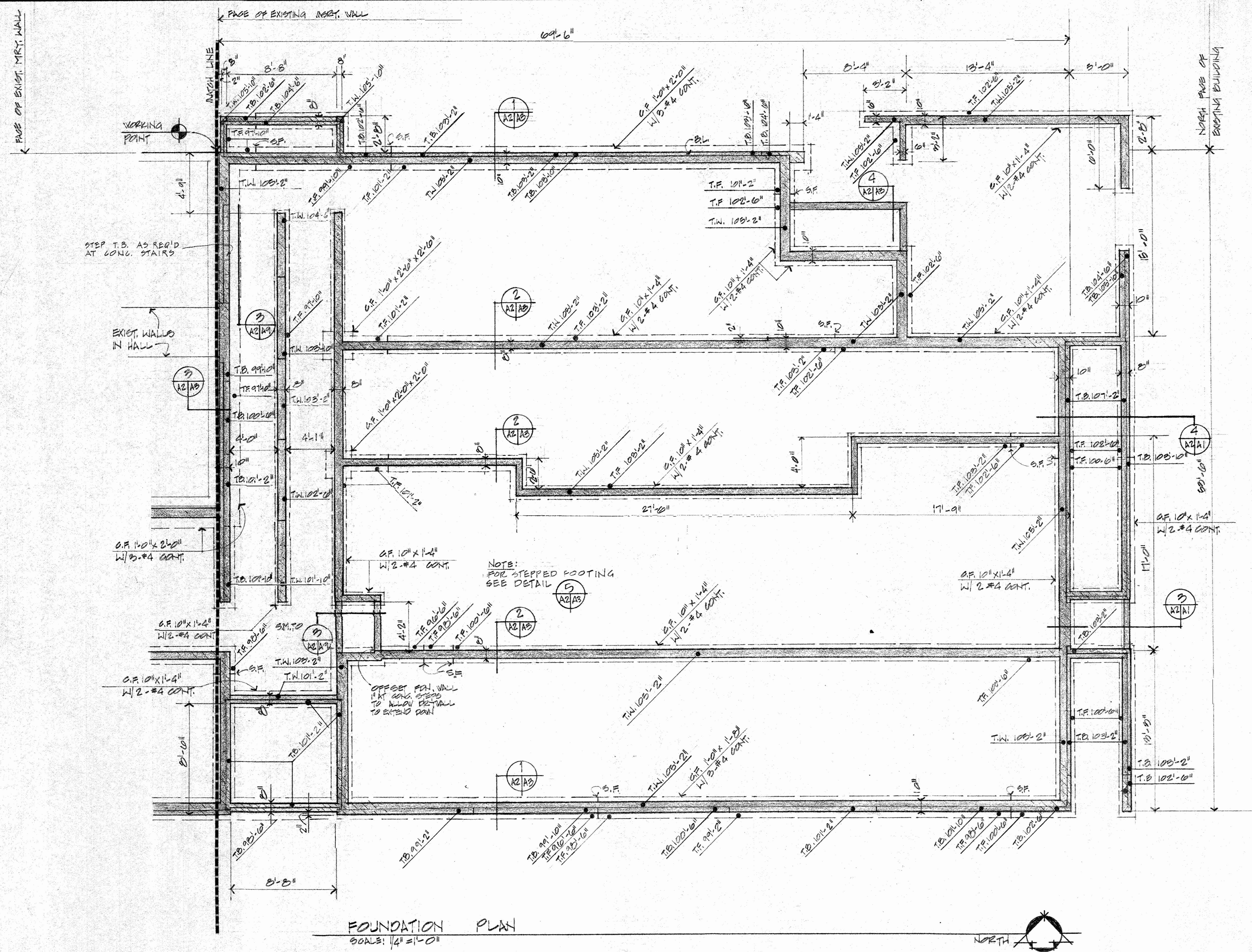
4 PLANTER DETAIL
SCALE: 3/4" = 1'-0"



5 CONCRETE CURB DETAILS
SCALE: 3/4" = 1'-0"



MEYER AND PETER ARCHITECTS - ENGINEERS
2910 ST. MARY'S AVE. ST. LOUIS, MO 63103
TEL: 636-336-1100



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SYMBOLS

	DETAIL NO.
	DRAWING SHOWN ON
	DRAWING CUT ON

ABBREVIATIONS

T.W.	TOP OF FOUNDATION WALL
T.F.	TOP OF FOOTING
C.F.	CONCRETE FOOTING
B.L.	BRICK LEADGE
T.B.	TOP OF BRICK LEADGE
S.F.	STEP FOOTING

- CONCRETE DESIGN NOTES**
1. CONCRETE COMPRESSIVE STRENGTH MIN. 3500 PSI @ 28 DAYS
 2. BAR REINFORCING STEEL ASTM A603 GRADE 60
 3. MESH REINFORCING ASTM A603

4. ALL LAPS & INTERSECTIONS SECURED WITH WIRE TIES.
5. CONSTRUCTION JOINTS IN WALLS & FOOTINGS AT POINTS OF MIN. STRESS - VERIFY EXACT LOCATION W/ ARCH.
6. FOOTING POURS STOP AGAINST KEYED BULKHEADS WITH REIN. EXTENDED THRU.
7. FOOTINGS DESIGNED FOR DEAD LOAD PLUS 1/2 LIVE LOAD UNLESS OTHERWISE SPECIFIED. UNLESS OTHERWISE SPECIFIED, UNDISTURBED OR TESTED AND PROVED SOIL FOR PRESSURE OF 2000 LB/SQ FT.
8. ALL FOOTING CONG. TO BE PLACED IN PUMPED DRY EXCAVATIONS REFER TO SPEC. FOR REQUIRE. ON EARTH FORMED FOOTINGS.



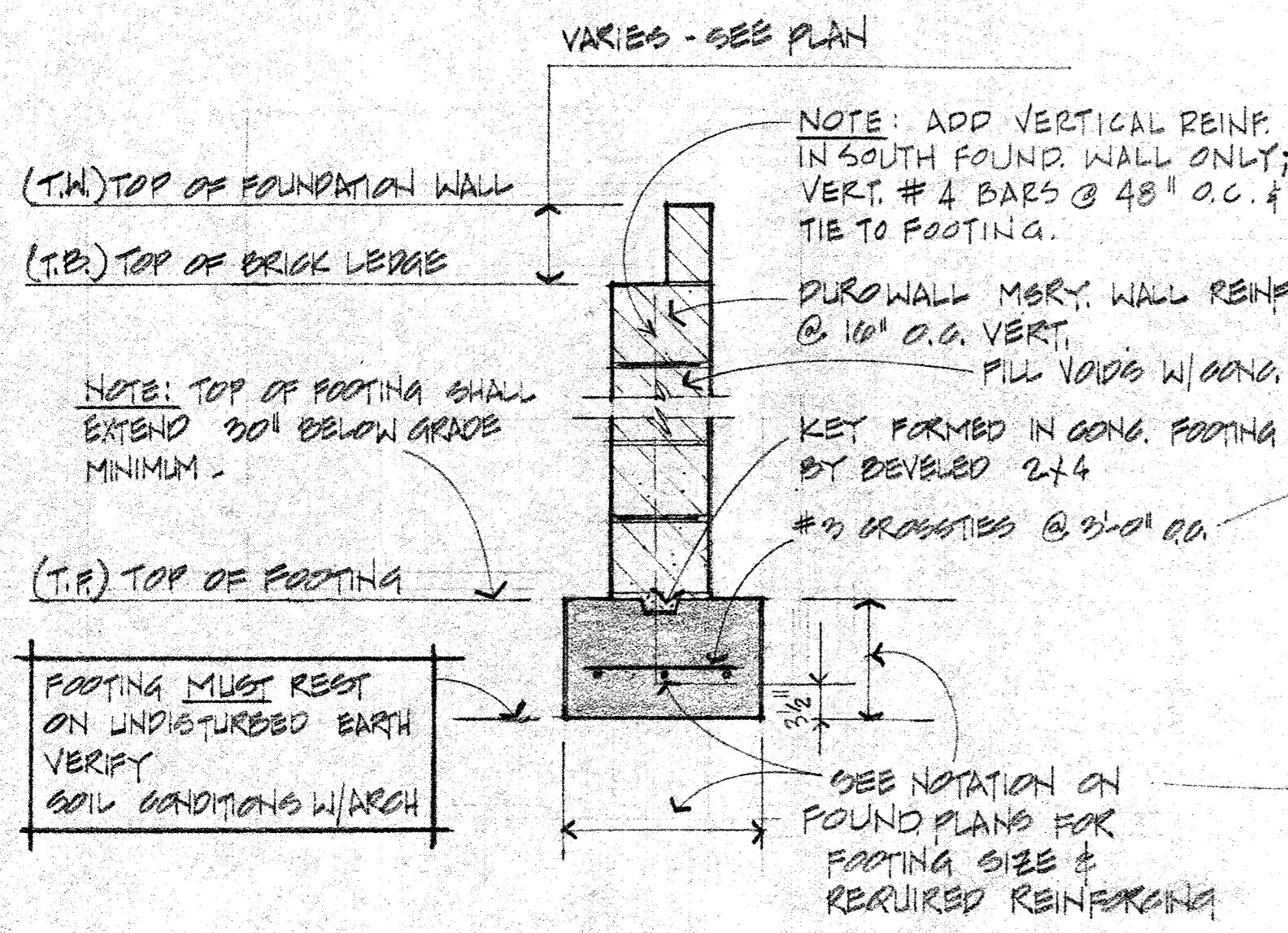
FOUNDATION PLAN

ADDITION AND MODIFICATIONS TO
GREAT RIVER BUILDING

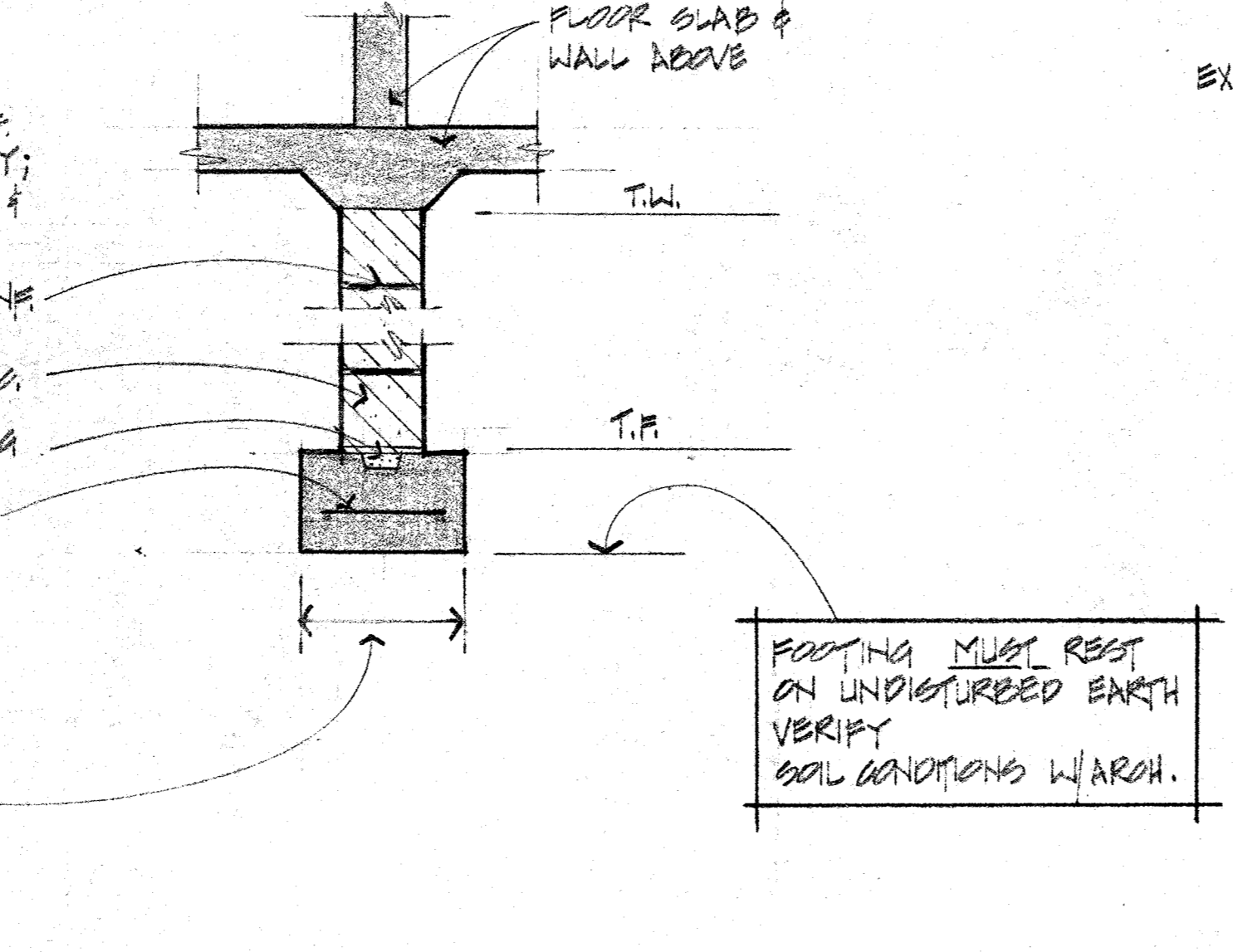
210 ST. MARTIN'S AVE. HANCOCK, MO.

MEYER AND PETER
ARCHITECTS - ENGINEERS

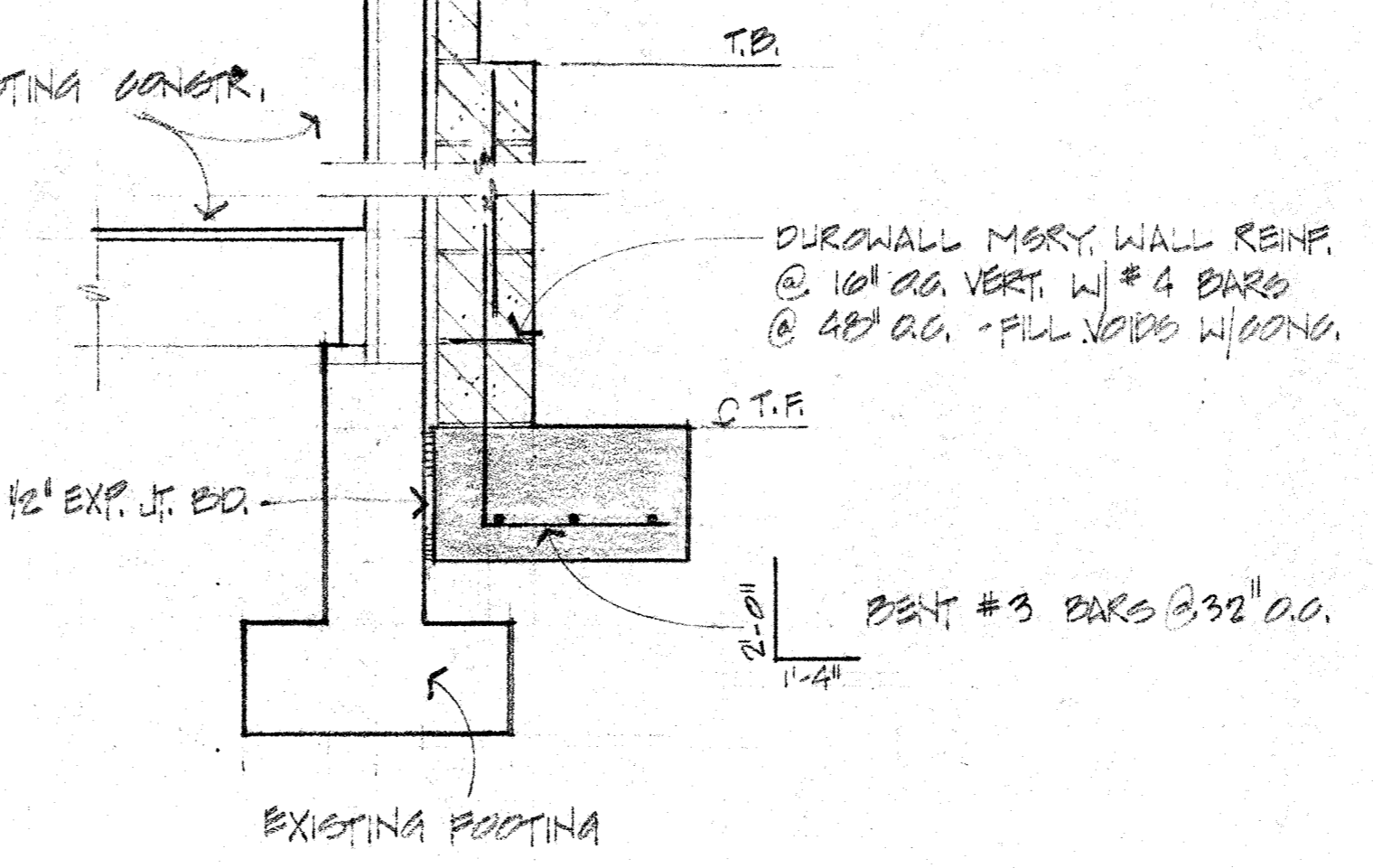
1000 BUILDING COUNCIL BLVD. ST. LOUIS, MO. 63102



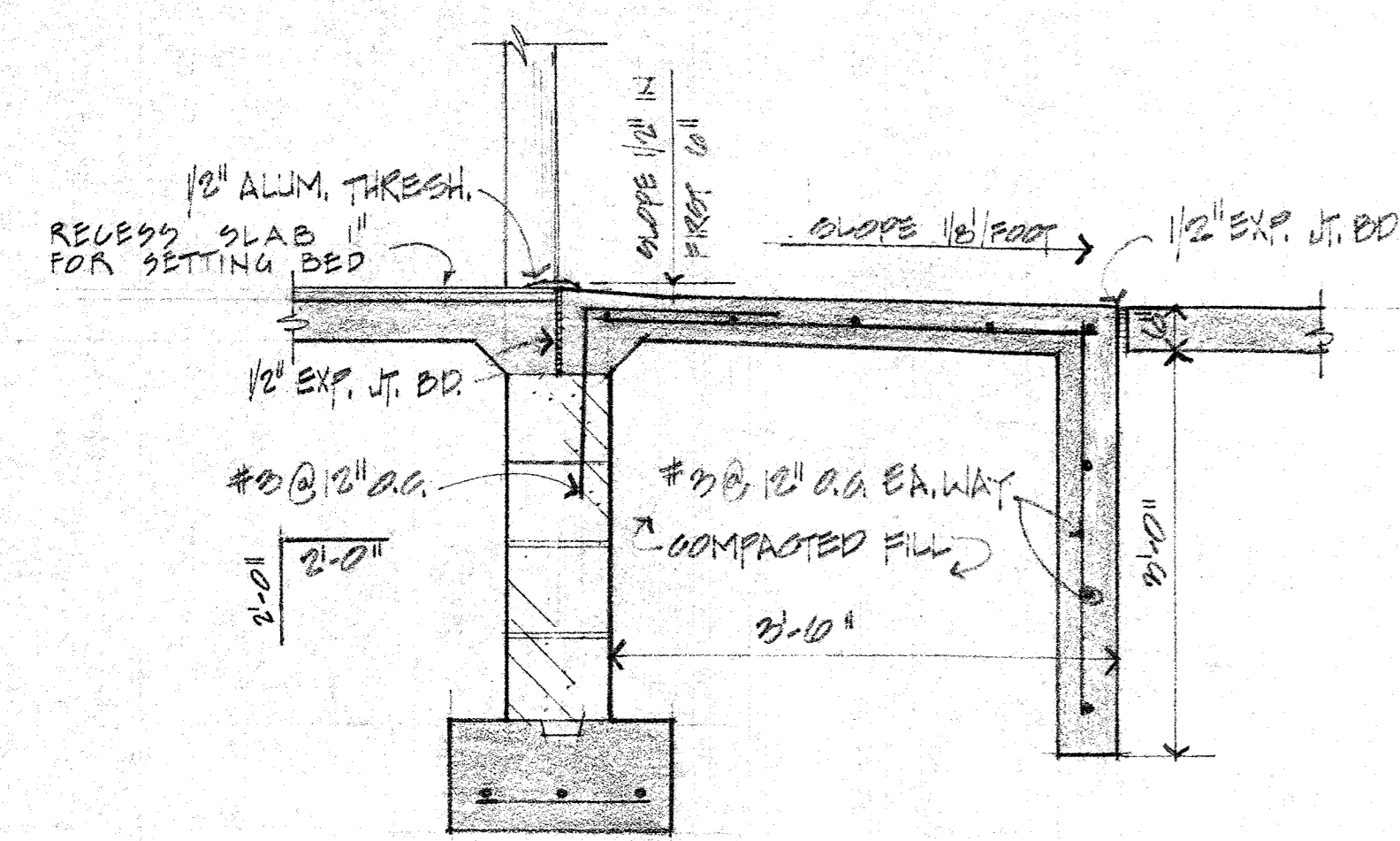
1 TYP. EXTERIOR FDN. WALL & FOOTING
SCALE: 3/4" = 1'-0"



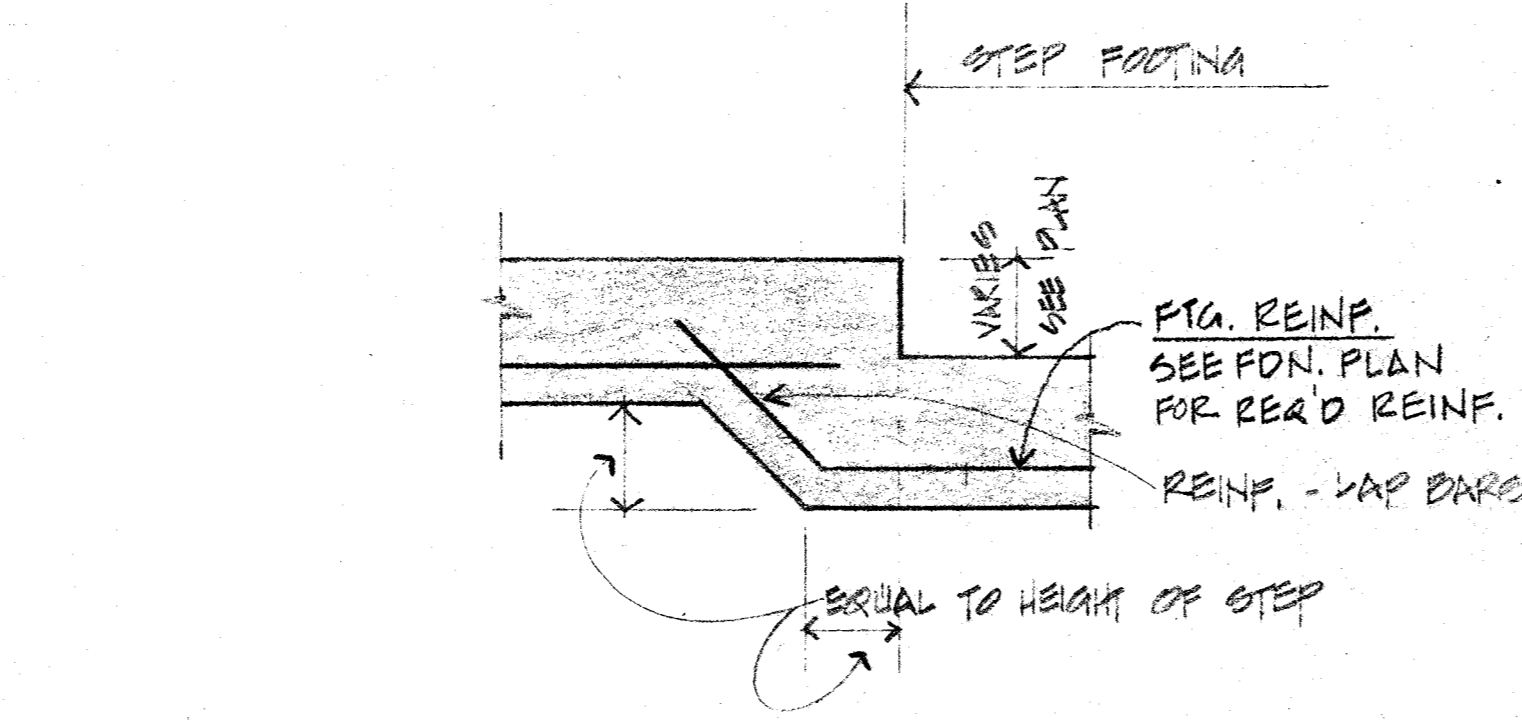
2 TYP. INT. FDN. WALL & FTG.
SCALE: 3/4" = 1'-0"



3 FTG. & FDN. WALL BETWEEN BUILDINGS
SCALE: 3/4" = 1'-0"

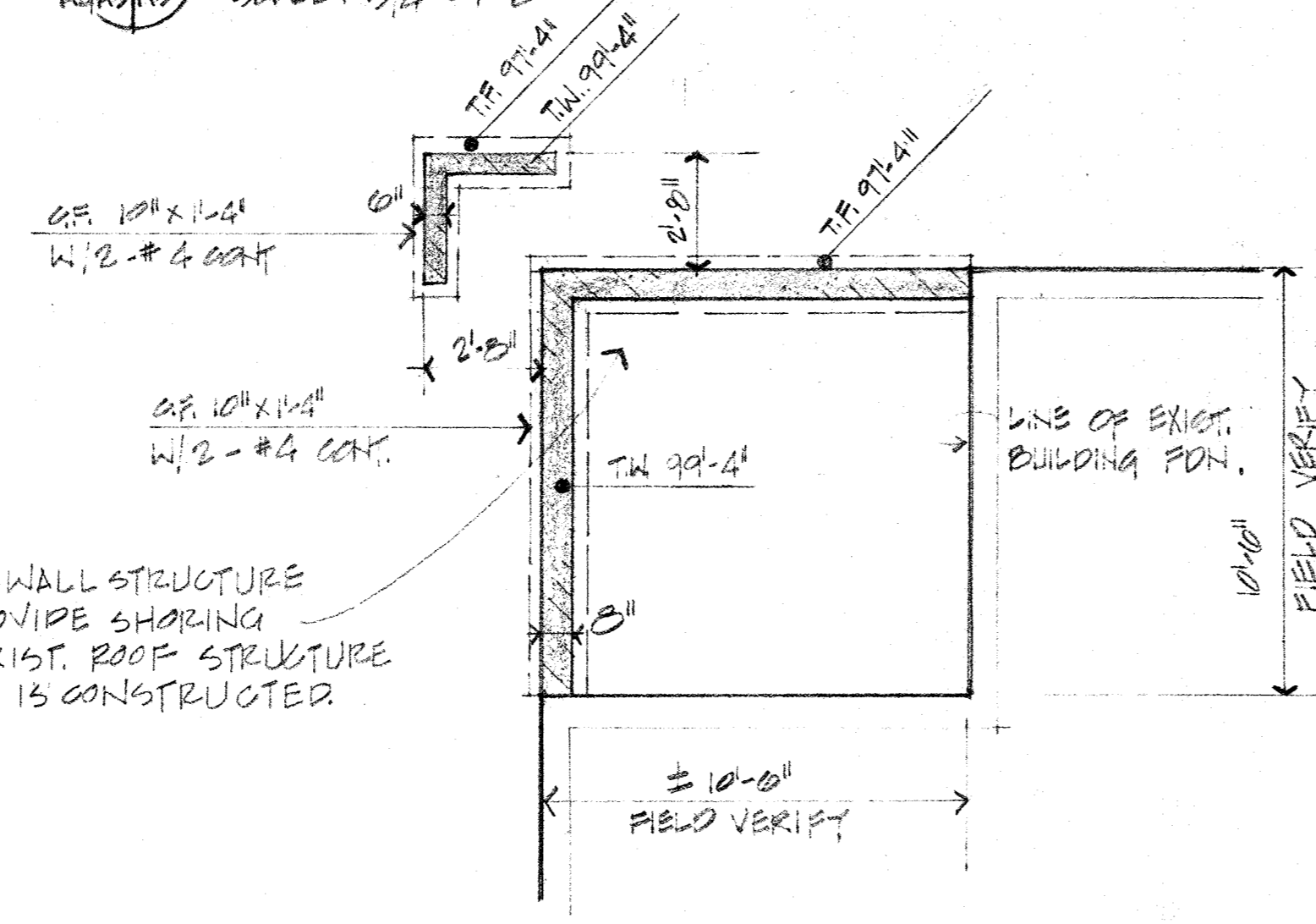


4 FROSTWALL DETAIL @ ENTRY
SCALE: 3/4" = 1'-0"

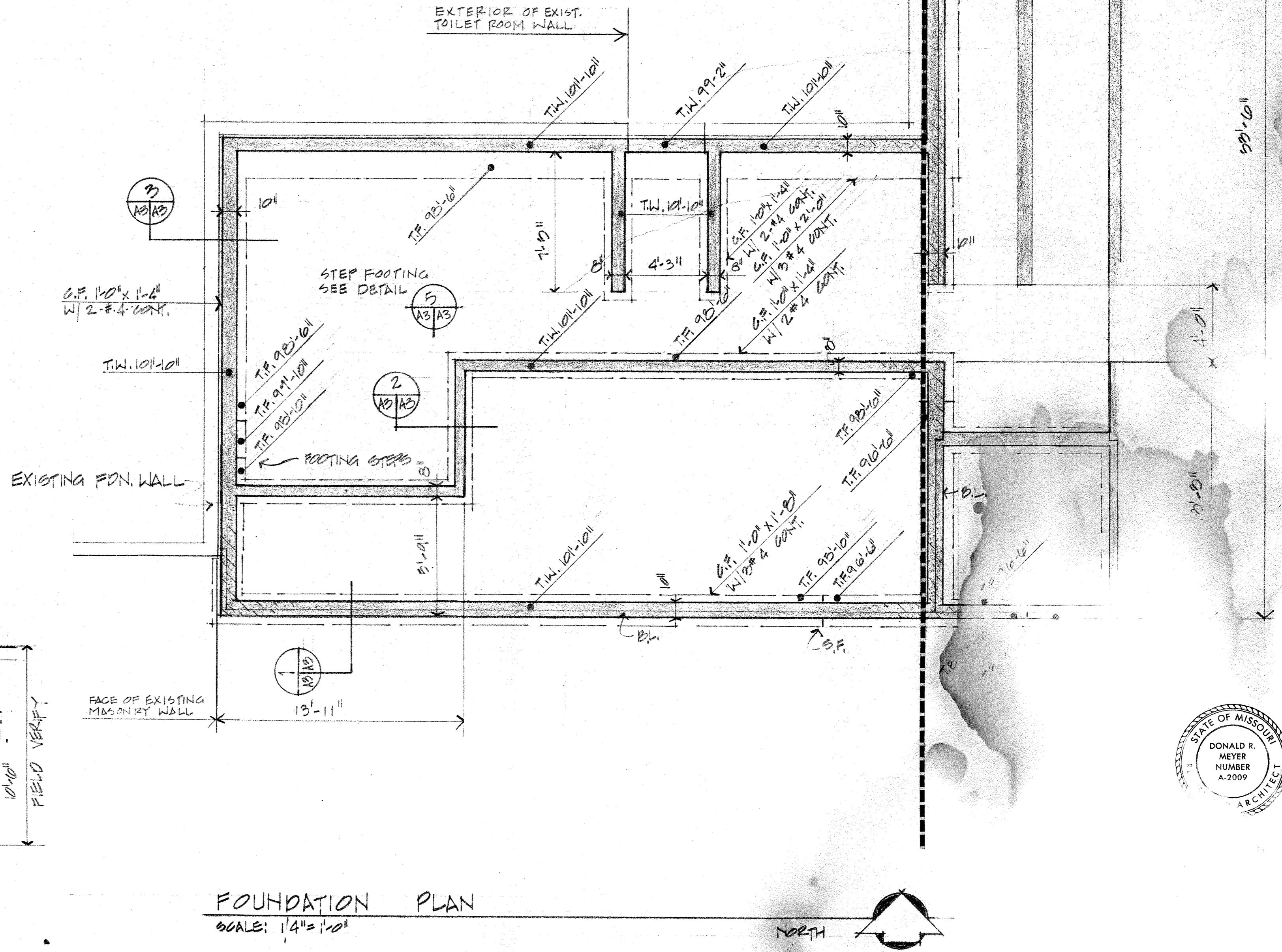


5 STEP FOOTING DETAIL (S.F.)
SCALE: 3/4" = 1'-0"

NOTE:
REMOVE EXISTING WALL STRUCTURE COMPLETELY. PROVIDE SHORING AS REQ'D FOR EXIST. ROOF STRUCTURE UNTIL NEW WALL IS CONSTRUCTED.

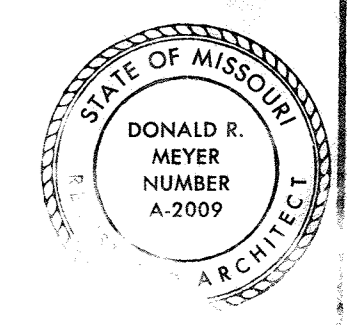


PLAN OF FOUNDATION @ EXIST. ENTRY
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

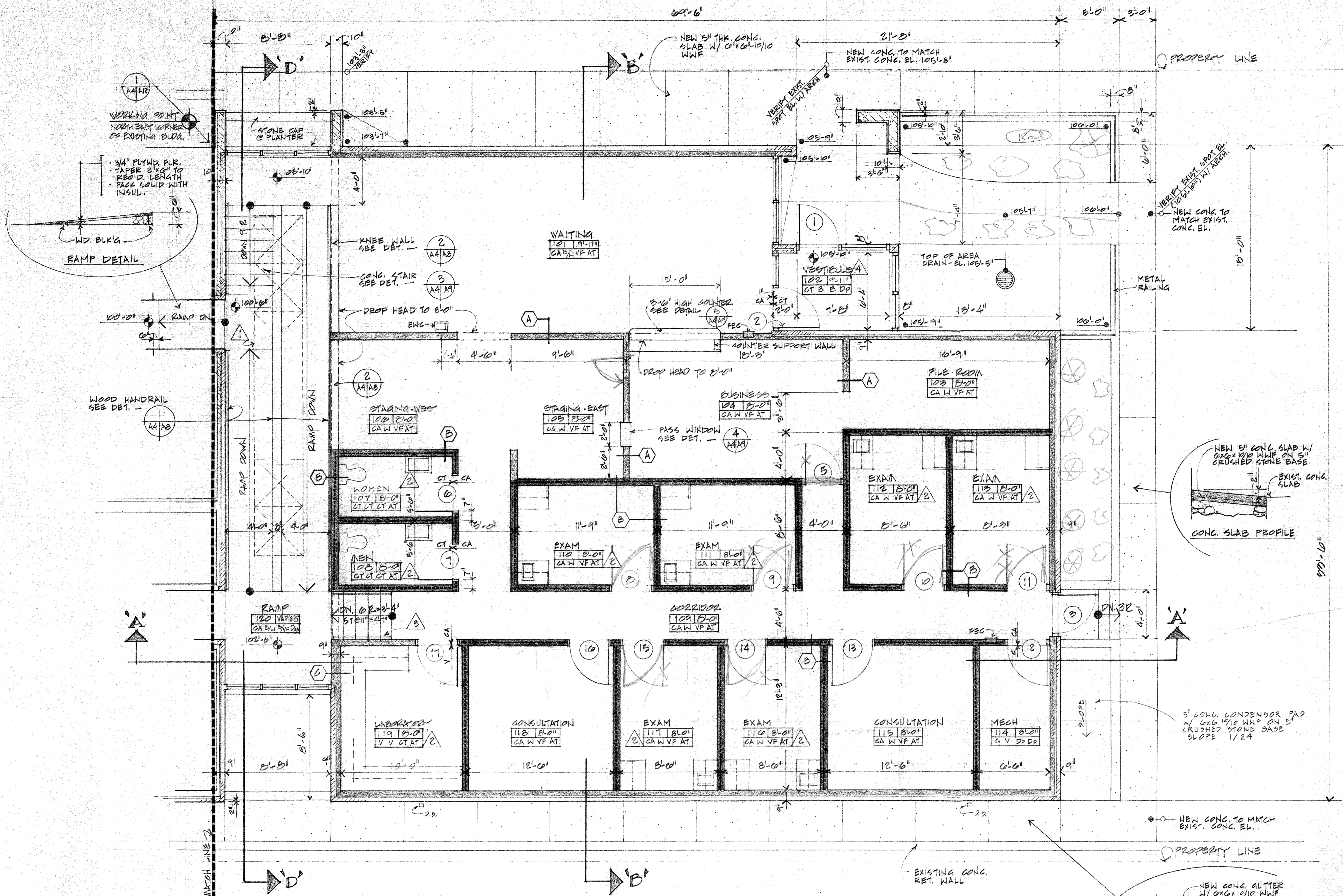
FOR FDN. INFORMATION IN THIS AREA SEE SHEET A-2



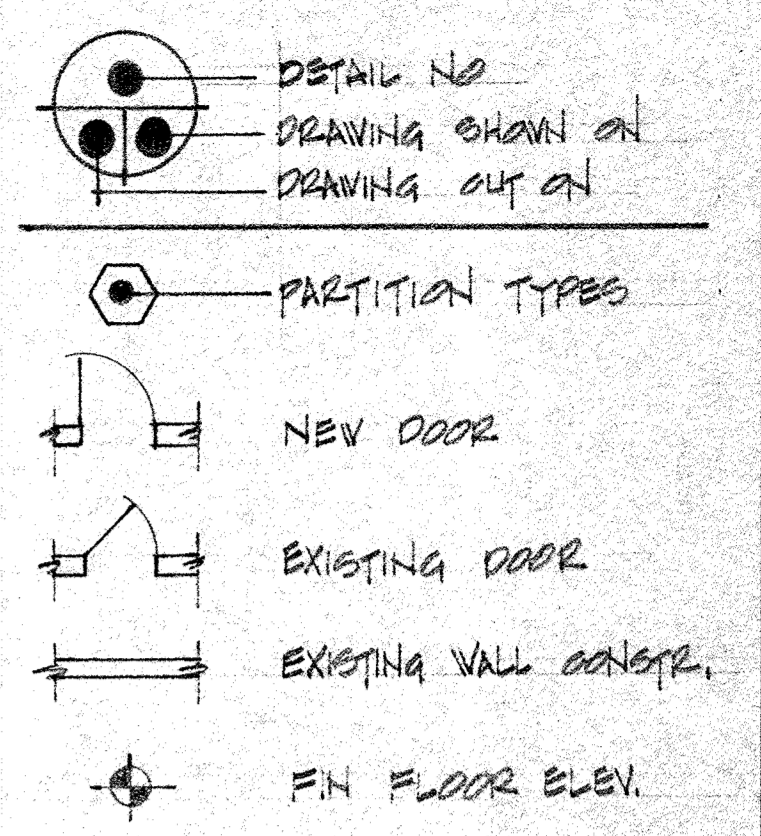
FOUNDATION PLAN DETAIL

ADDITION AND ALTERATIONS TO
GREAT RIVER CLINIC
2912 ST. MARY'S AVE. - HANNAH, MO.

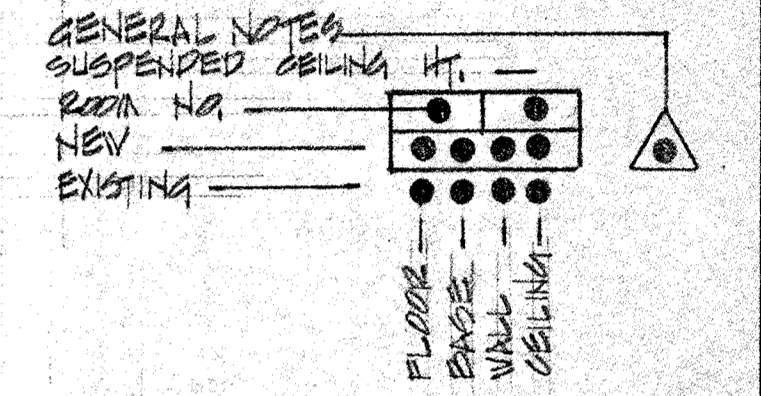
MEYER AND PETER
ARCHITECTS - ENGINEERS
718 W. C. BUILDING - QUINCY, ILL.



SYMBOLS



MATERIAL & FINISH LEGEND



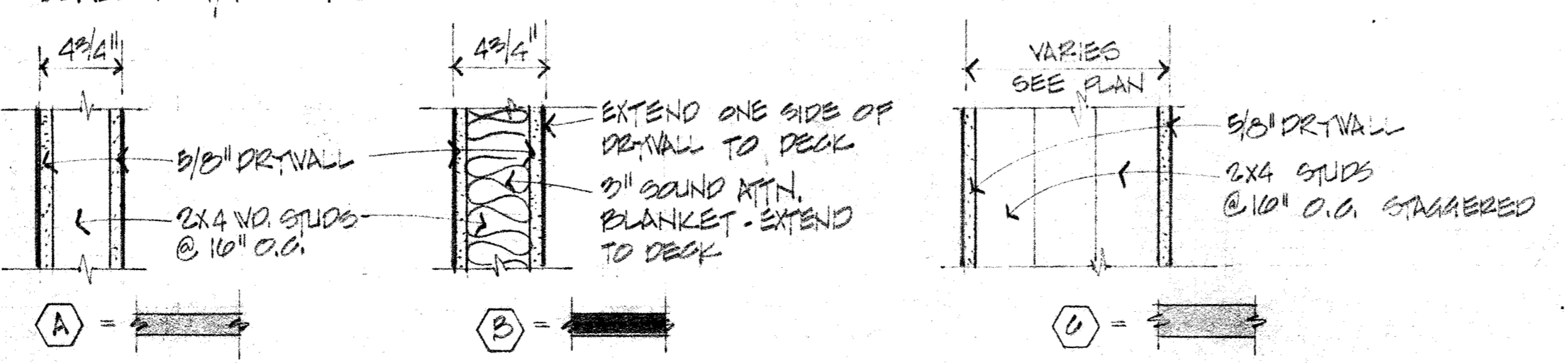
ABBREVIATIONS

AS	ADDITIONAL SPRAY
AT	ADDITIONAL TILE (EXCLAV)
B	BRICK
C	CONCRETE
CA	CARPET
CT	CERAMIC TILE
D	DRYWALL
P	PAINTED
V	VINYL
VF	VINYL FABRIC
X	EXISTING
W	WOOD

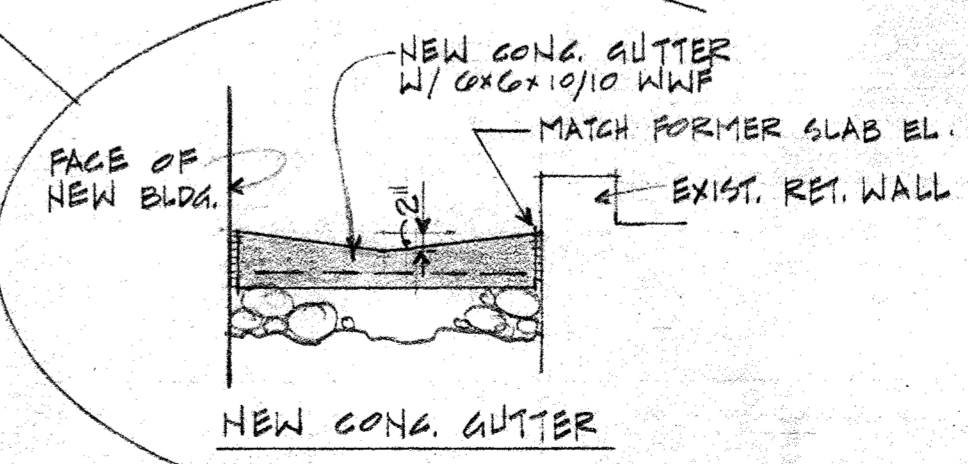
GENERAL NOTES

- 1 LINE OF SKYLIGHT AS PER SEE DETAILS & PLAN ON SHEET A-9
- 2 SEE INTERIOR ELEVATIONS ON SHEET A-9
- 3 STAIR DETAIL - SIMILAR TO DETAIL.
- 4 RECESS FOR TILES

FLOOR PLAN
SCALE: 1/4" = 1'-0"



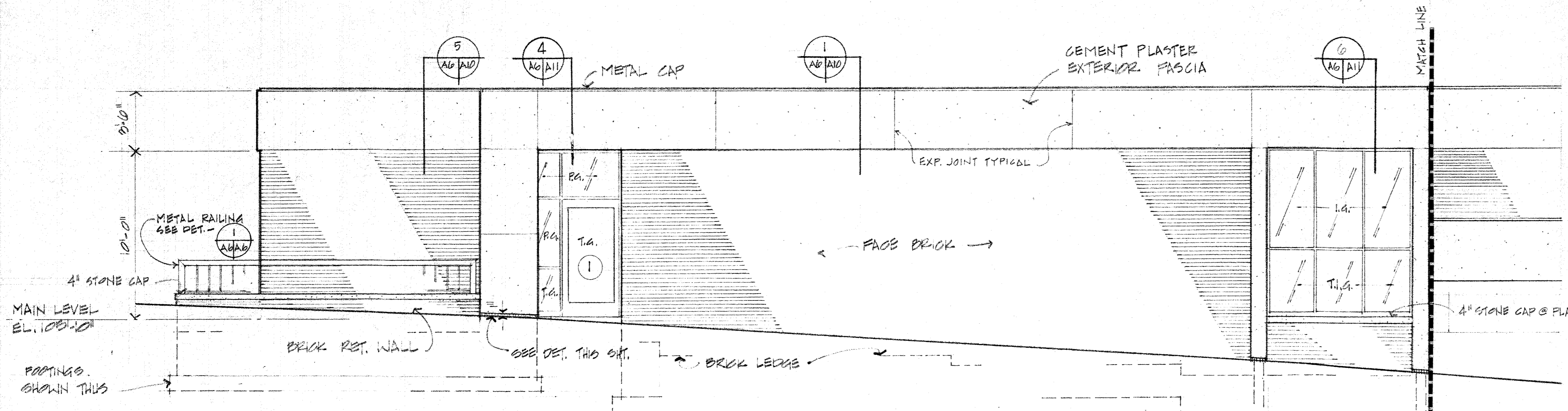
PARTITION TYPES
SCALE: 1/2" = 1'-0"



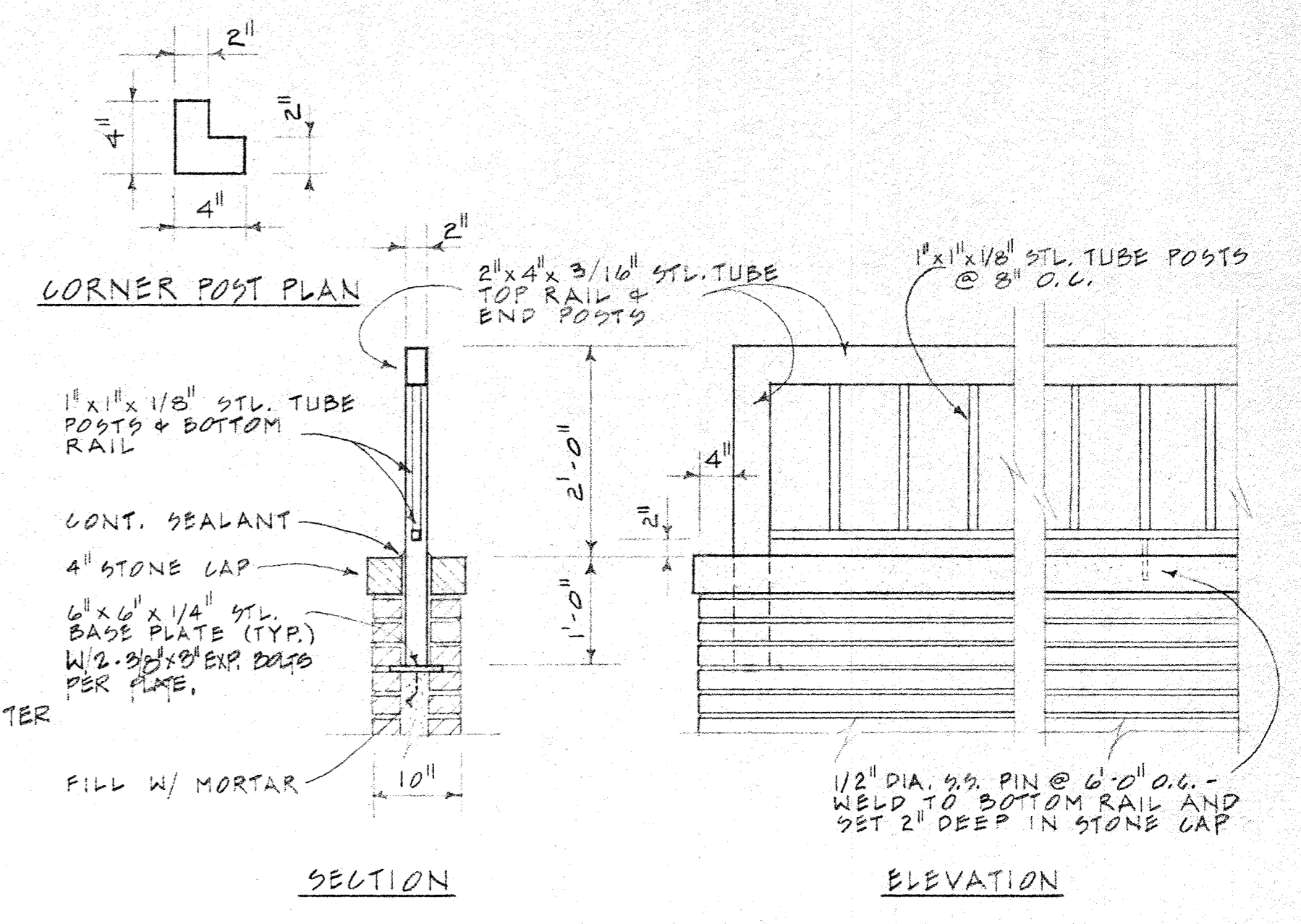
FLOOR PLAN

ADDITIONAL & REVISIONS FOR
GREAT RIVER CLINIC
2400 ST. LOUIS AVE. WINNEMOON, MO

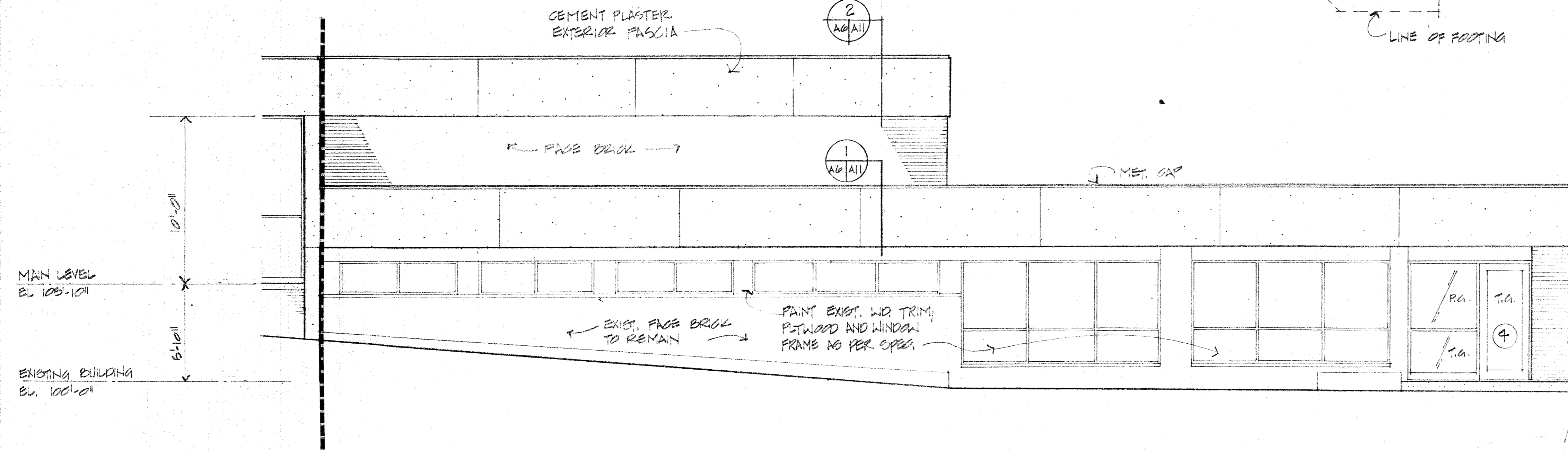
MEYER AND PETER
ARCHITECTS - ENGINEERS
718 WCU BUILDING - QUINCY, ILL. 62450



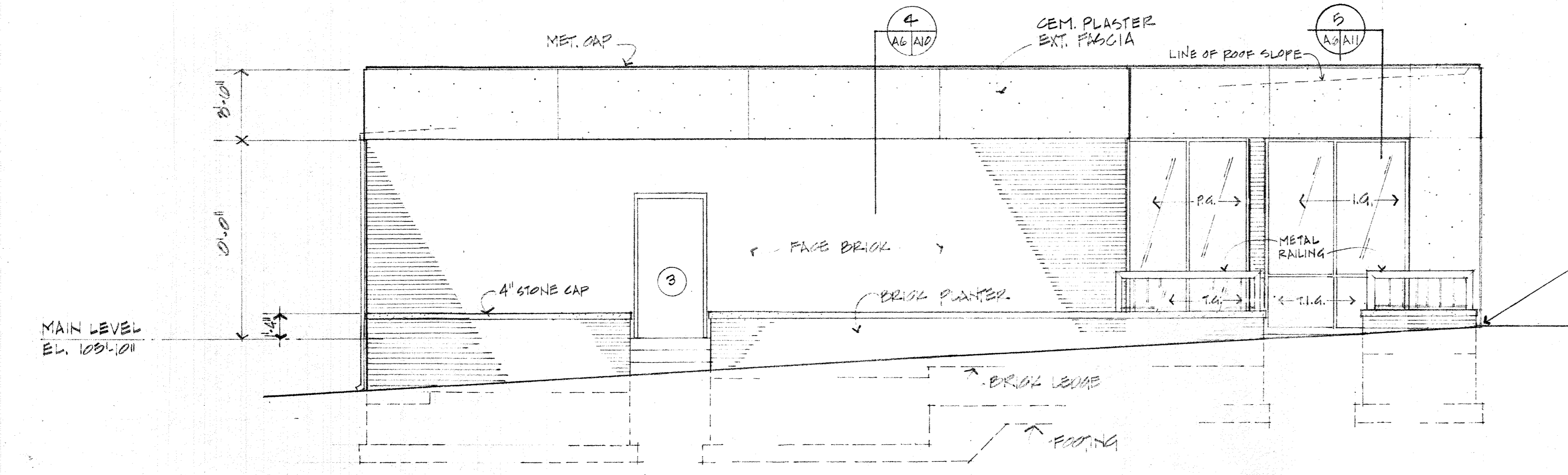
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



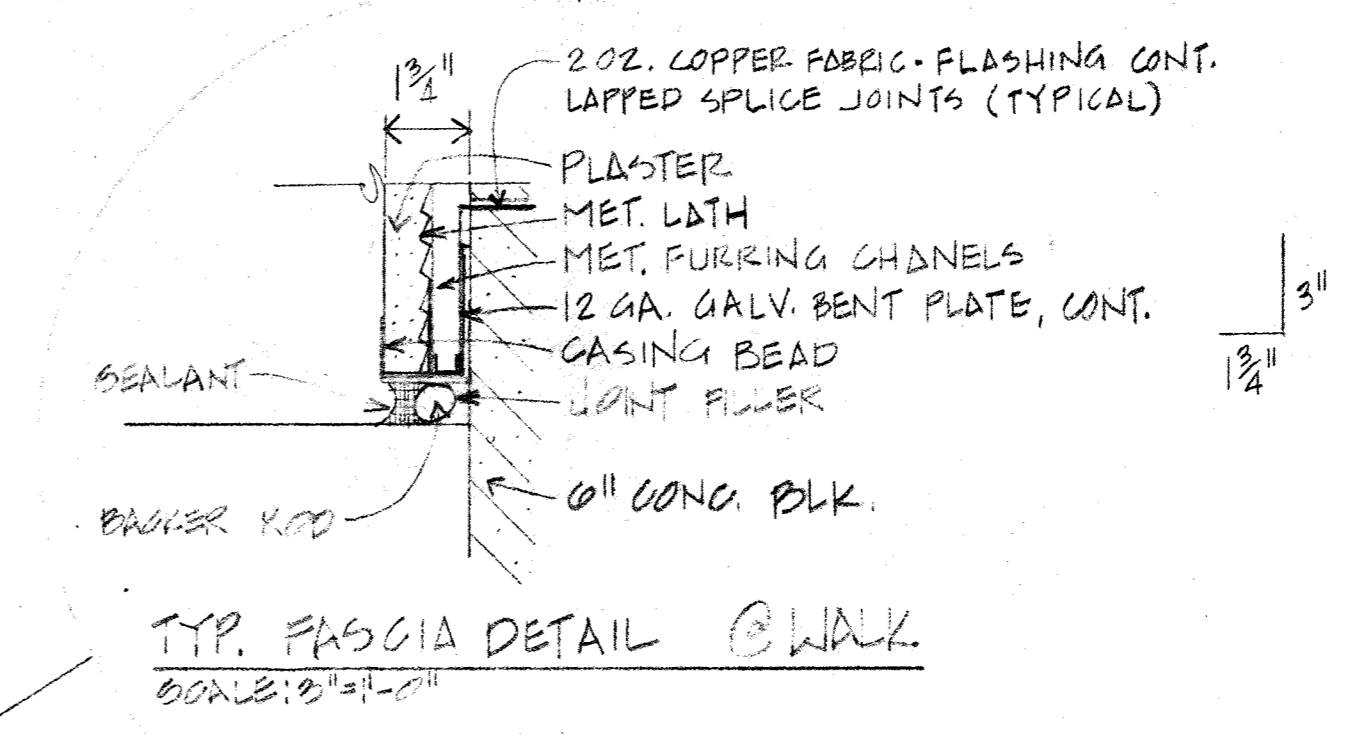
METAL RAILING DETAIL
SCALE: 3/4" = 1'-0"



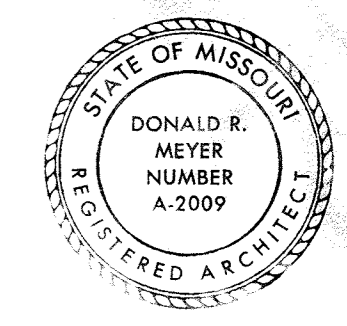
NORTH ELEVATION



EAST ELEVATION



TYP. FASCIA DETAIL
SCALE: 3/4" = 1'-0"

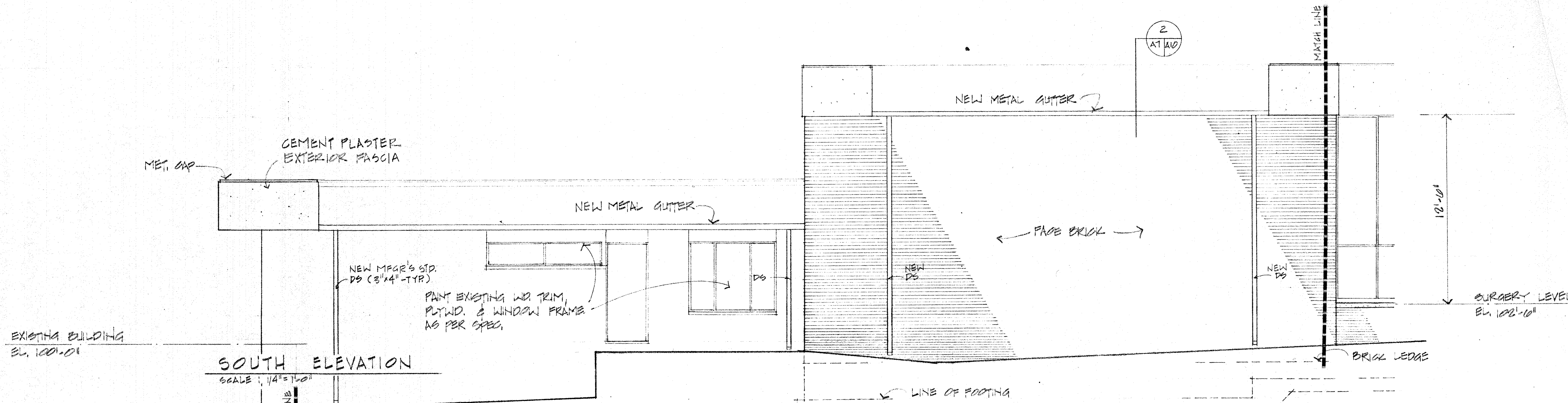


BUILDING ELEVATIONS

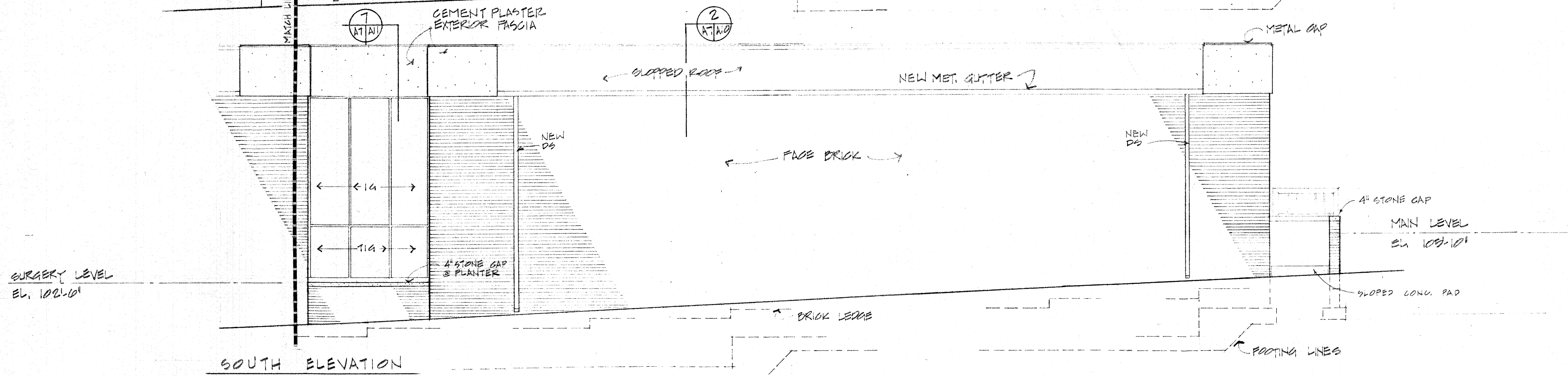
ADDITION AND ALTERATIONS TO
GREAT RIVER CLINIC
 2910 ST. MARYS AVE HANNIBAL, MO

MEYER AND PETER
 ARCHITECTS - ENGINEERS
 718 WCU BUILDING - QUINCY, ILLINOIS 62301

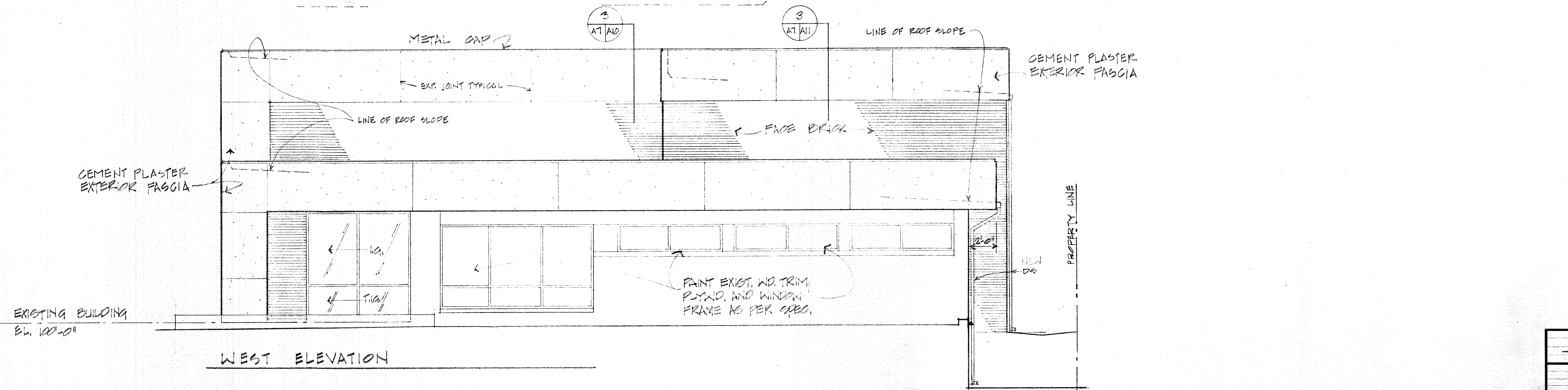
A6



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION



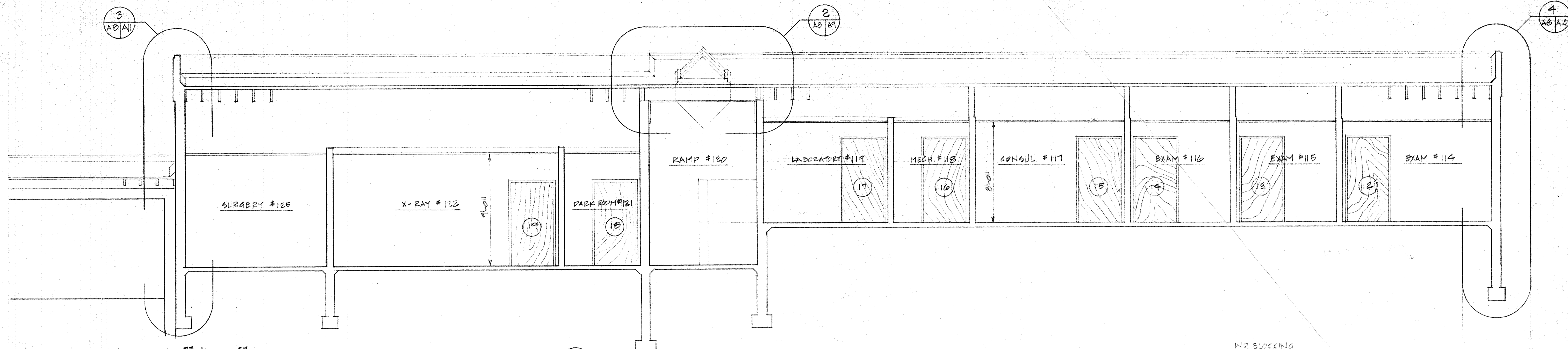
WEST ELEVATION



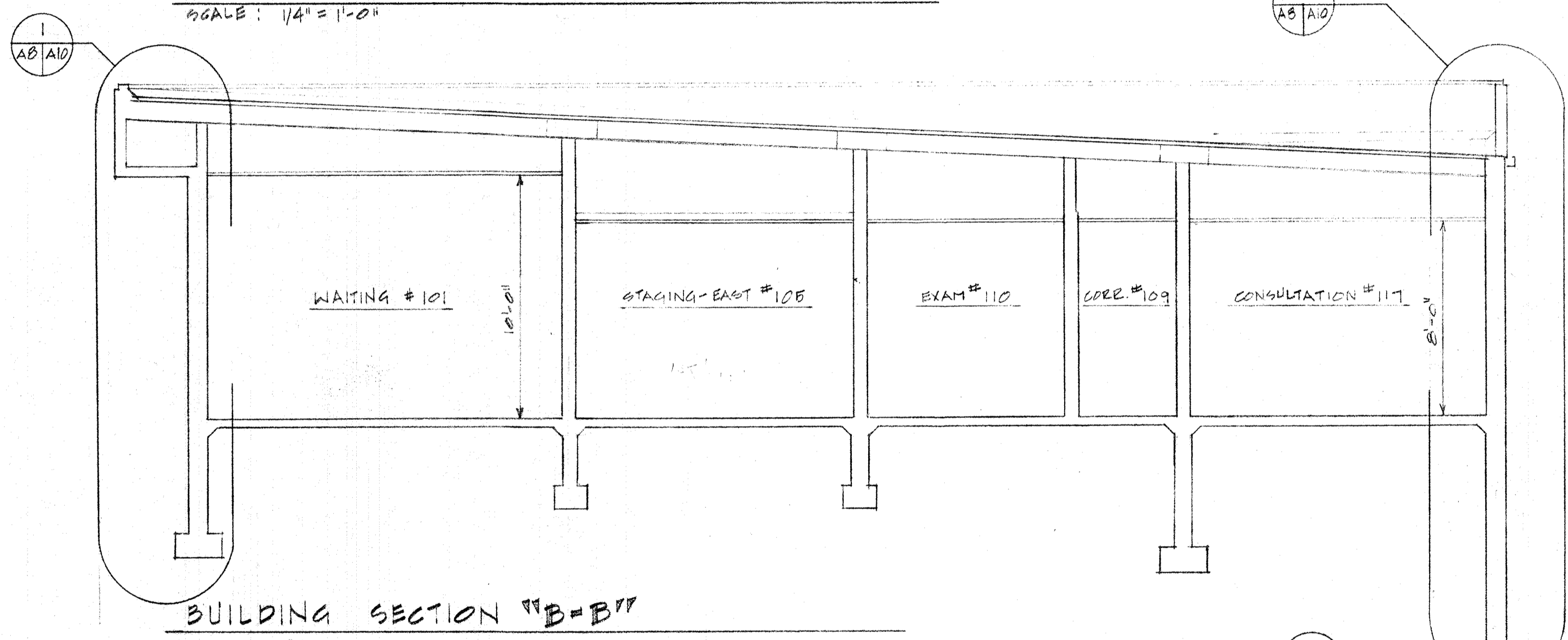
BUILDING ELEVATIONS

ADDITION AND ALTERATIONS TO
GREAT RIVER CLING
 2910 ST. MARYS AVE HANNIBAL, MO

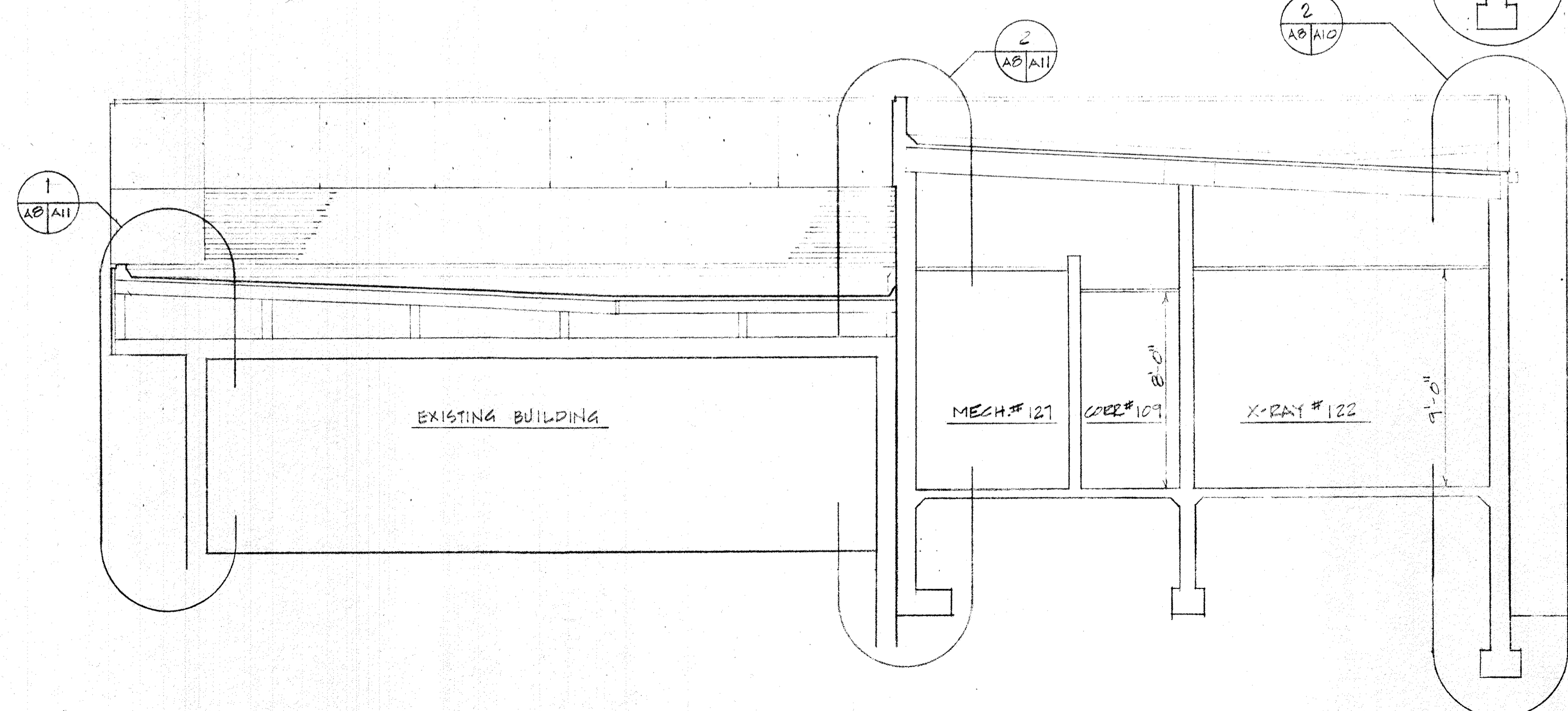
MEYER AND PETER
 ARCHITECTS - ENGINEERS
 718 W. BUILDING - QUINN - 660-6667



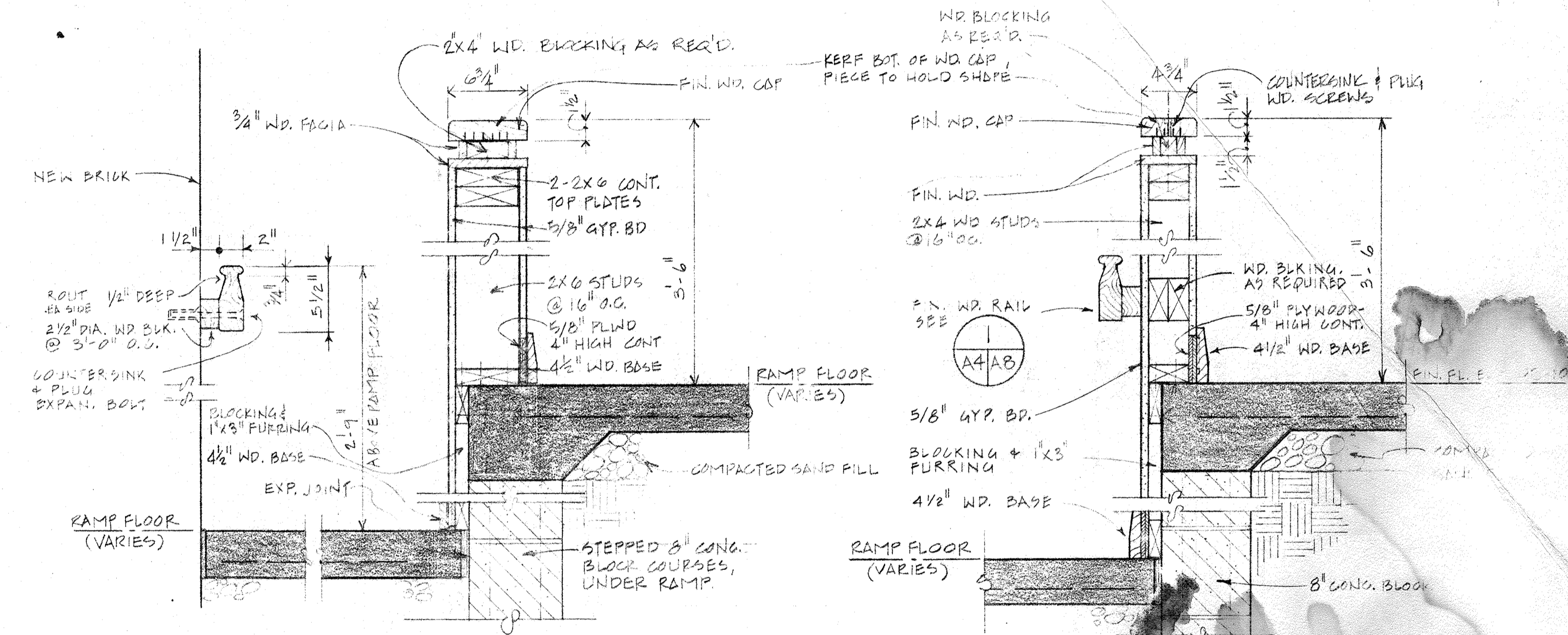
BUILDING SECTION "A-A"
SCALE: 1/4" = 1'-0"



BUILDING SECTION "B-B"

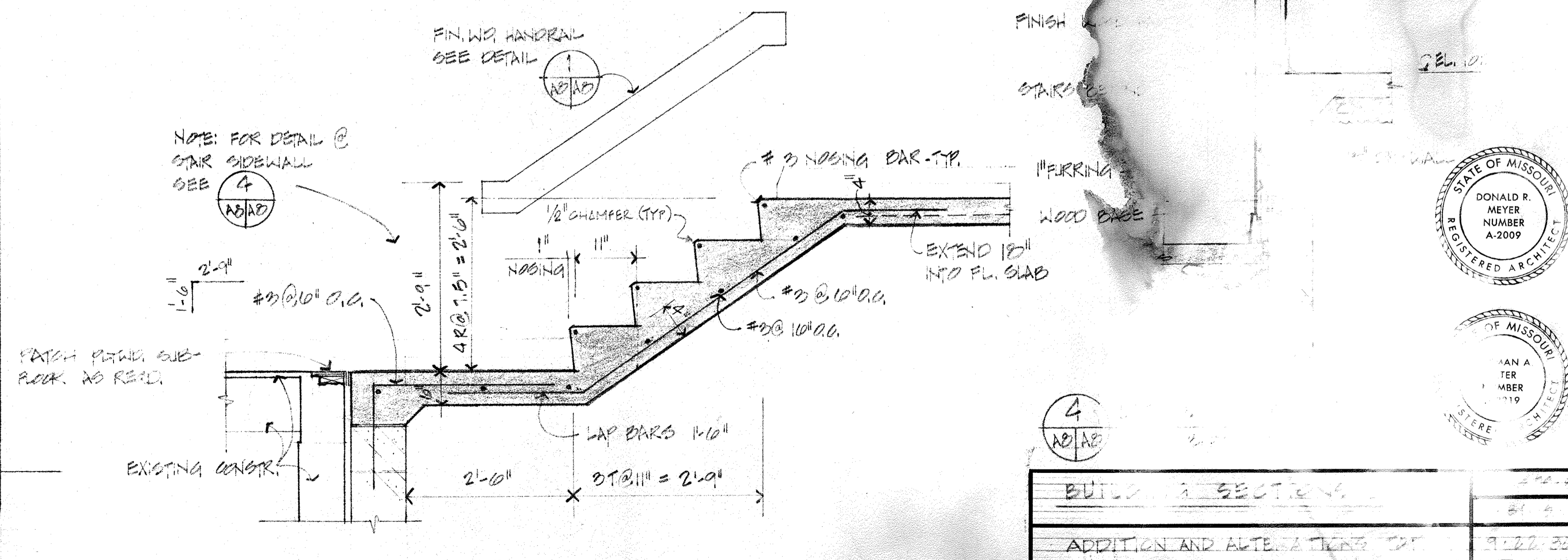


BUILDING SECTION "C-C"



1 HANDRAIL DETAIL & SECTION THRU RAMP WALL
SCALE: 1/2" = 1'-0"

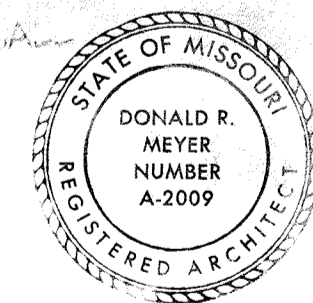
2 SECTION THRU KNEE WALL @ RAMP
SCALE: 1/2" = 1'-0"

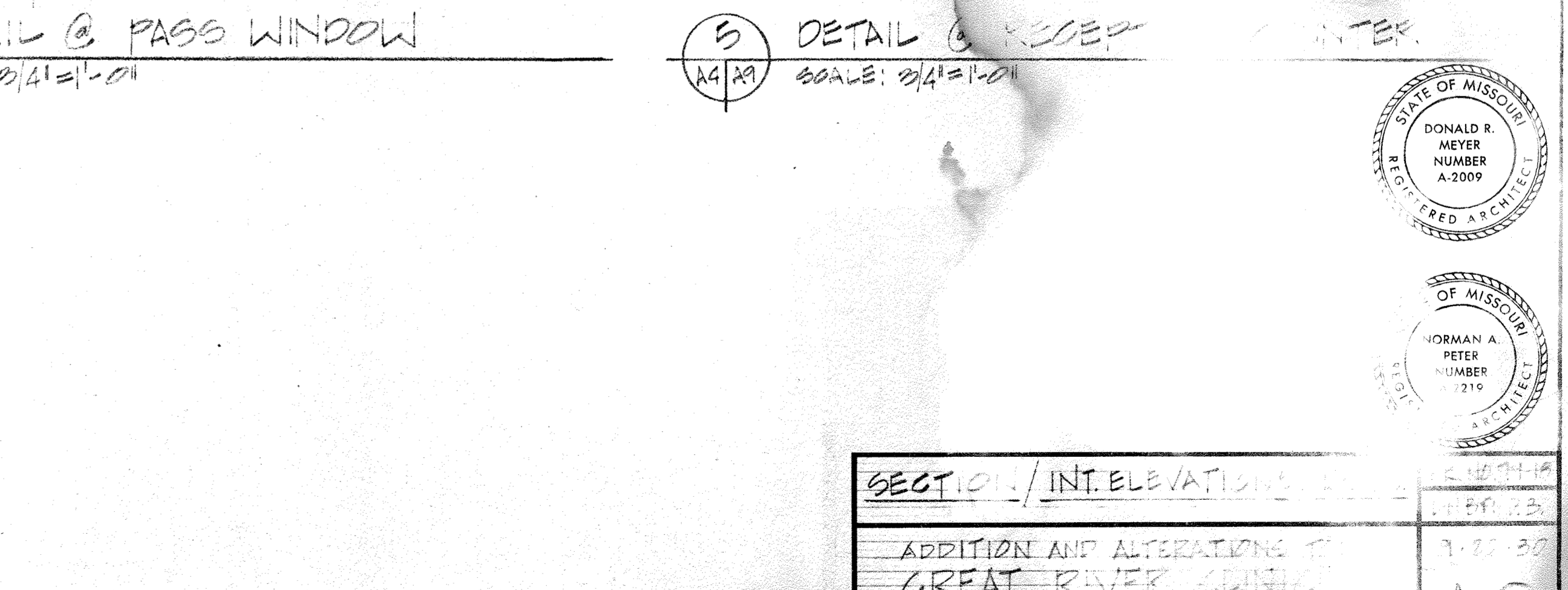
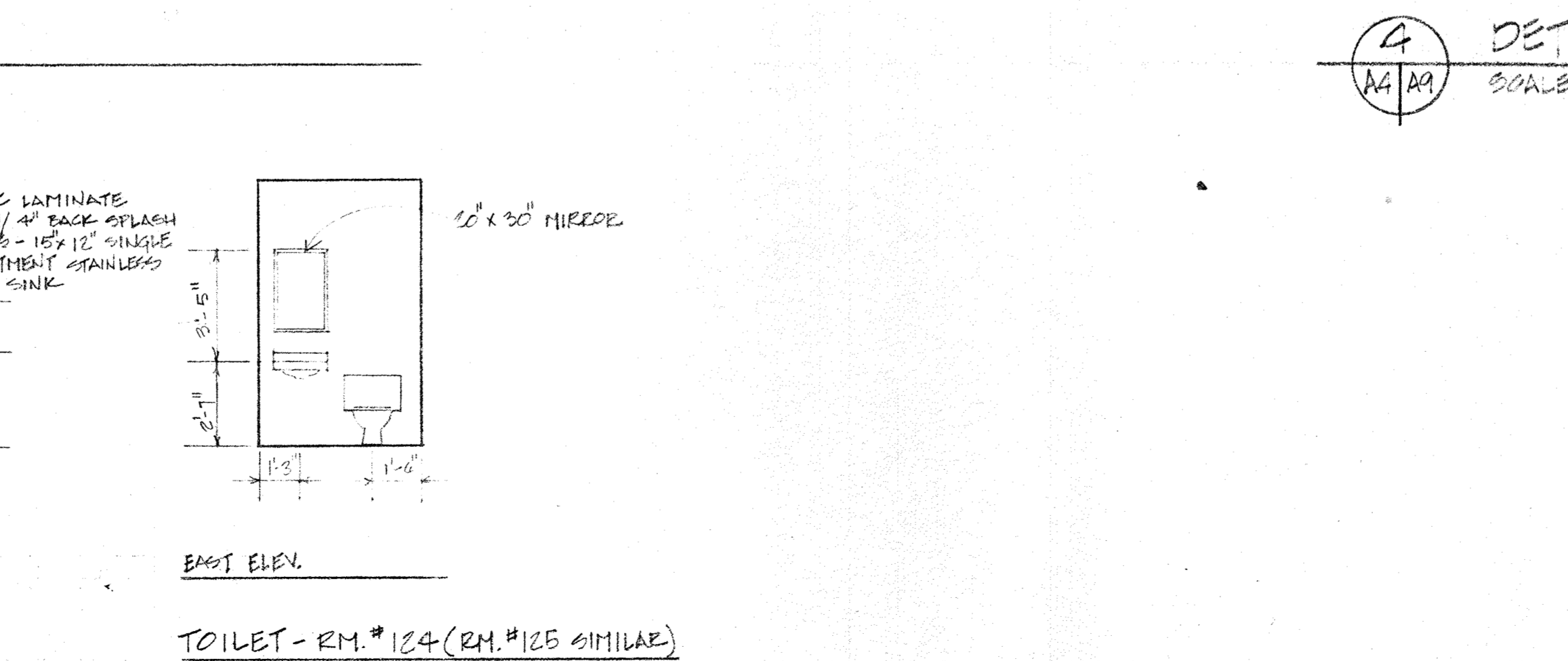
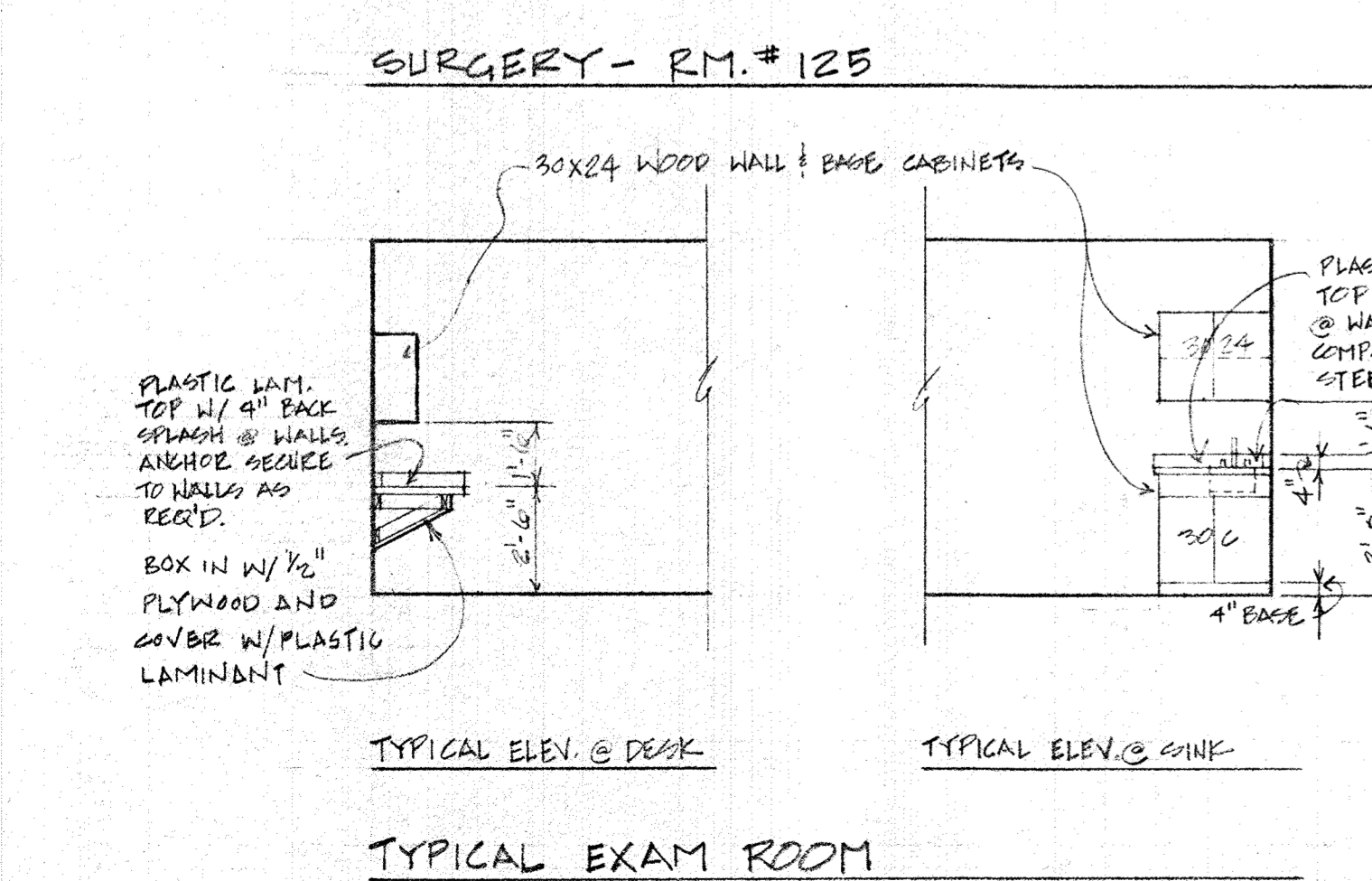
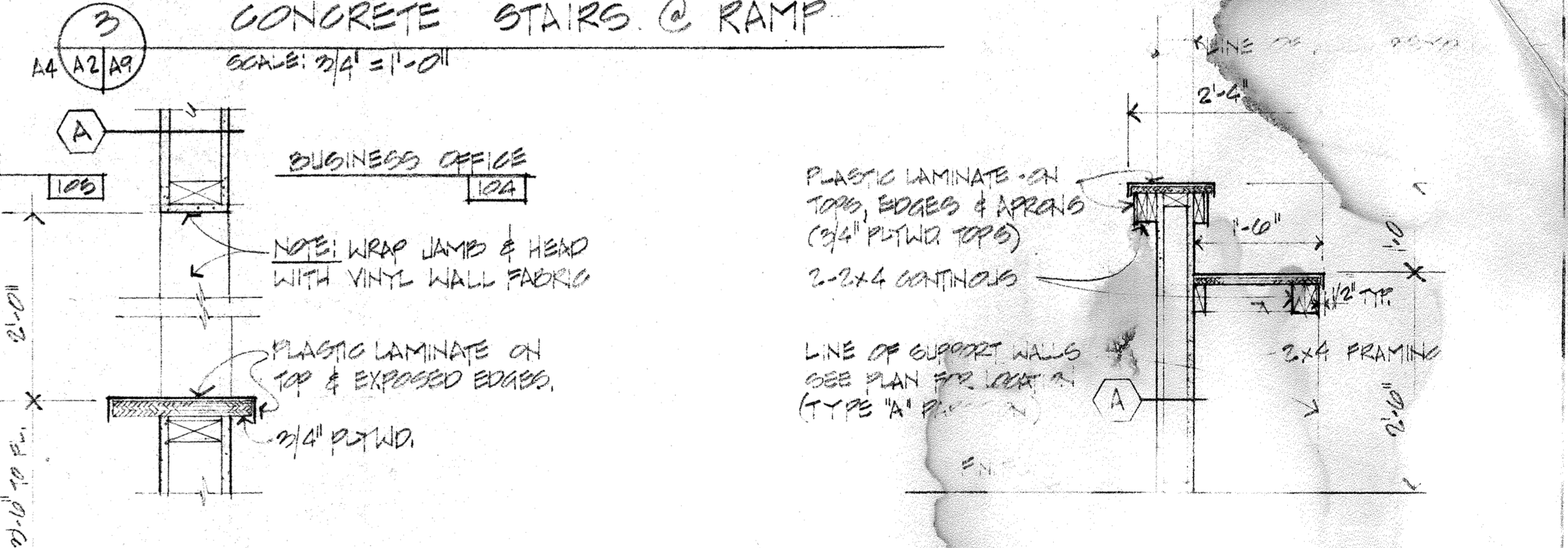
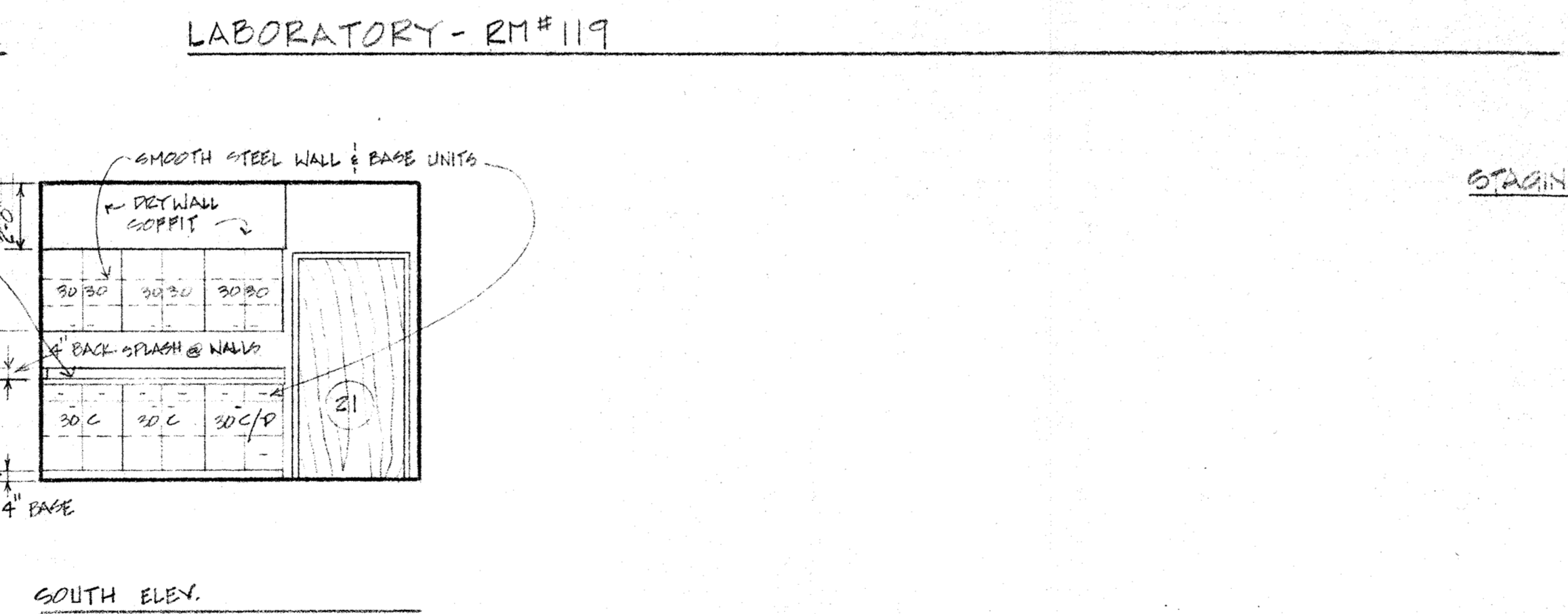
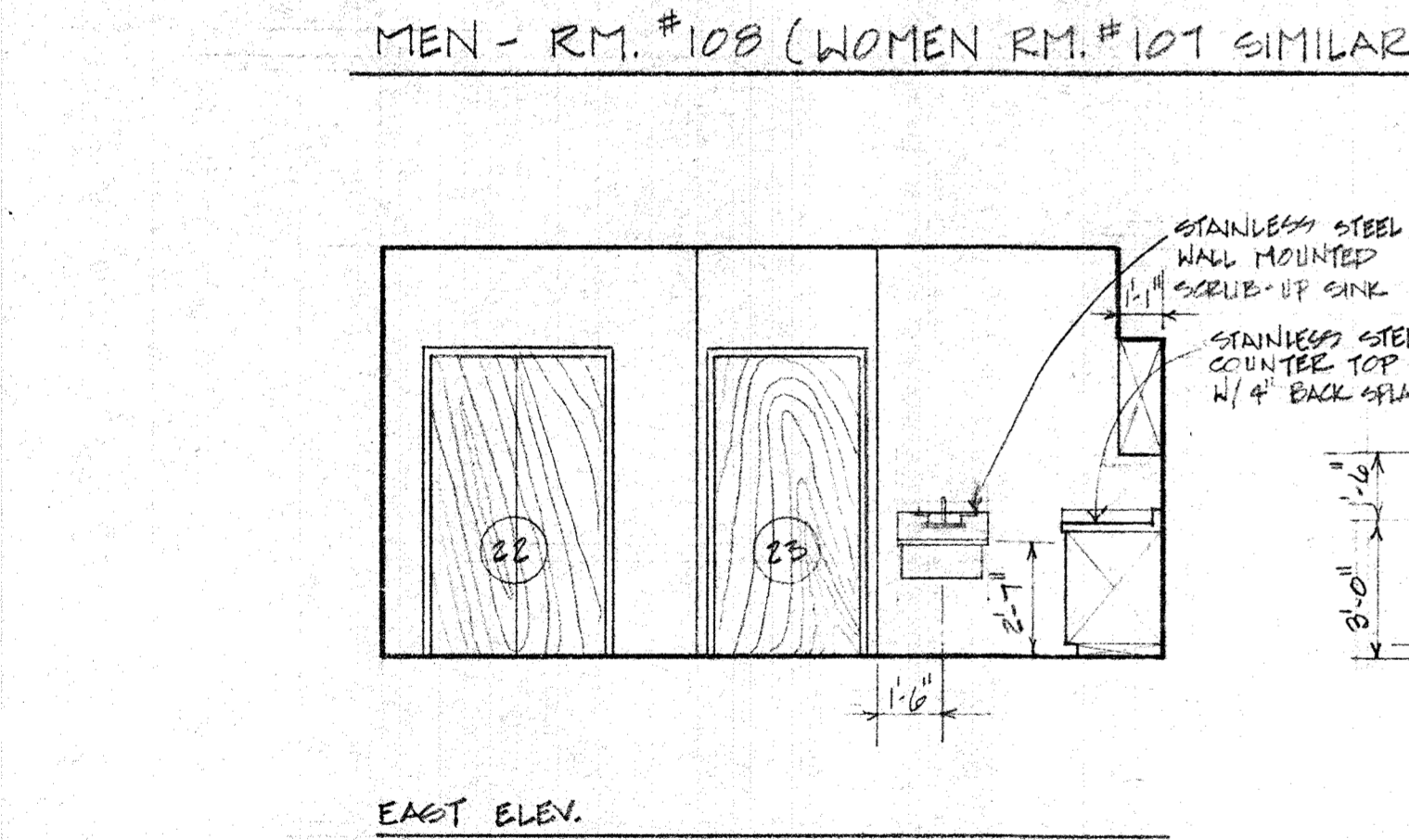
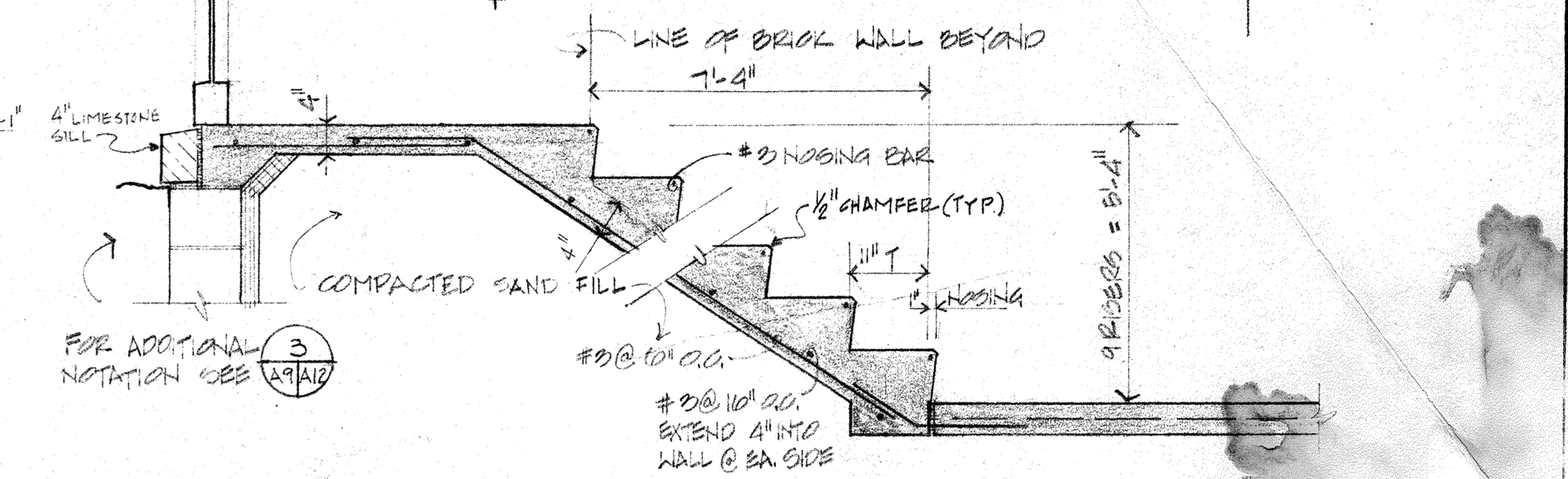
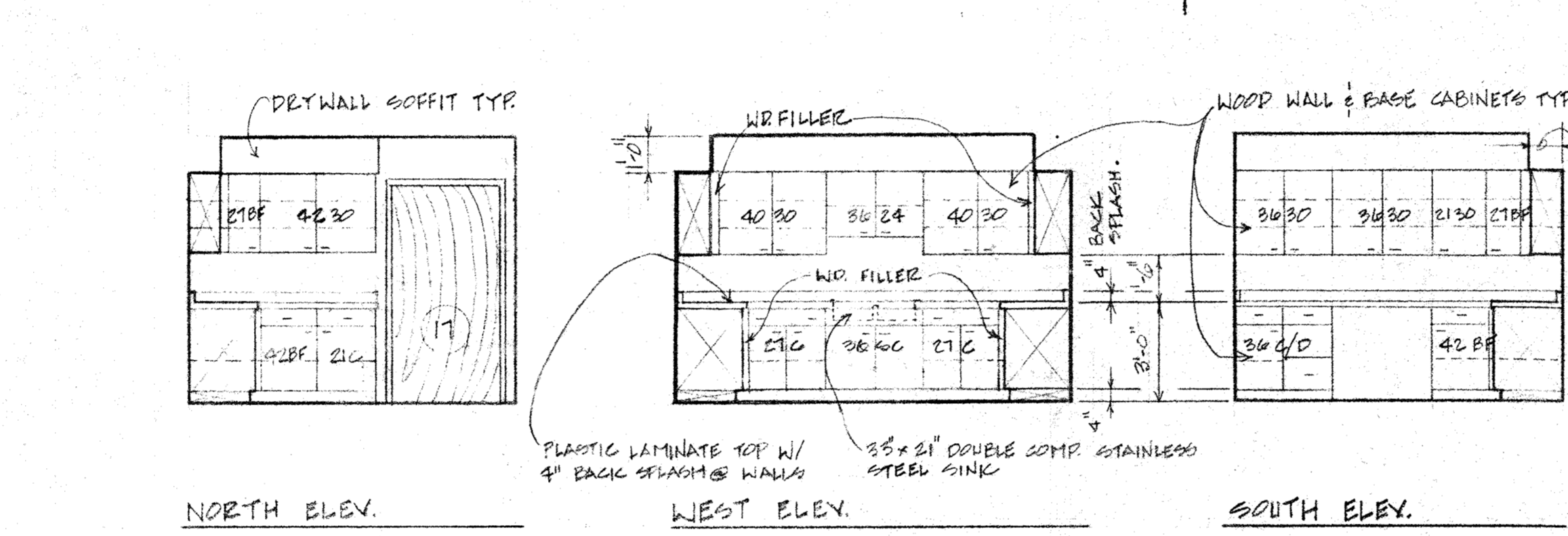
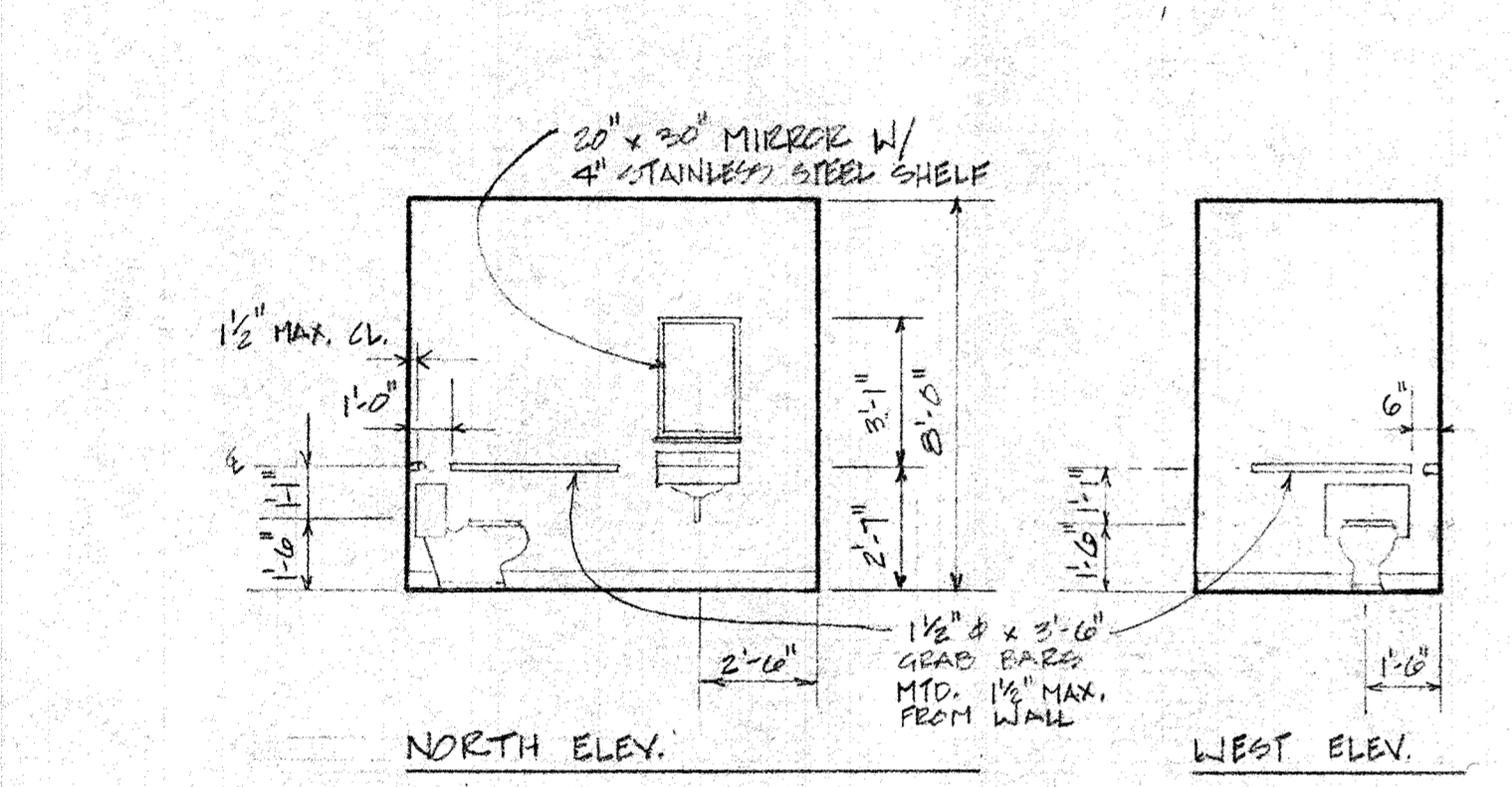
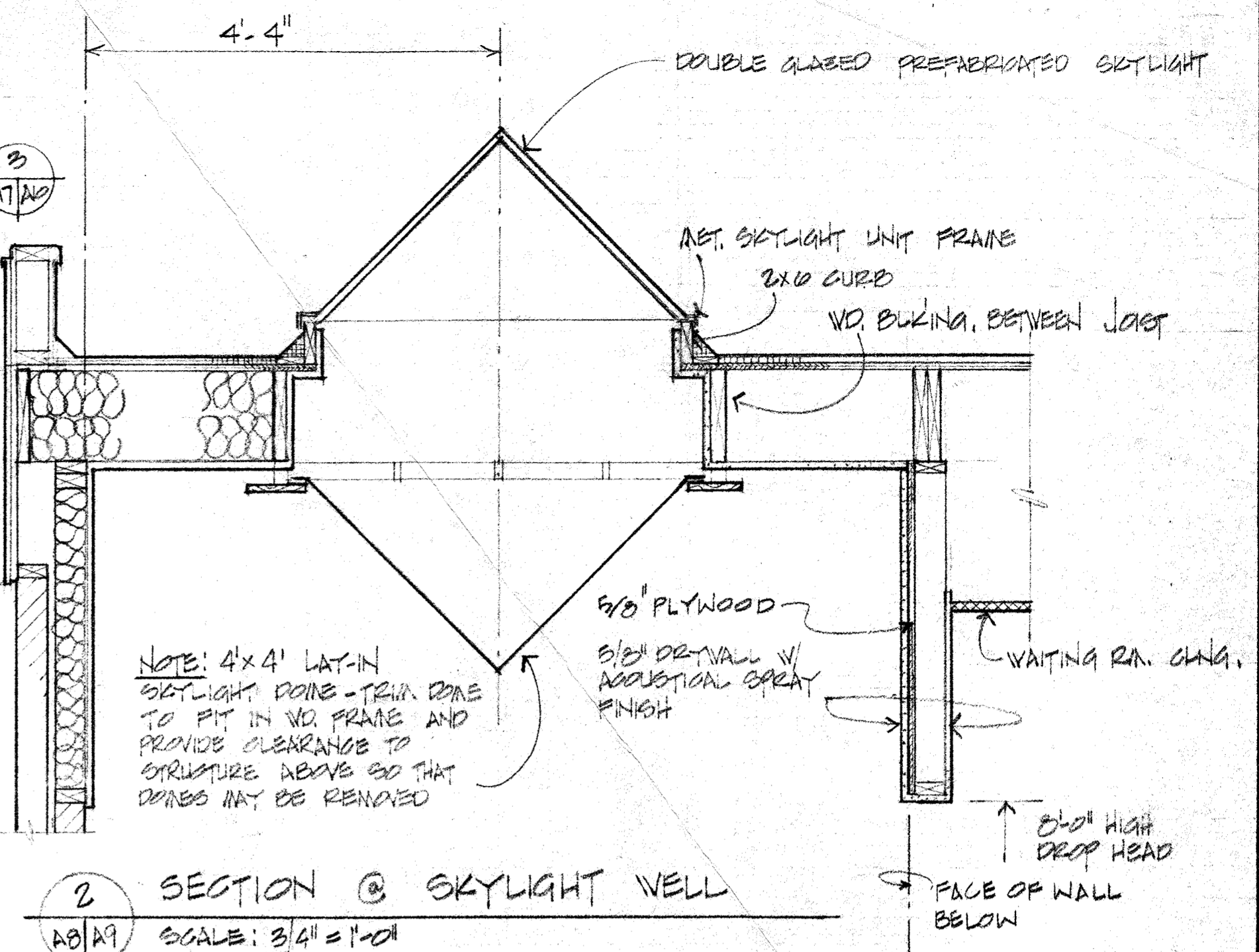
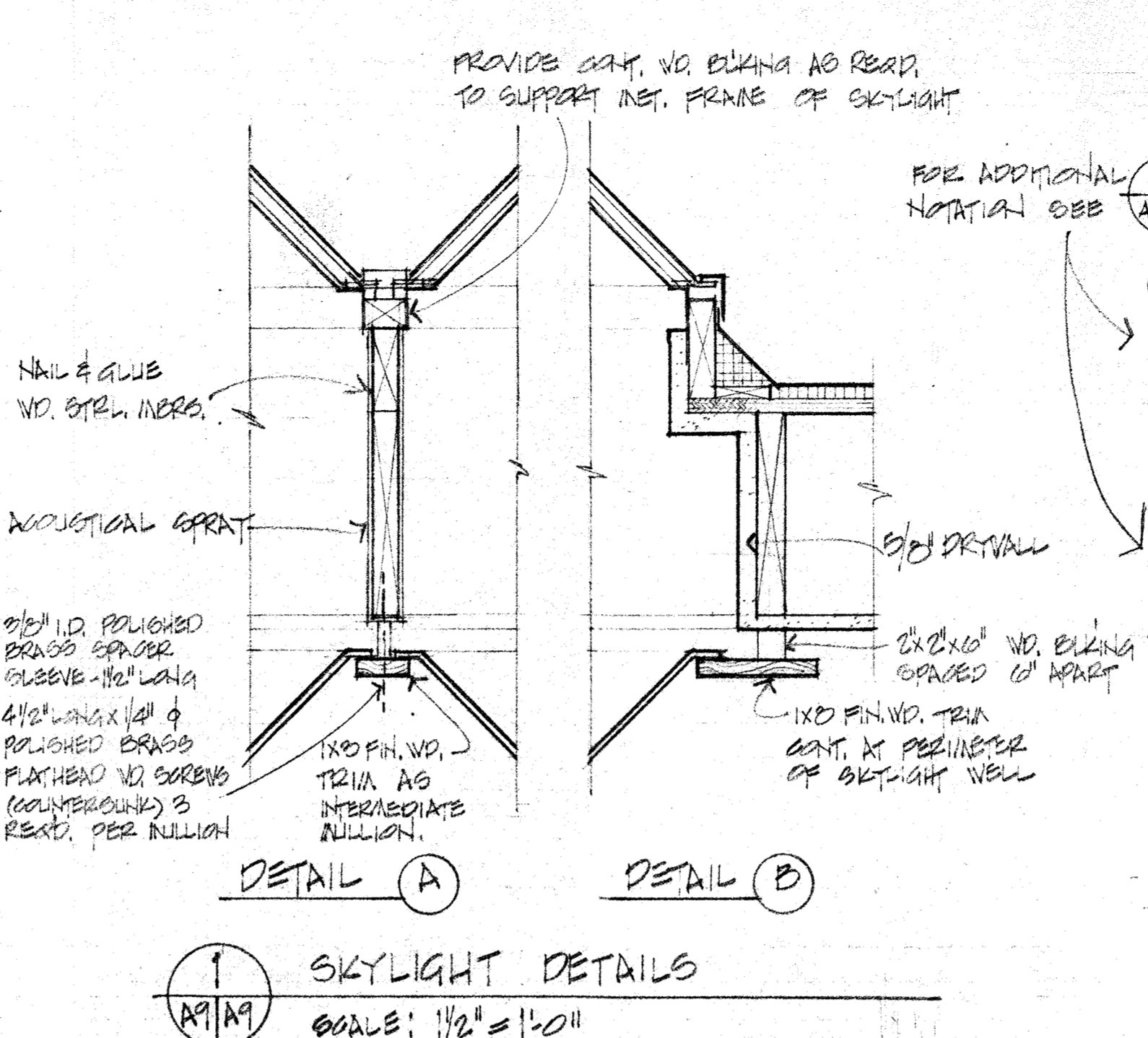
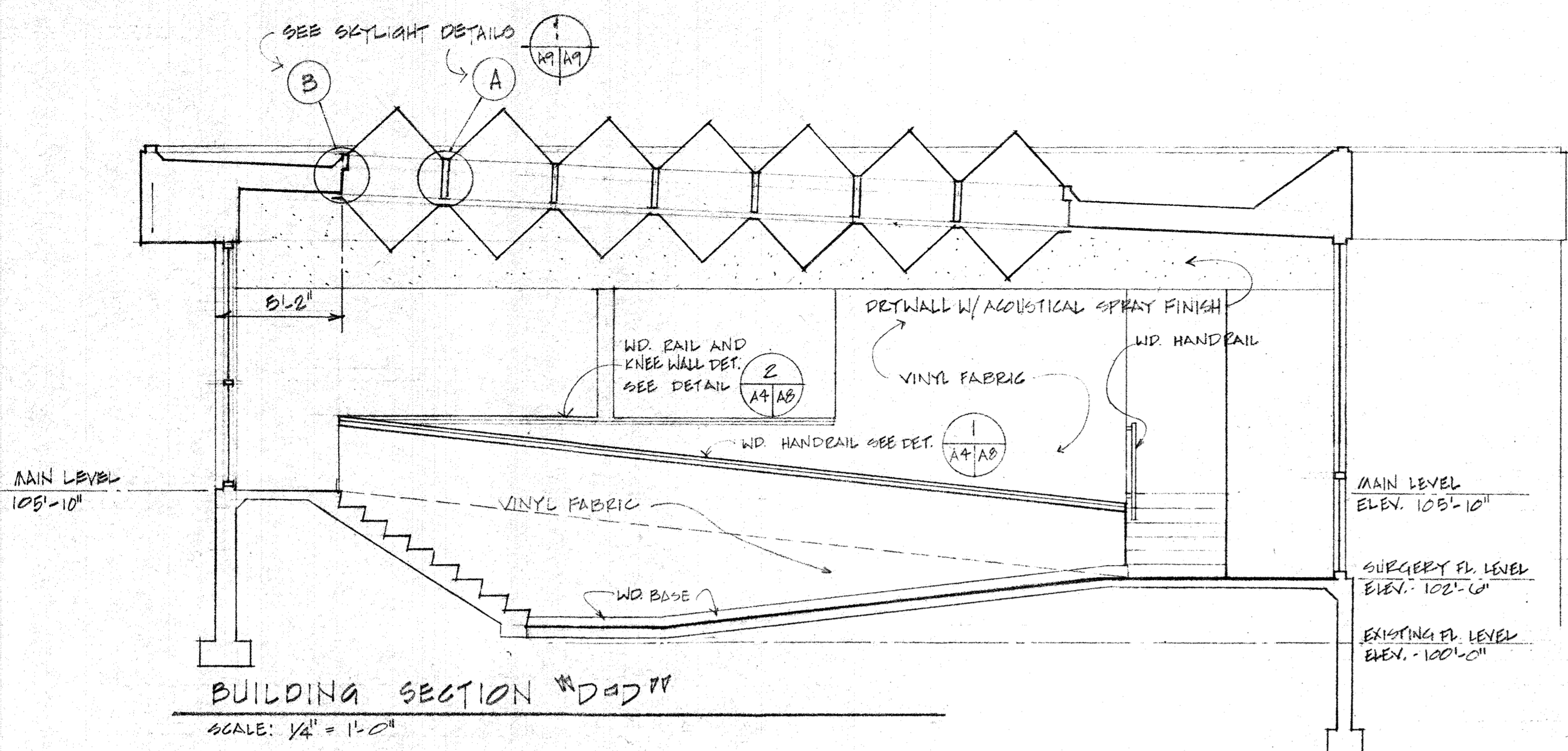


3 STAIR @ NEW CORR #129 AND EXISTING BUILDING
SCALE: 3/4" = 1'-0"

4
AB/A9

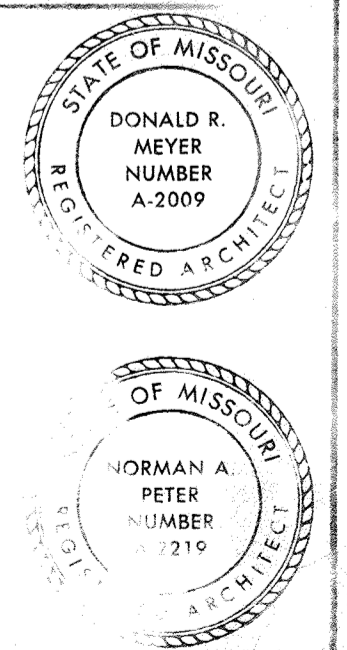
BUILDING SECTIONS	9-22-35
ADDITION AND ALTERATIONS TO GREAT RIVER CLINIC 2910 ST. MARYS AVE. HANSPAL, MO.	
MEYER AND PETER ARCHITECTS - ENGINEERS 718 WCU BUILDING - QUINCY, ILL. 62450	AB

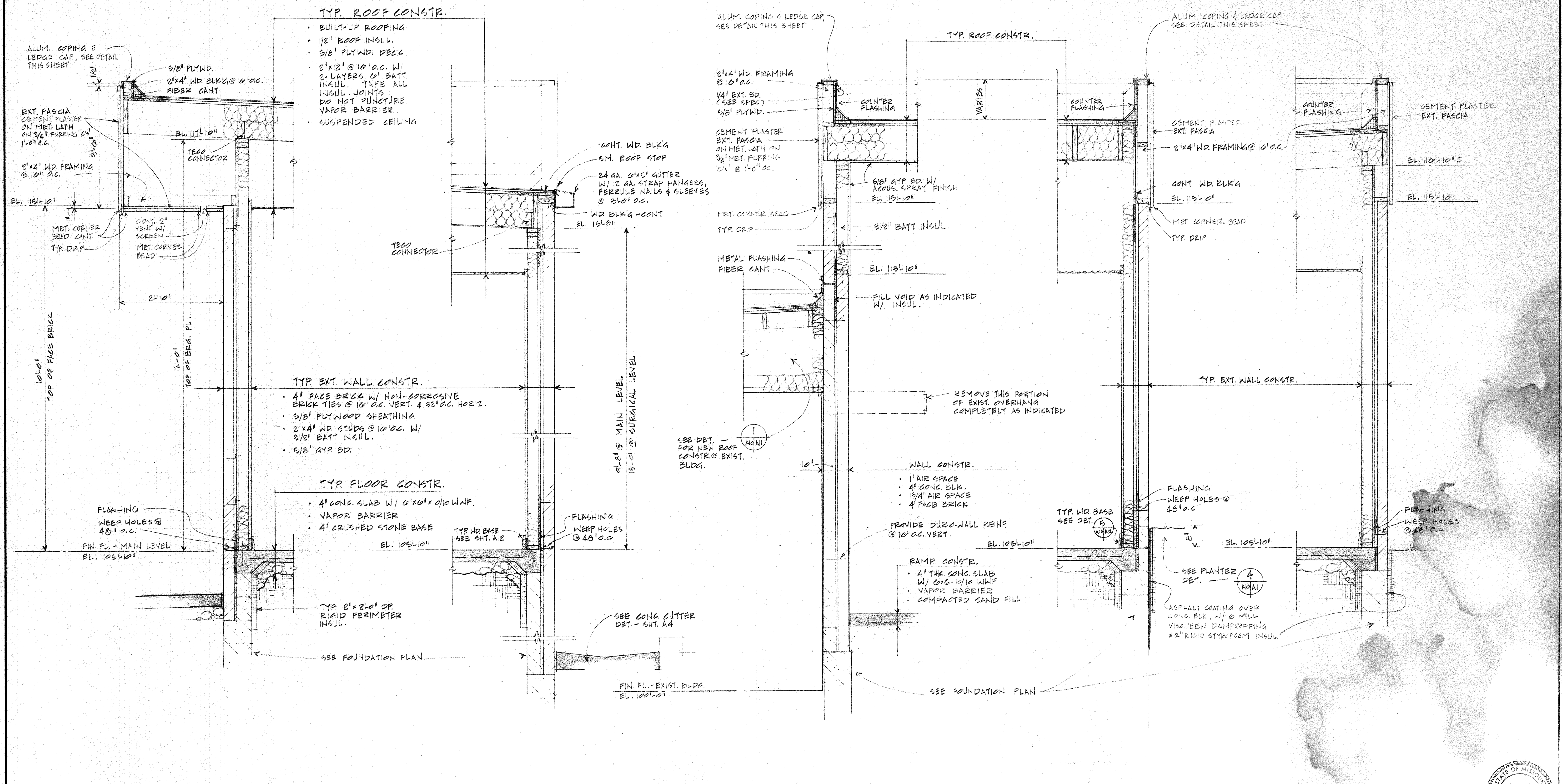




INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

SECTION / INT. ELEVATIONS
 ADDITION AND ALTERATIONS
 GREAT RIVER CENTER
 2910 ST. MARY'S AVE. MINNEAPOLIS, MN.
 MEYER AND PETER ARCHITECTS - ENGINEERS
 718 W. CUBA BUILDING - GUNN, ILLINOIS 60630





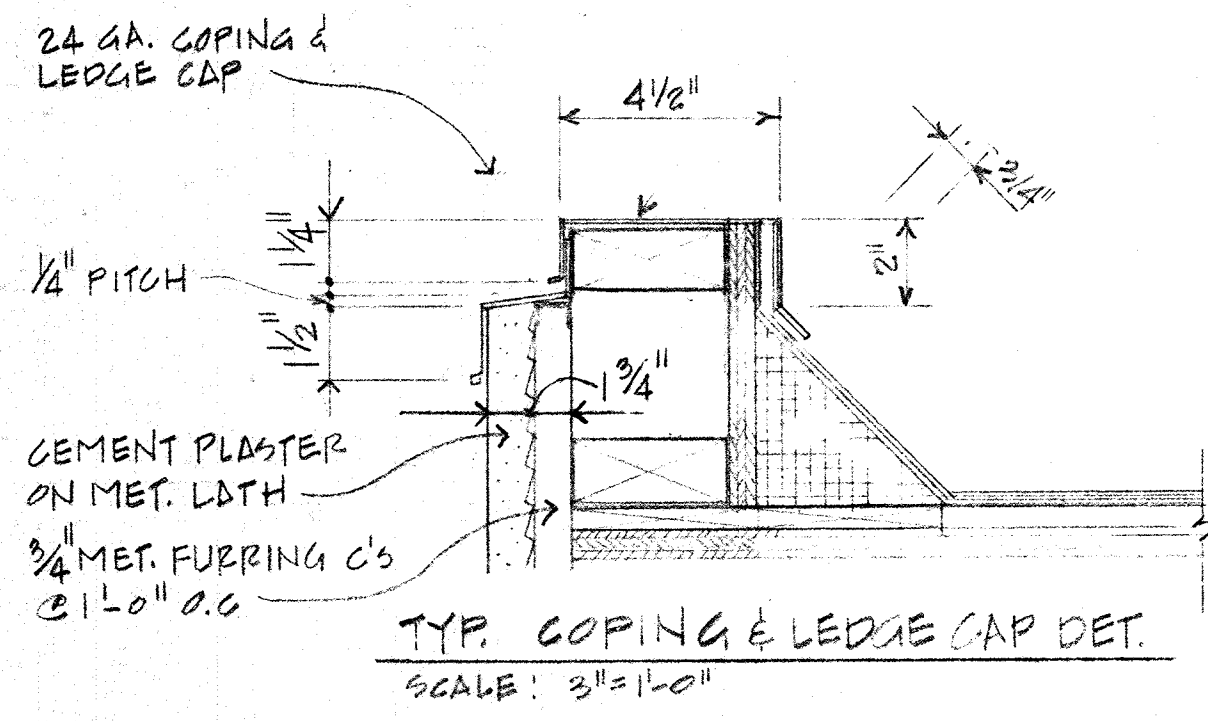
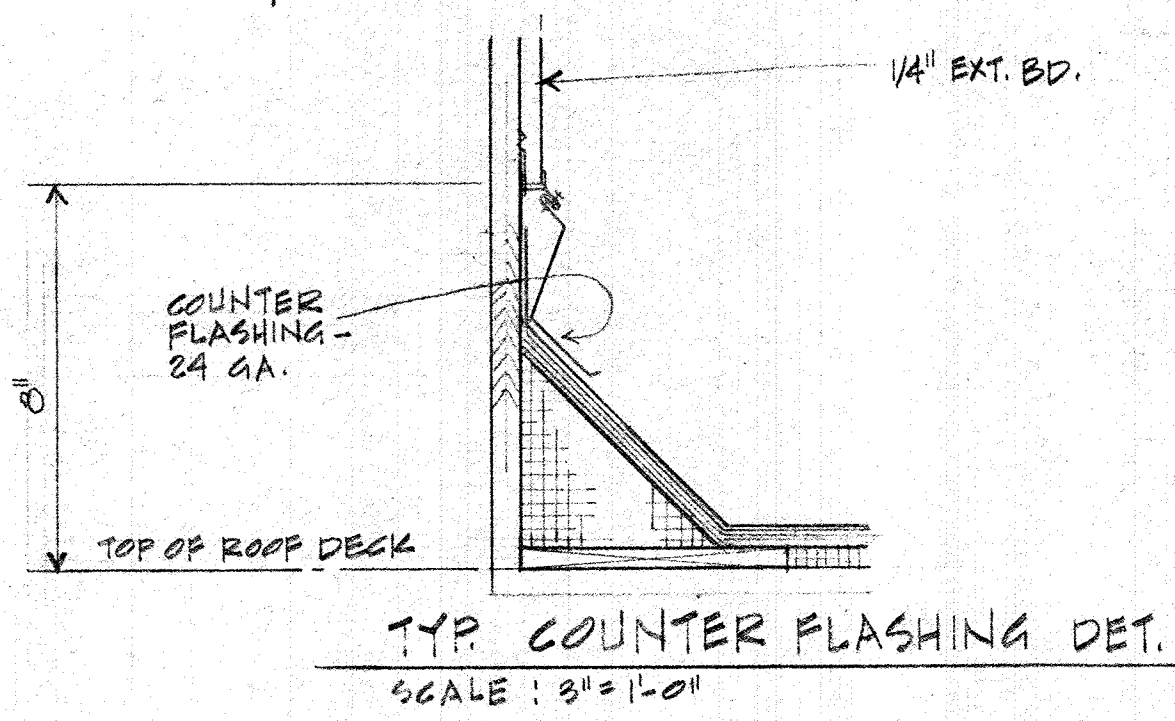
1 WALL SECTION @ WAITING #101-NORTH WALL
SCALE: 3/4" = 1'-0"

2 WALL SECTION @ NEW SOUTH WALLS
SCALE: 3/4" = 1'-0"

3 WALL SECTION @ RAMP #120/ EXIST. BLDG.
SCALE: 3/4" = 1'-0"

4 WALL SECTION @ EXAM #113, LAB, DK. RM.
SCALE: 3/4" = 1'-0"

5 WALL SECTION @ FILE ROOM
SCALE: 3/4" = 1'-0"



STATE OF MISSOURI
DONALD R. MEYER
REGISTERED ARCHITECT
NUMBER A-2009

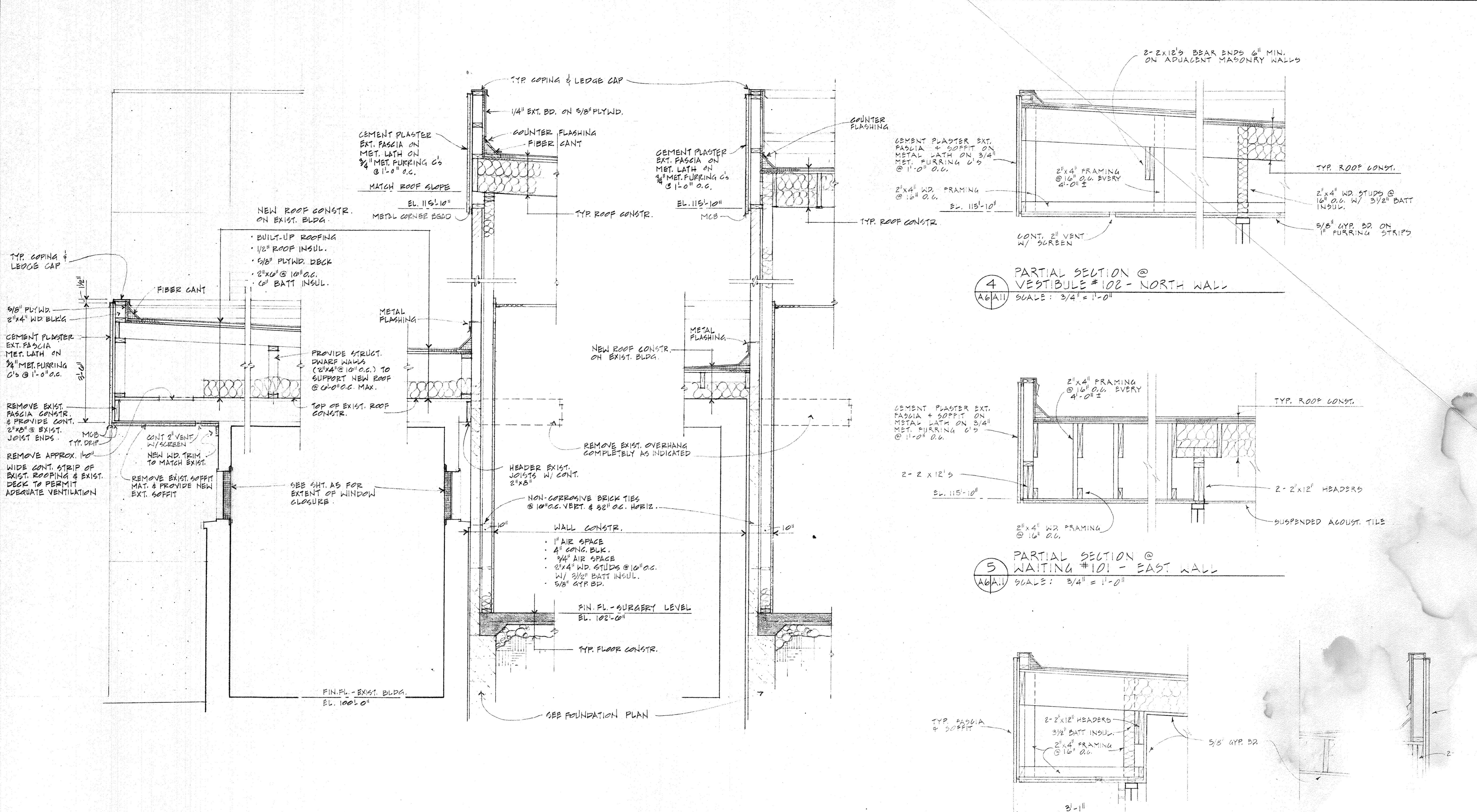
STATE OF MISSOURI
NORMAN A. PETER
REGISTERED ARCHITECT
NUMBER A-2217

WALL SECTIONS

ADDITION AND ALTERATIONS TO
GREAT RIVER CLINIC

2110 ST. MAEYER AVE. HANSTON, MO.

MEYER AND PETER
ARCHITECTS - ENGINEERS
718 WCU BUILDING • COUNCIL BLUFFS, IOWA 52501



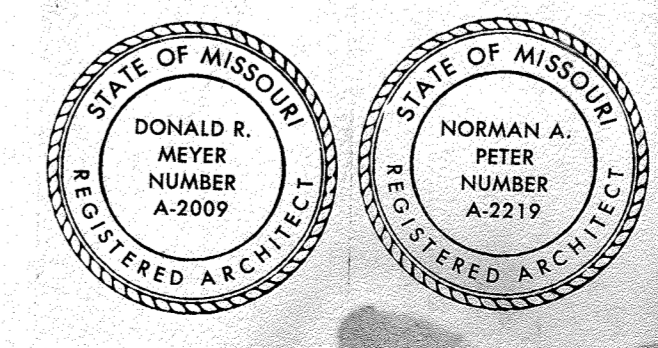
1 WALL SECTION @ EXISTING BLDG. - NORTH WALL
 A10, A6/A6/II SCALE: 3/4" = 1'-0"

2 WALL SECTION @ EXIST. BLDG. / SURGERY #125
 A8/A6/II SCALE: 3/4" = 1'-0"

3 WALL SECTION @ EXIST. BLDG. / SURGERY #125
 A8/A7/II SCALE: 3/4" = 1'-0"

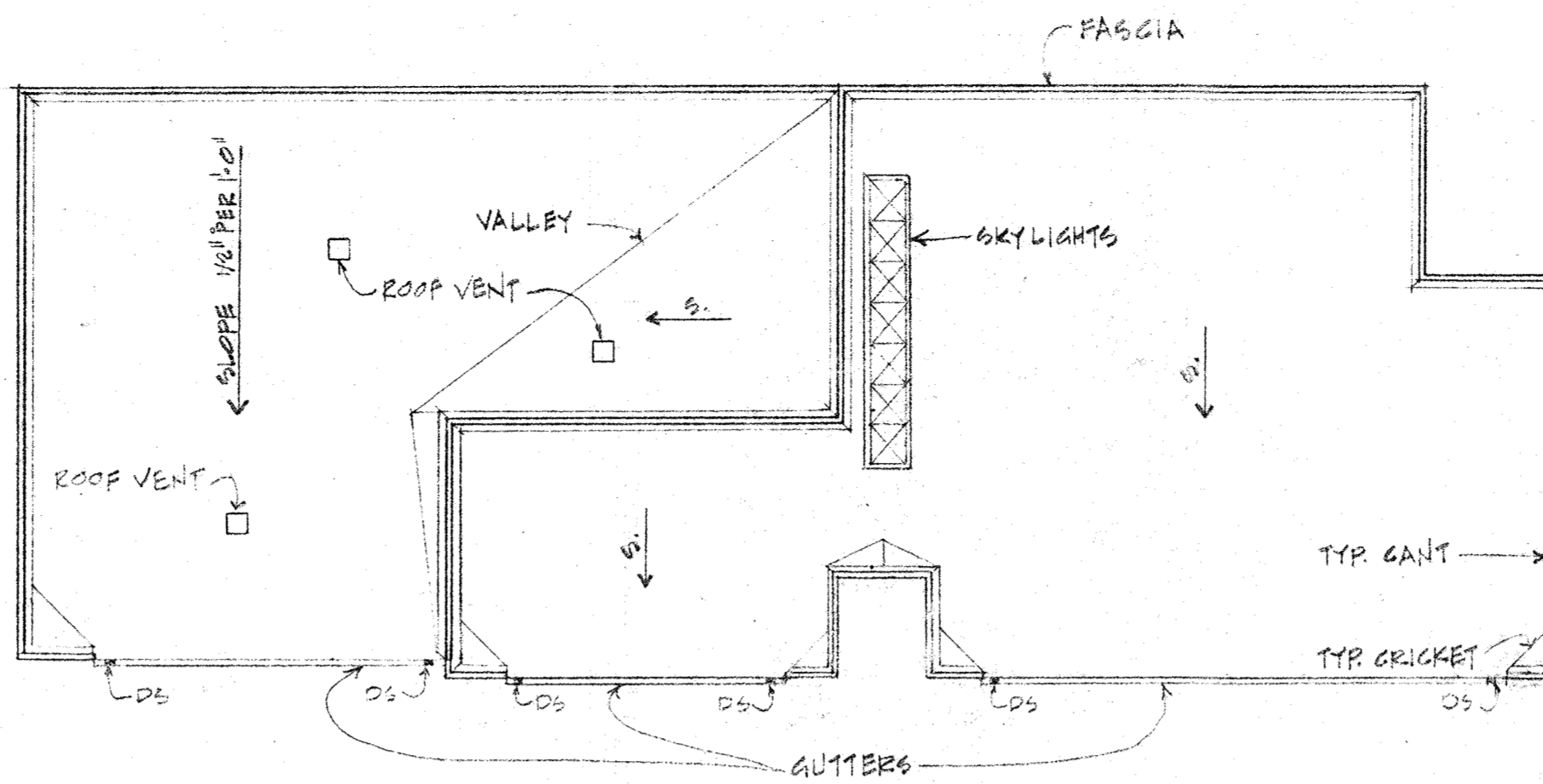
6 PARTIAL SECTION @ RAMP #120 - NORTH WALL
 A6/A11 SCALE: 3/4" = 1'-0"

7

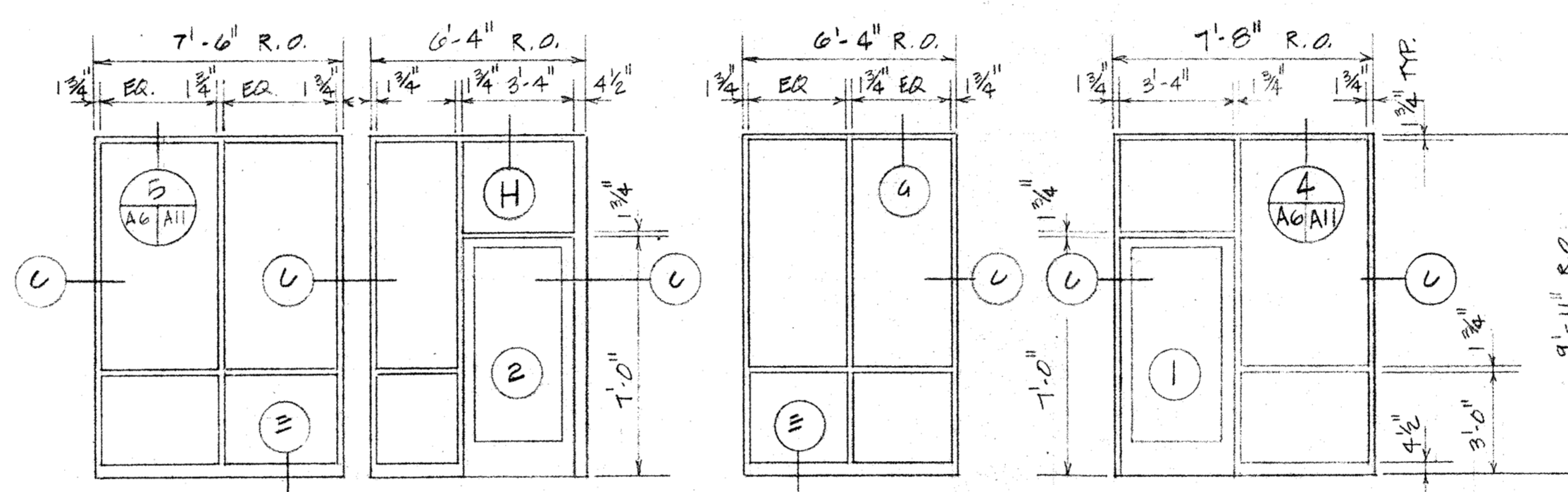


WALL SECTIONS		17
ADDITION AND ALTERATION TO GREAT RIVER CLUB		17-22
2910 ST. MARY'S AVE. HANSTED, MO.		
MEYER AND PETER ARCHITECTS - ENGINEERS		A11
718 W. B. BUILDING - ST. LOUIS, MO. 63102		

DOOR SCHEDULE									
MARK	SIZE	TYPE	MATERIAL	FRAME		LABEL	SPECIAL CONDITIONS	REMARKS	
				PROFILE	MATERIAL				
1	3'-0" x 7'-0" x 1 3/4"		ALUM.	ALUM.				FULL GLAZED DOOR - SEE SPEC.	
2	"		ALUM.	ALUM.				FULL GLAZED DOOR - SEE SPEC.	
3	"		H.M.	A	H.M.			4" HEND - FLUSH PANEL DOOR W/ 2 1/2" x 8 1/2" x 1/2" L AS LINTEL	
4	"		ALUM.	ALUM.				FULL GLAZED DOOR - SEE SPEC.	
5	3'-0" x 7'-0" x 1 3/4"		WD.	A1/A12	WD.			FLUSH PANEL DOOR - SEE SPEC.	
6	3'-0" x 7'-0" x 1 3/4"		WD.	A1/A12	WD.			FLUSH PANEL DOOR W/ 12" x 18" GRILLE, TITUS NO. T-700-DF OR EQ.	
7	"		WD.	"	WD.			"	
8	"		WD.	"	WD.			FLUSH PANEL DOOR - SEE SPEC.	
9	"		WD.	"	WD.			"	
10	"		WD.	"	WD.			"	
11	"		WD.	"	WD.			"	
12	"		WD.	B	H.M.	B		"	
13	"		WD.	A1/A12	WD.			"	
14	"		WD.	"	WD.			"	
15	"		WD.	"	WD.			"	
16	"		WD.	"	WD.			"	
17	"		WD.	"	WD.			FLUSH PANEL DOOR W/ 12" x 18" GRILLE, TITUS NO. T-700-DF OR EQ.	
18	"		WD.	"	WD.			FLUSH PANEL DOOR - SEE SPEC.	
19	"		WD.	H.M.				FLUSH PANEL LEAD LINED DOOR & LEAD LINED WRAP AROUND FRAMES	
20	"		WD.	H.M.				"	
21	"		WD.	A1/A12				FLUSH PANEL DOOR W/ 12" x 12" GRILLE, TITUS NO. T-700-DF OR EQ.	
22	3'-0" x 7'-0" x 1 3/4"		WD.	"				FLUSH PANEL DOOR - SEE SPEC.	
23	3'-0" x 7'-0" x 1 3/4"		WD.	"				"	
24	"		WD.	B	H.M.	B		"	
25	"		WD.	A1/A12	WD.			"	
26	"		WD.	"	WD.			"	
27									
28									

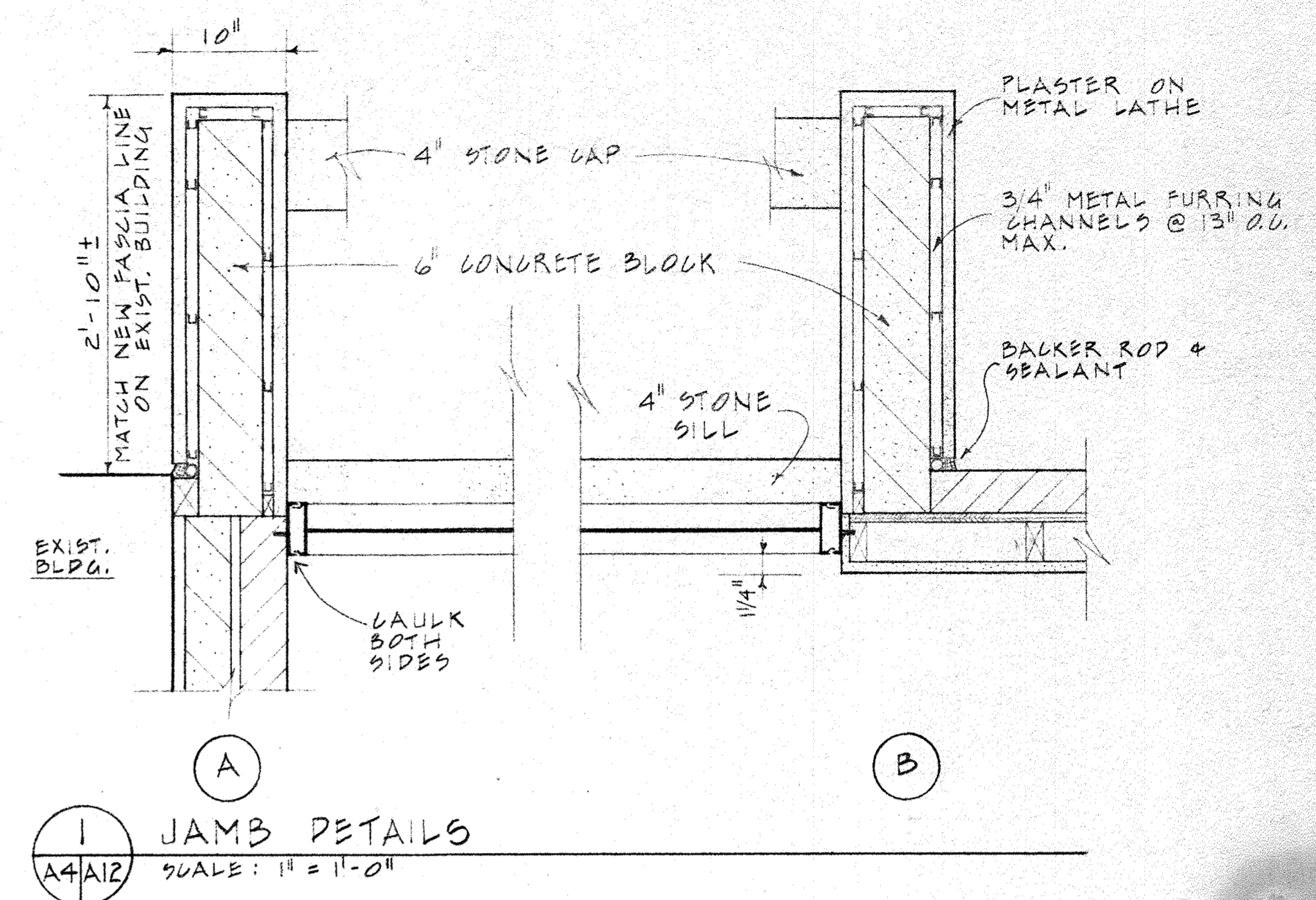


ROOF PLAN
SCALE: 1/16" = 1'-0"

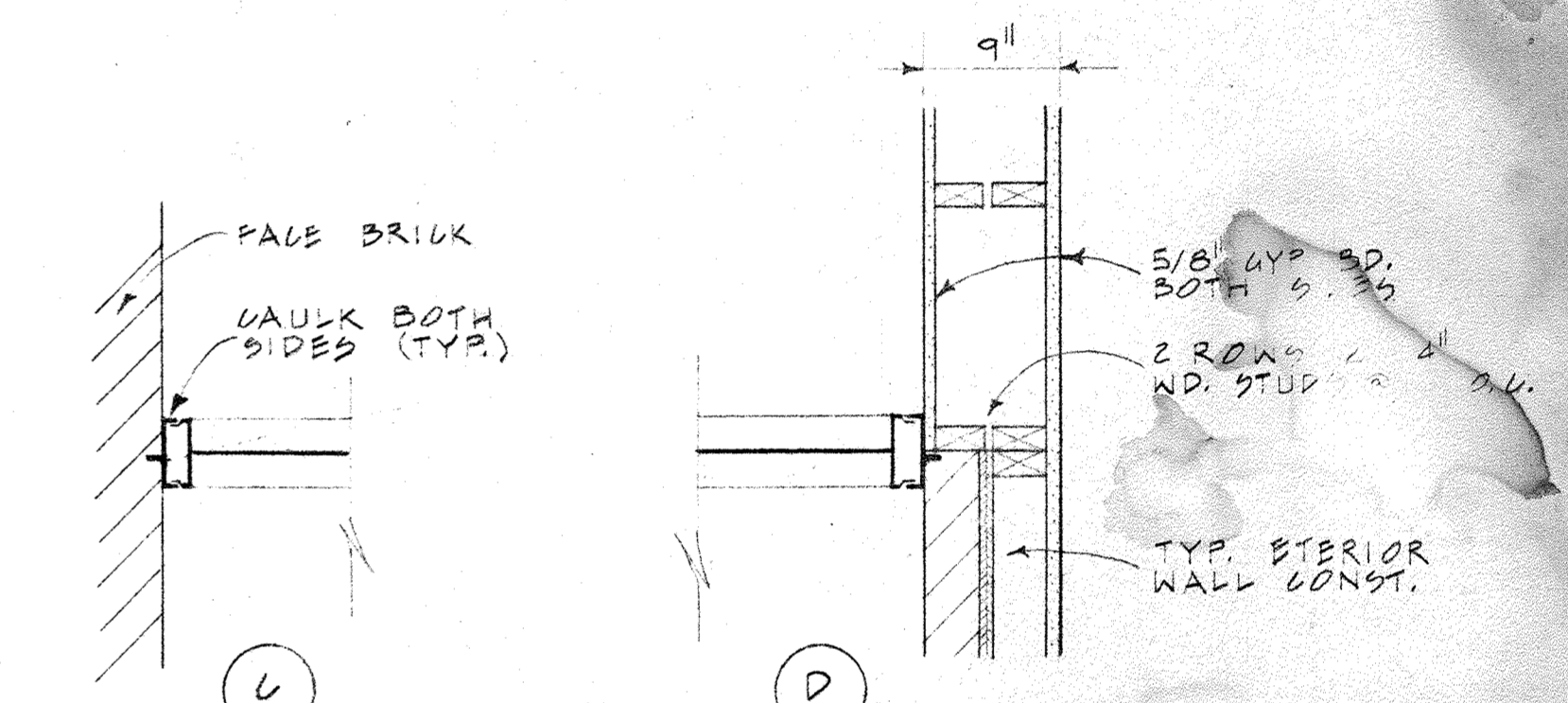


WAITING 101 LOOKING EAST
VESTIBULE 102 LOOKING EAST
VESTIBULE 102 LOOKING NORTH
VESTIBULE 103 LOOKING SOUTH
VESTIBULE 103 LOOKING EAST
RAMP 120 - NORTH ELEV. LOOKING NORTH
RAMP 130 - SOUTH ELEV. LOOKING NORTH

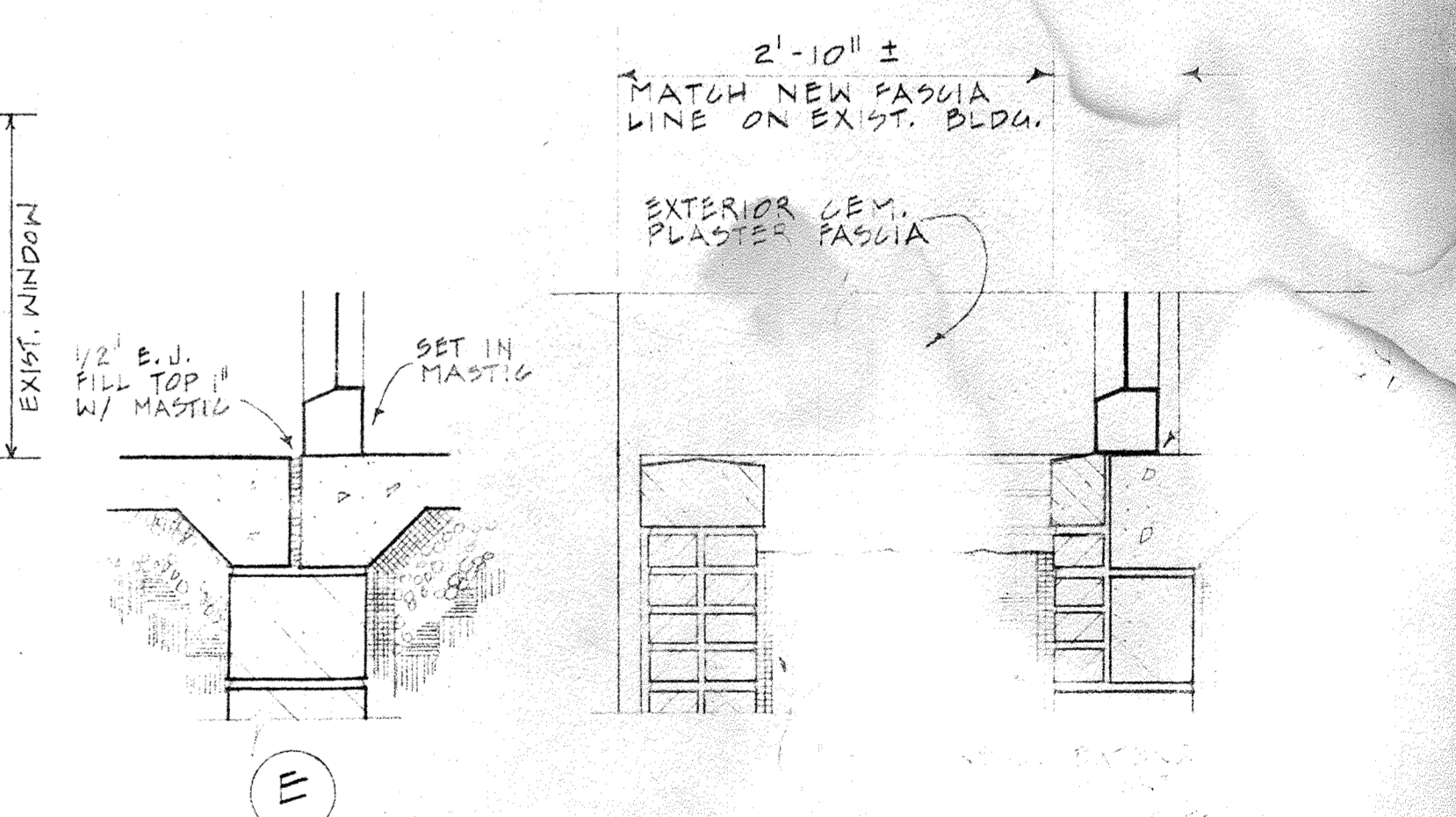
ALUMINUM FRAMING ELEVATIONS
SCALE: 1/4" = 1'-0"



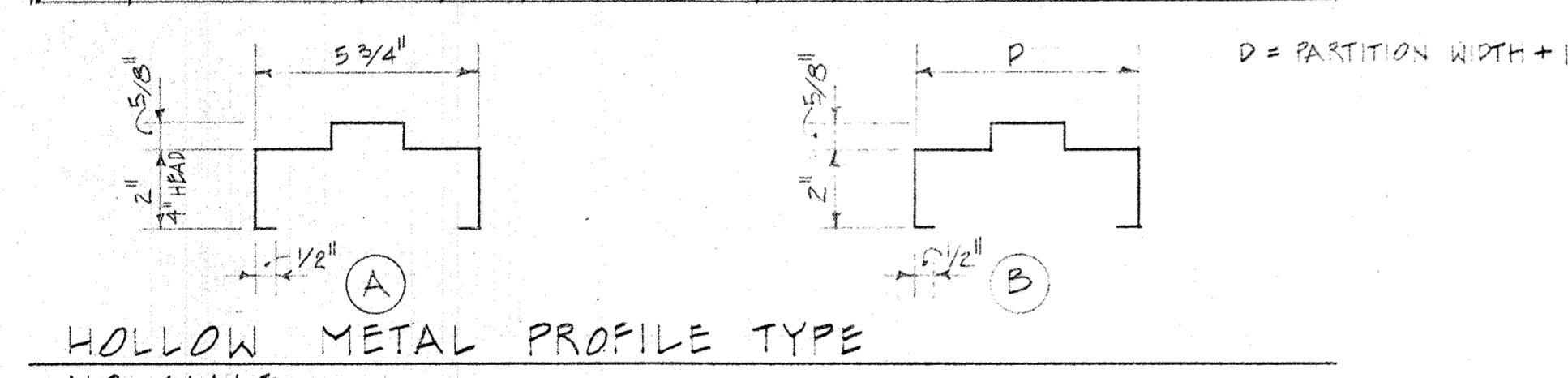
1 JAMB DETAILS
SCALE: 1" = 1'-0"



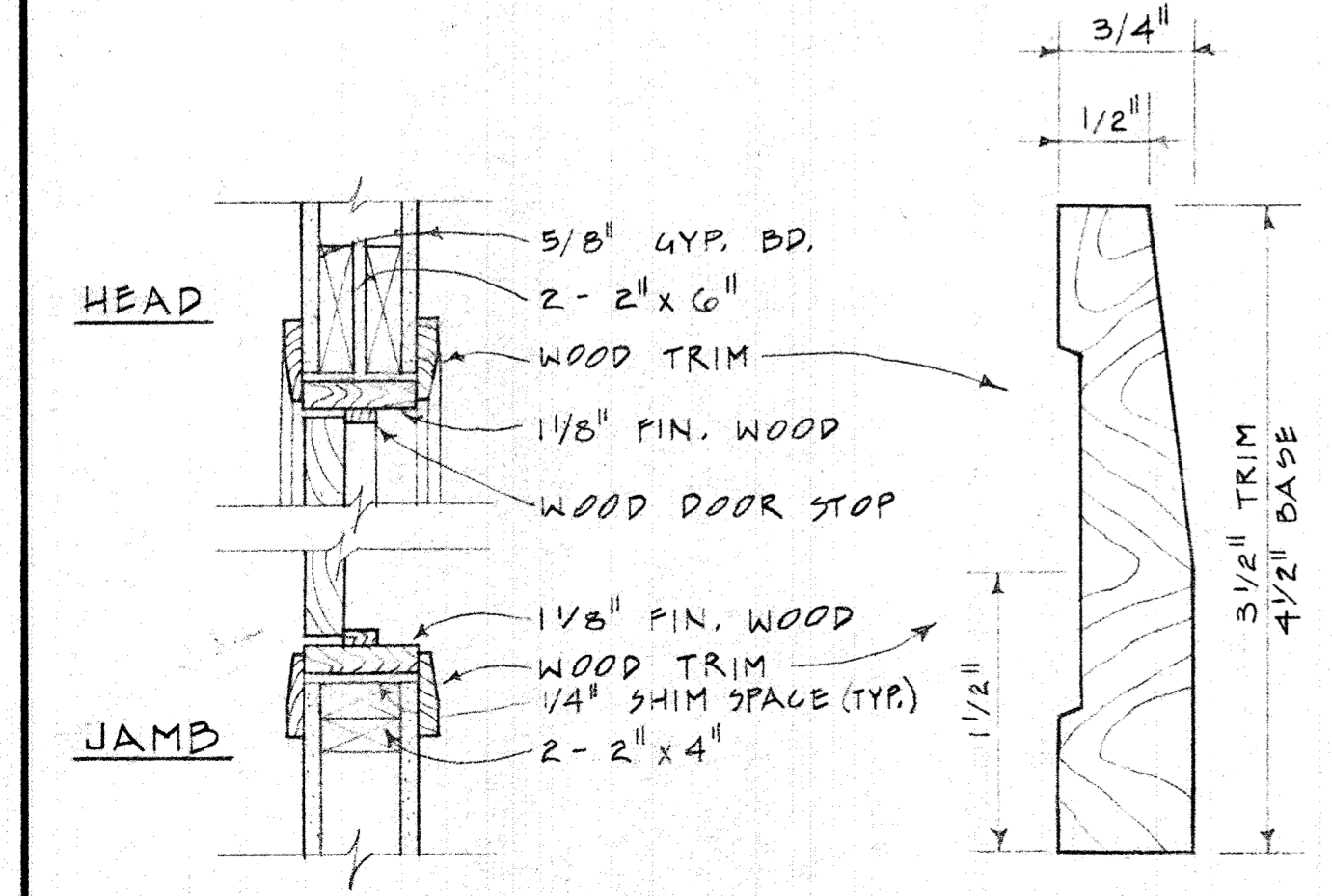
2 JAMB DETAILS
SCALE: 1" = 1'-0"



3 SILL DETAILS
SCALE: 1" = 1'-0"

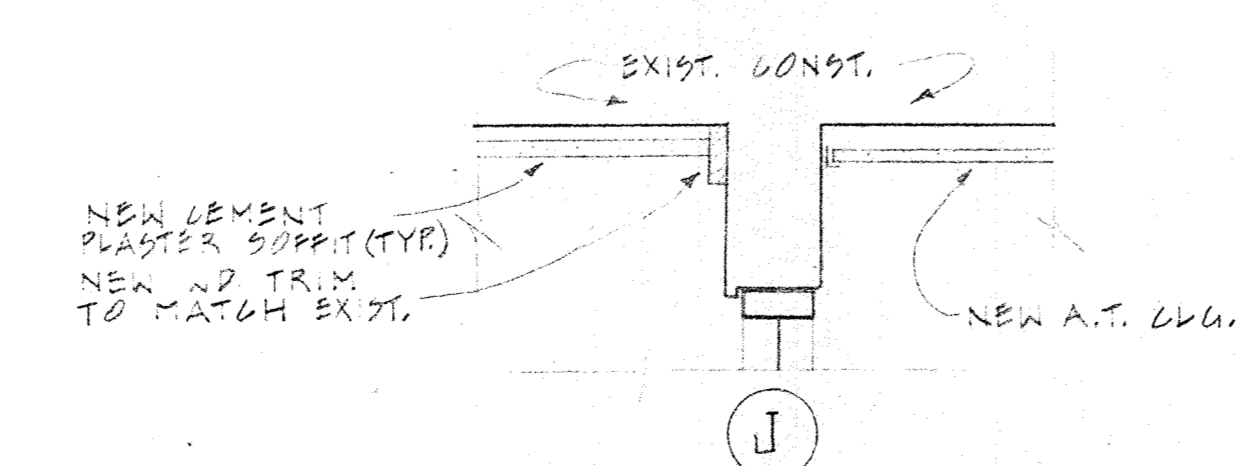


HOLLOW METAL PROFILE TYPE
NO SCALE

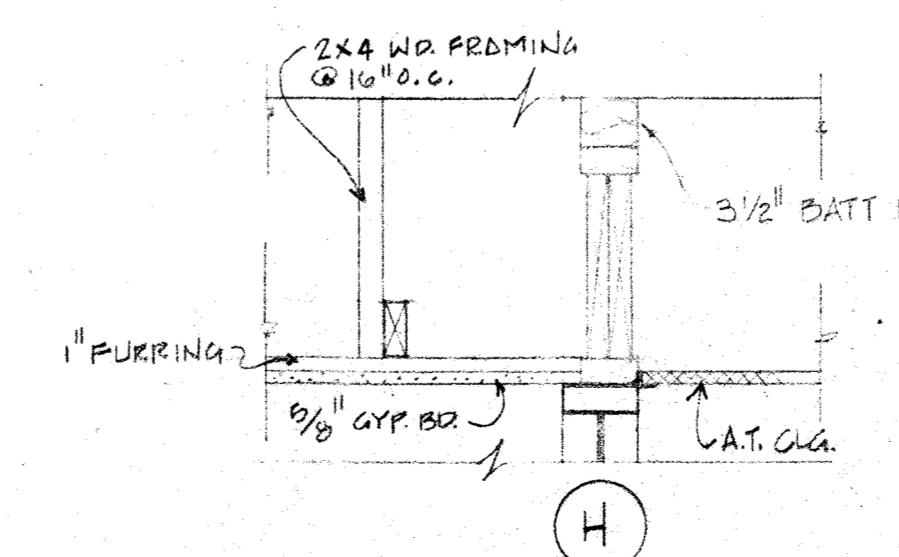


4 DOOR DETAIL
SCALE: 1 1/2" = 1'-0"

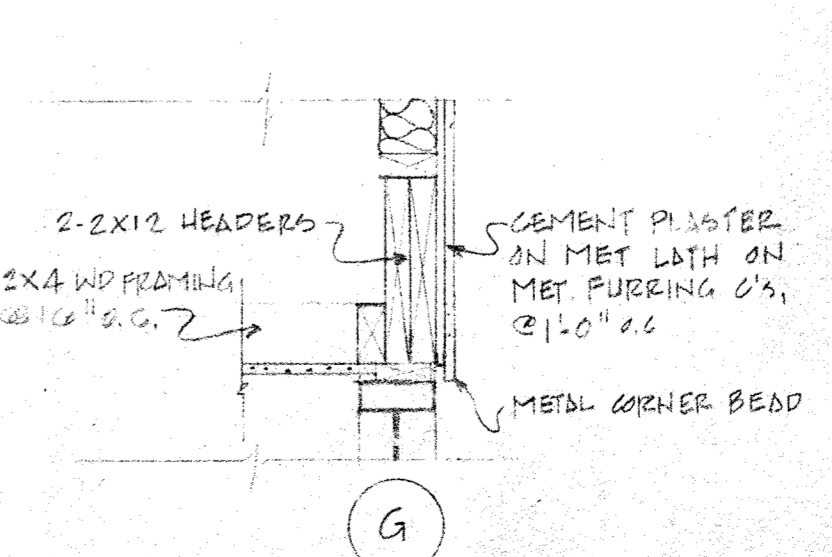
5 WD. TRIM DET.
FULL SCALE



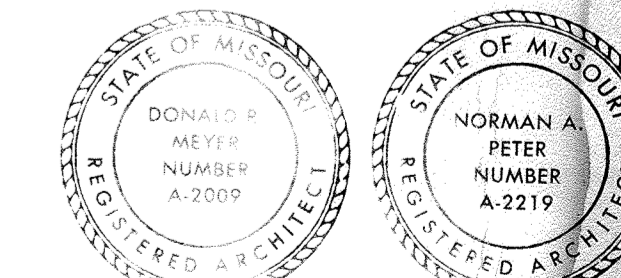
HEAD DETAIL
SCALE: 1" = 1'-0"



HEAD DETAIL
SCALE: 1" = 1'-0"



HEAD DETAIL
SCALE: 1" = 1'-0"



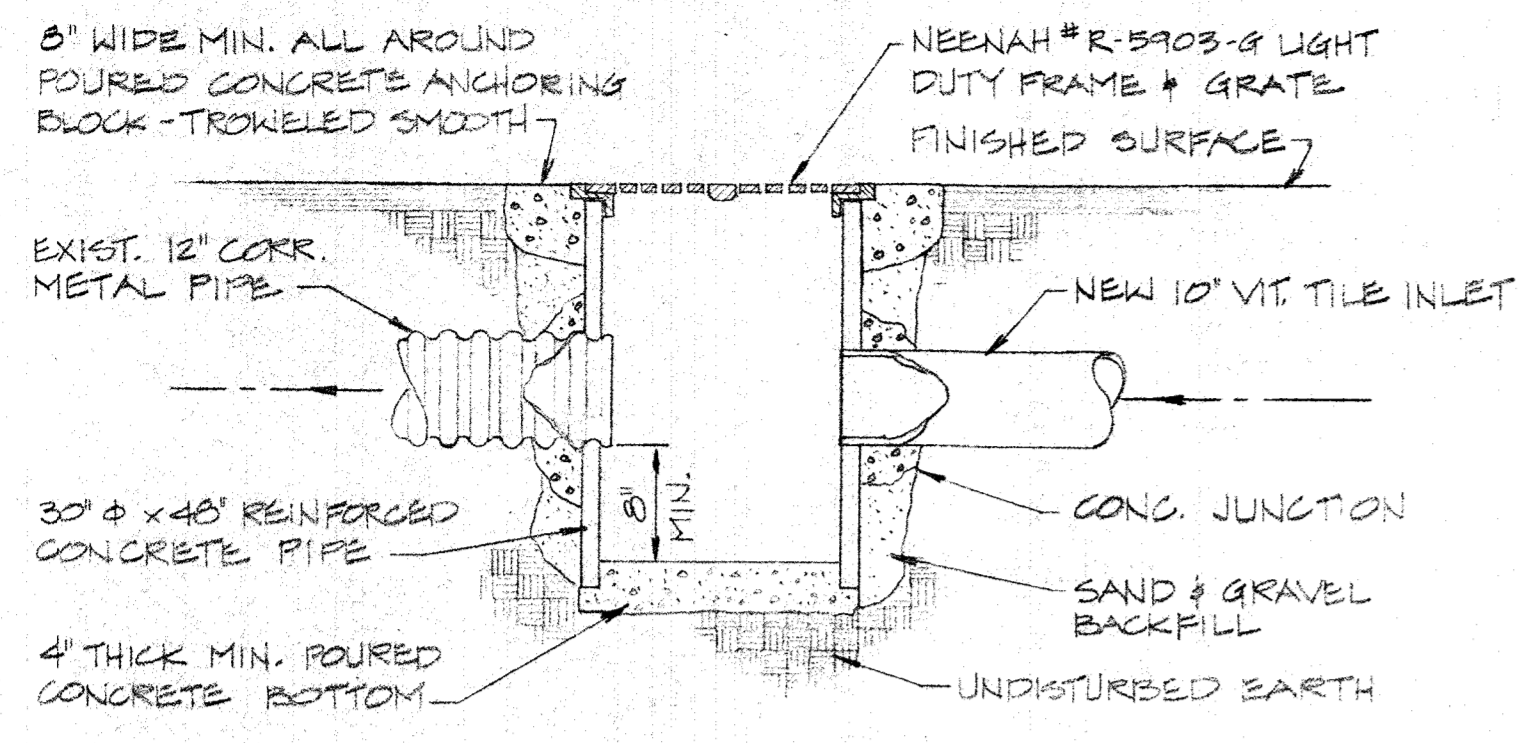
ROOF PLAN / DOOR SCHEDULE

ADDITION AND ALTERATIONS TO
GREAT RIVER CLINIC
2910 ST. MARYS AVE. HANNEBAU, MO.

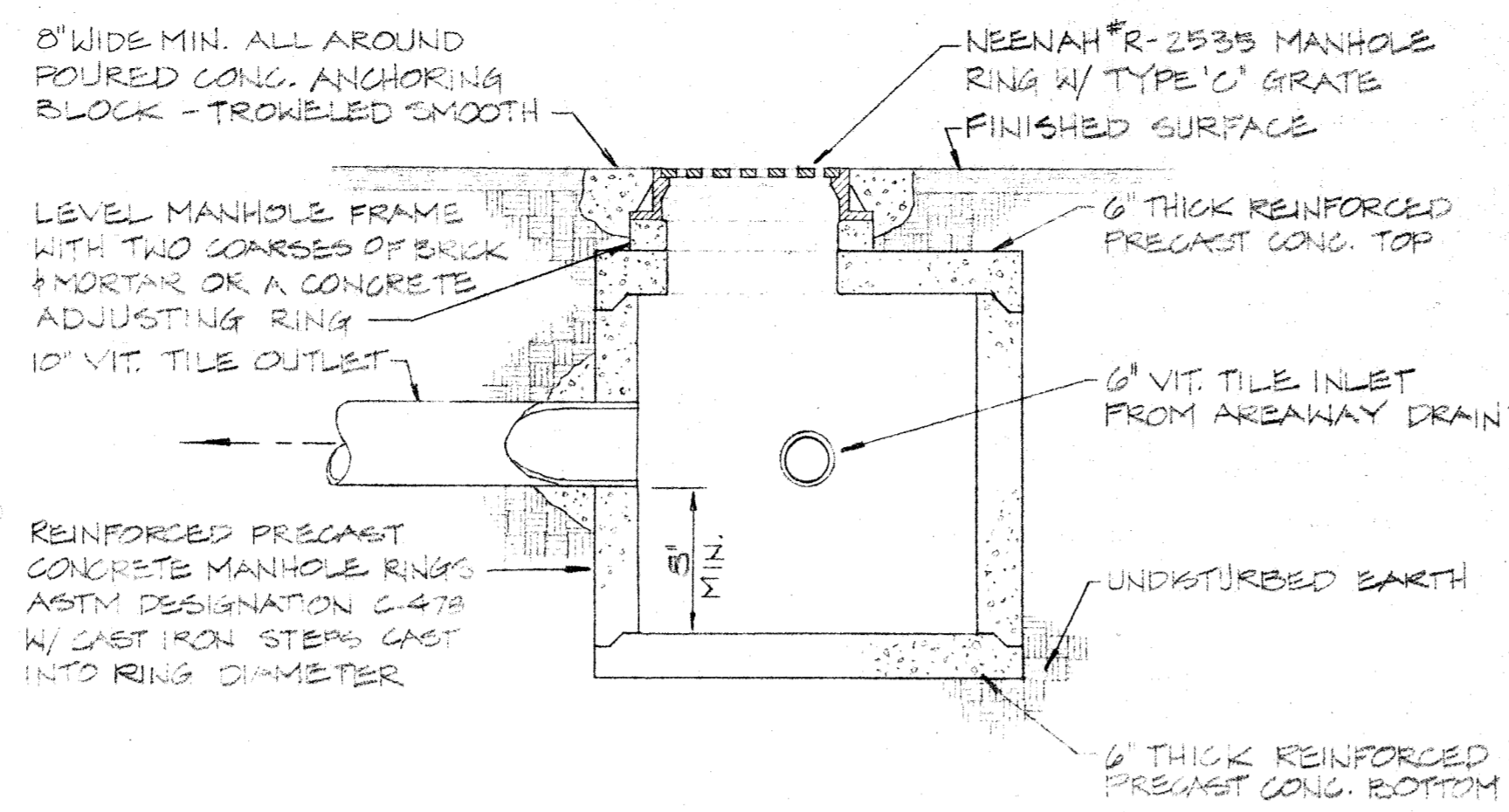
MEYER AND PETER
ARCHITECTS - ENGINEERS
716 W. CUBA BUILDING - QUINCY, ILLINOIS 62451

9.22.83

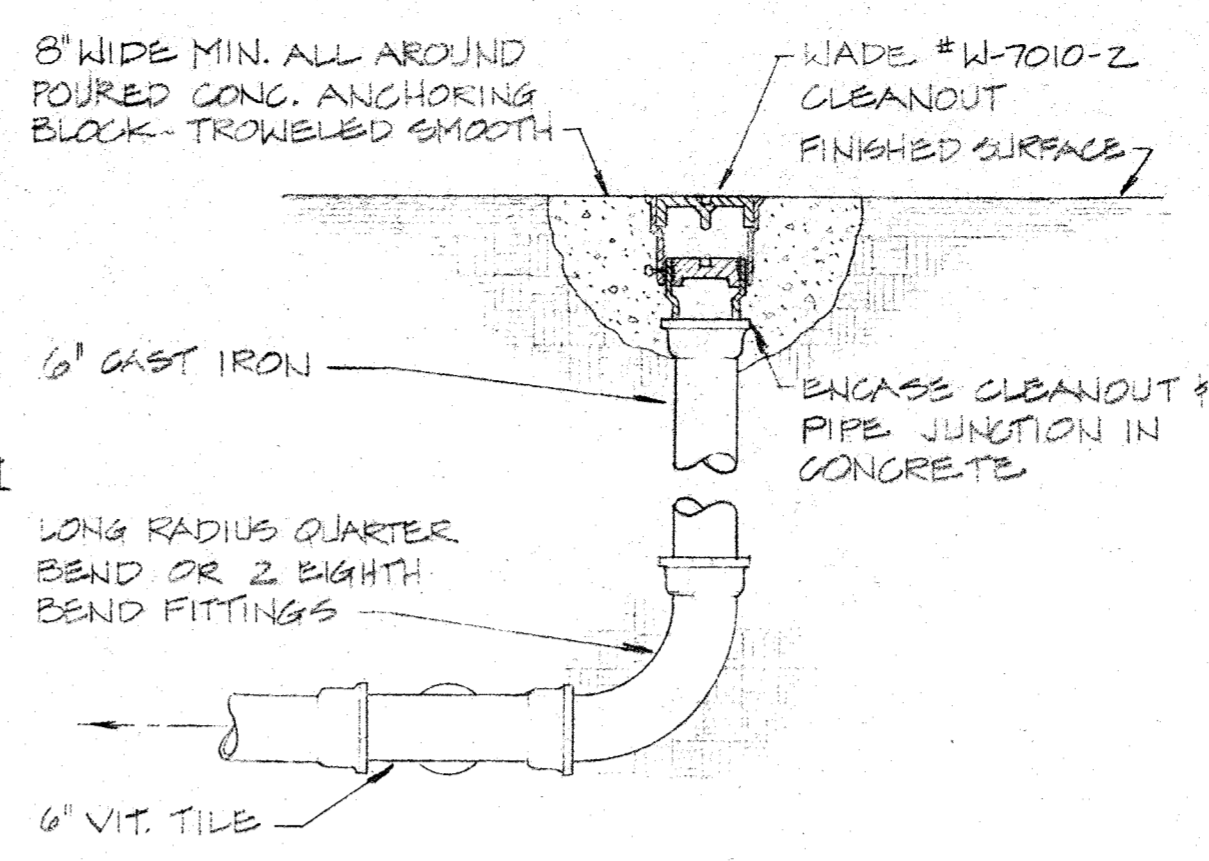
A12



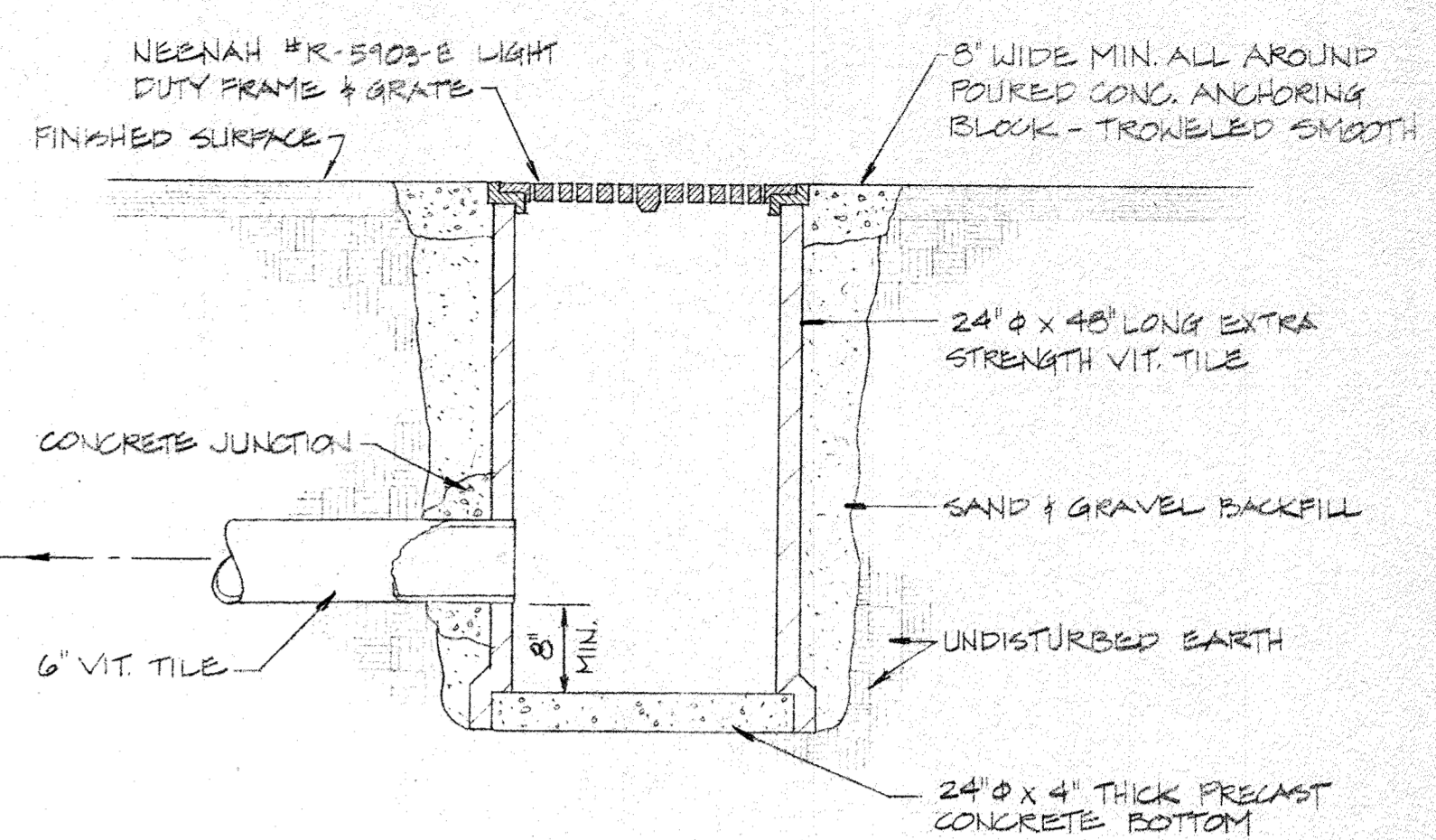
DETAIL - AREAWAY DRAIN #2
NO SCALE



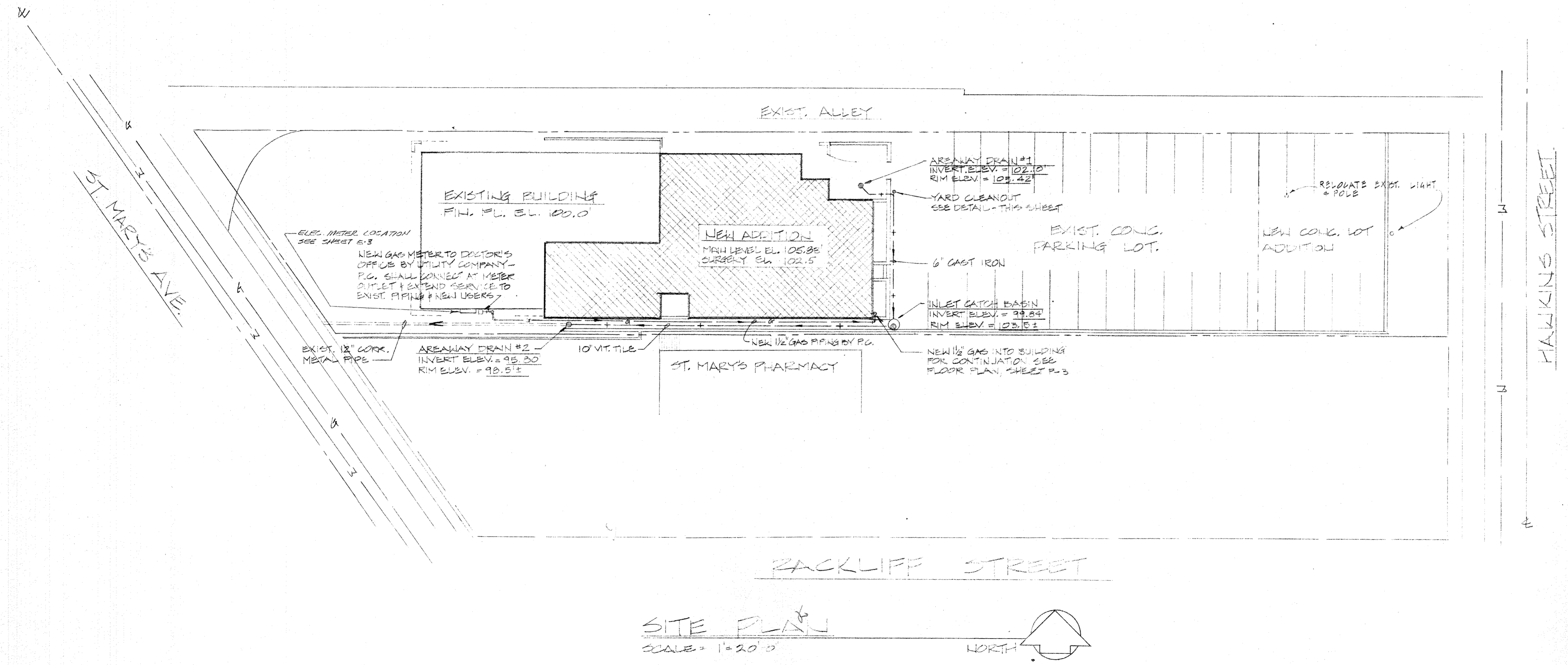
DETAIL - INLET CATCH BASIN
NO SCALE



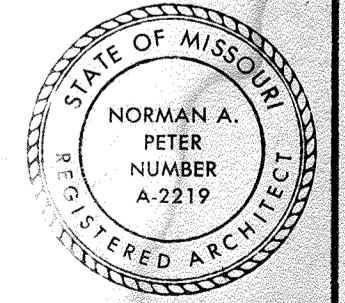
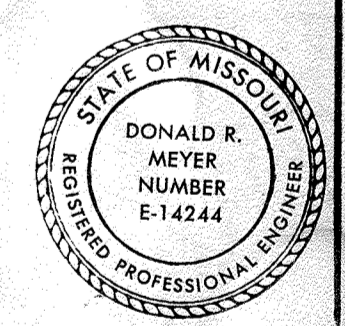
DETAIL - YARD CLEANOUT
NO SCALE



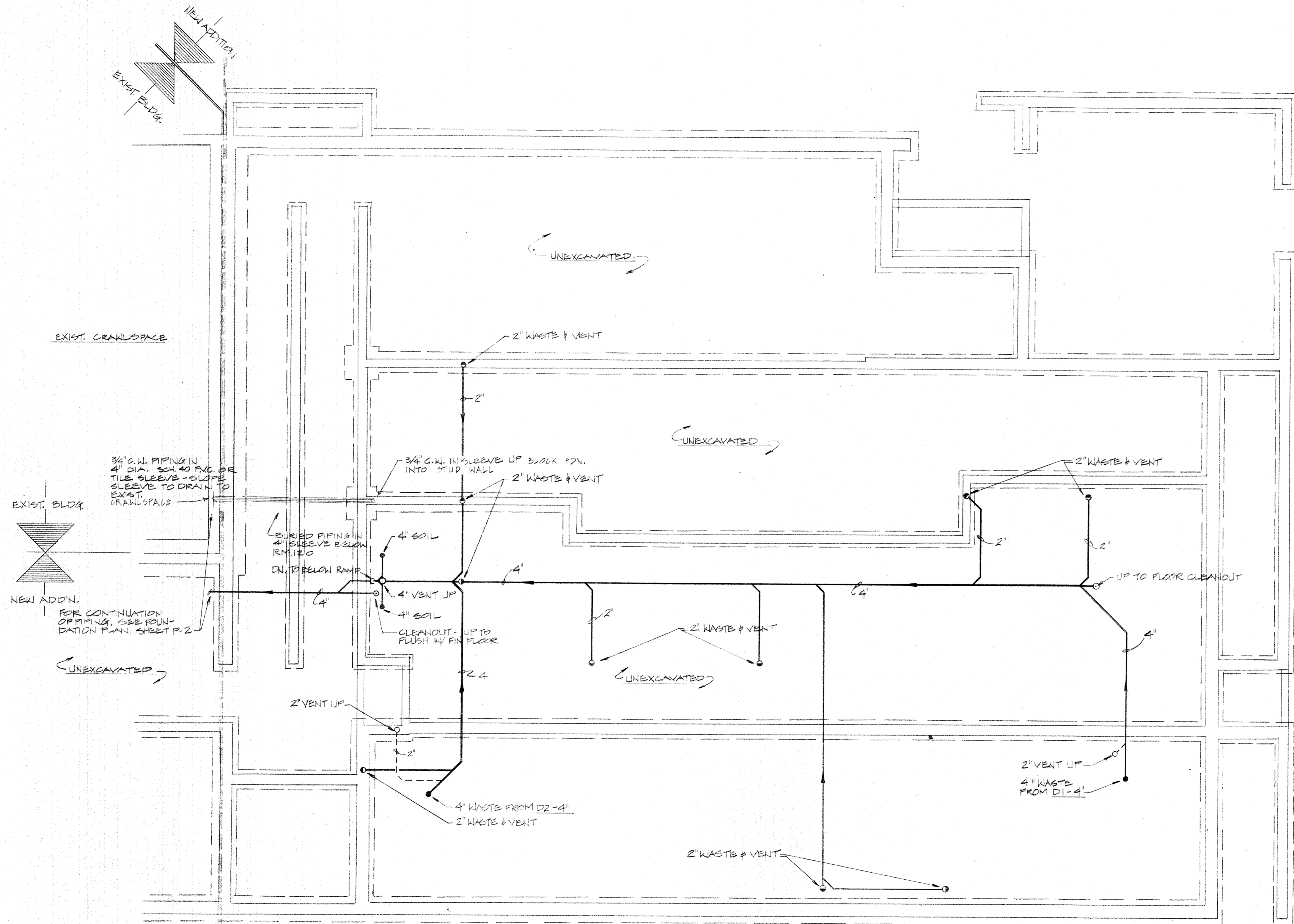
DETAIL - AREAWAY DRAIN #1
NO SCALE



SITE PLAN
SCALE = 1" = 20'

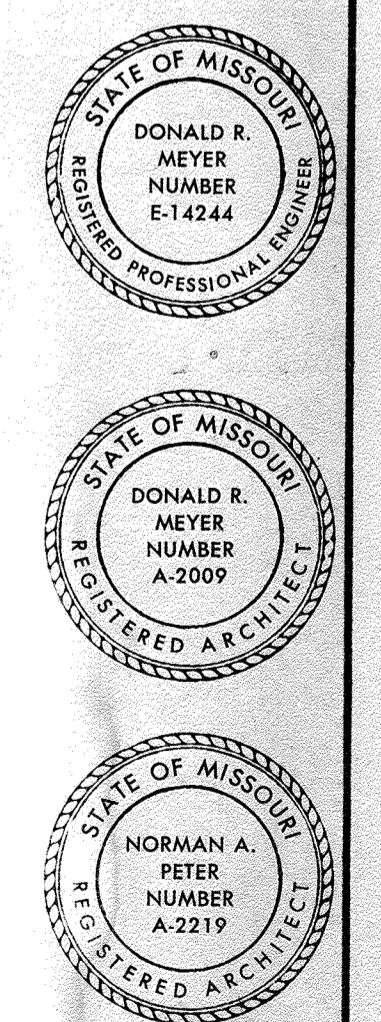
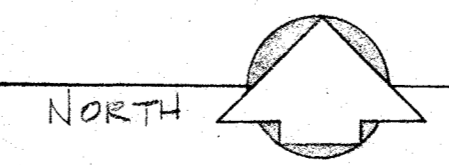


UTILITY SITE #	R NO 7913
ADDITION AND ALTERATION	DL BY KJG
GREAT RIVER DRIVE	9.22.00
2710 ST. MARY'S AVE	
 MEYER AND PETER ARCHITECTS - ENGINEERS 718 WCU BUILDING • QUINCY, ILLINOIS 62301	

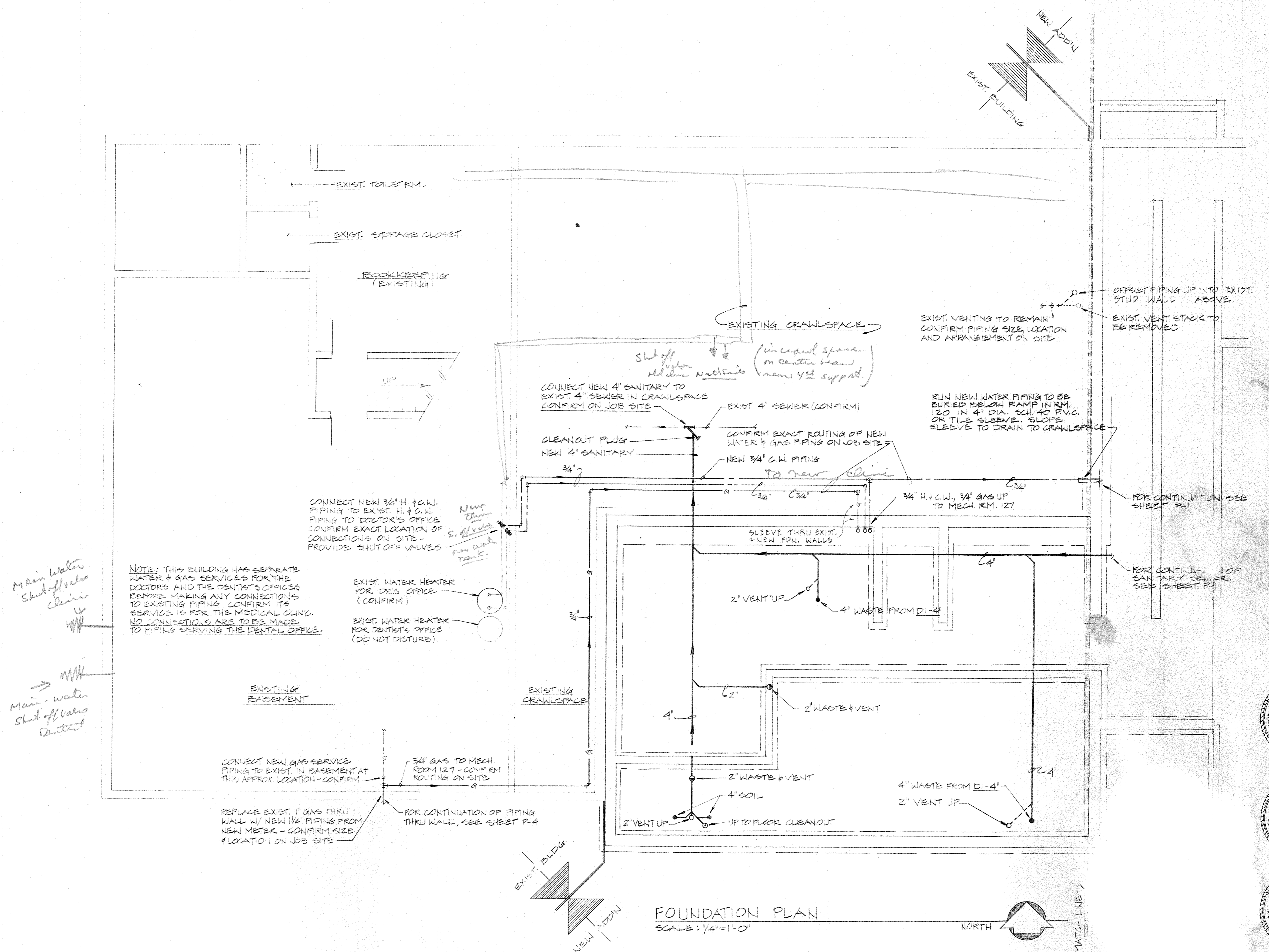


PLUMBING SYMBOL SCHEDULE	
---+---	STORM SEWER PIPING
---	SANITARY SEWER PIPING
----	VENT PIPING
---	COLD WATER PIPING
---	HOT WATER PIPING
----	HOT WATER RETURN PIPING
---	GAS PIPING
---	GATE VALVE
---	GAS COCK
---	CHECK VALVE
---	BALANCING VALVE
●	SOIL OR WASTE CONNECTION
o---	VENT RISER
o---	SOIL &/OR WASTE RISER
⊙	CLEANOUT (C.O.) OR YARD CLEANOUT (Y.C.O.)
⊙	FLOOR DRAIN, SIZE + NUMBER
⊙	FIXTURE DESIGNATION

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION	PR NO. 7-13
ADDITION AND REVISIONS TO:	DN. BY: KB
GREAT RIVER PLUMBING	9-22-80
2910 ST. MARYS AVE. QUINCY, ILL. 62450	
MEYER AND PETER ARCHITECTS - ENGINEERS 718 WCU BUILDING • QUINCY, ILLINOIS 62401	



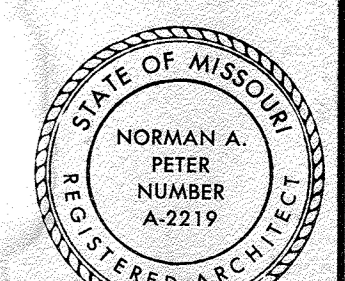
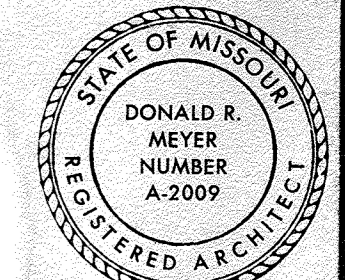
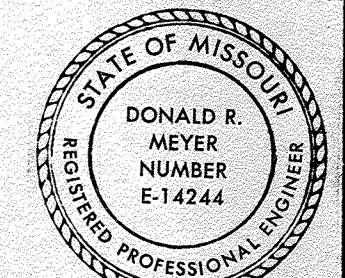
Main water shut off valve clinic
 Main water shut off valve dentist

NOTE: THIS BUILDING HAS SEPARATE WATER & GAS SERVICES FOR THE DOCTORS AND THE DENTIST'S OFFICES BEFORE MAKING ANY CONNECTIONS TO EXISTING PIPING CONFIRM ITS SERVICE IS FOR THE MEDICAL CLING. NO CONNECTIONS ARE TO BE MADE TO PIPING SERVING THE DENTAL OFFICE.

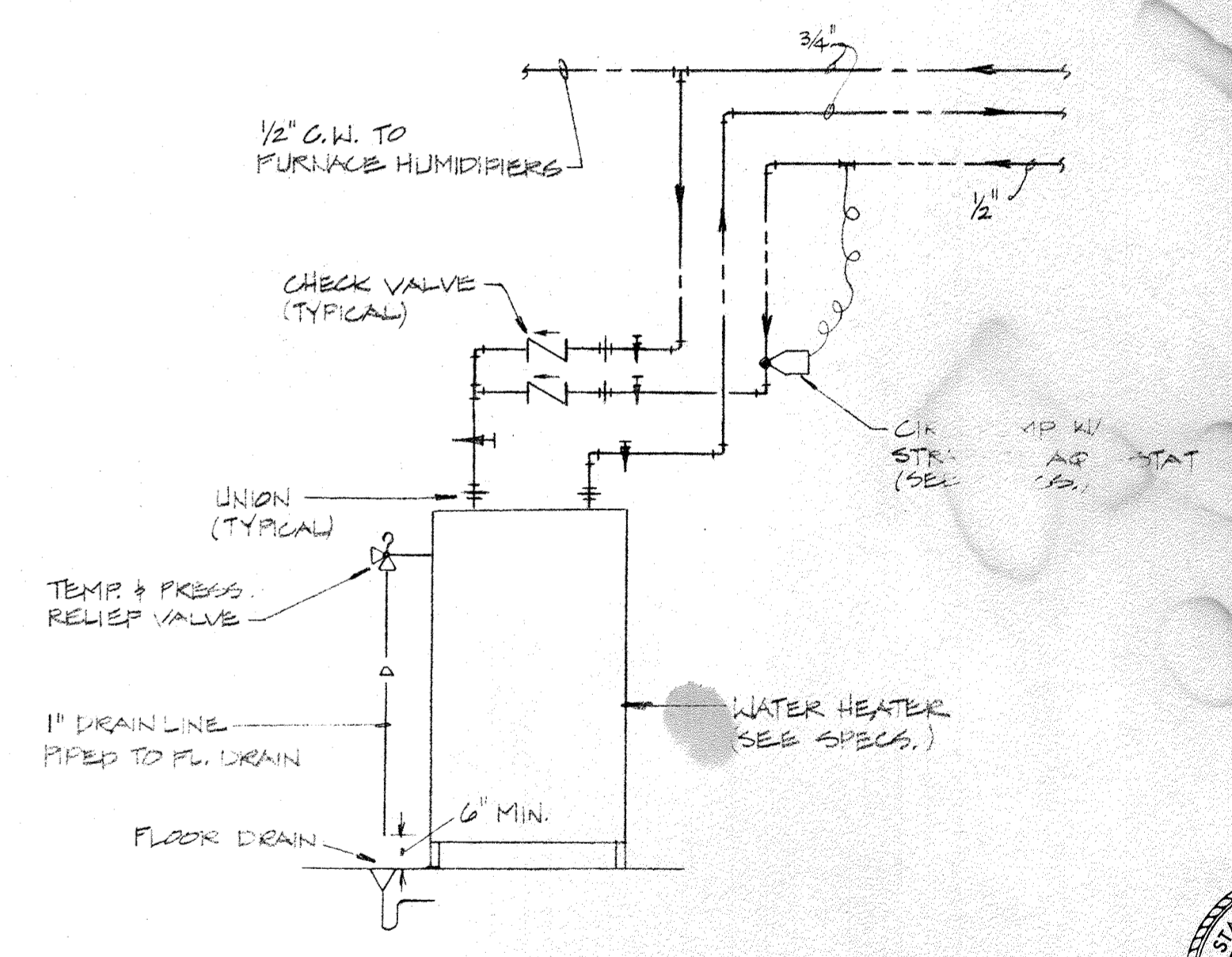
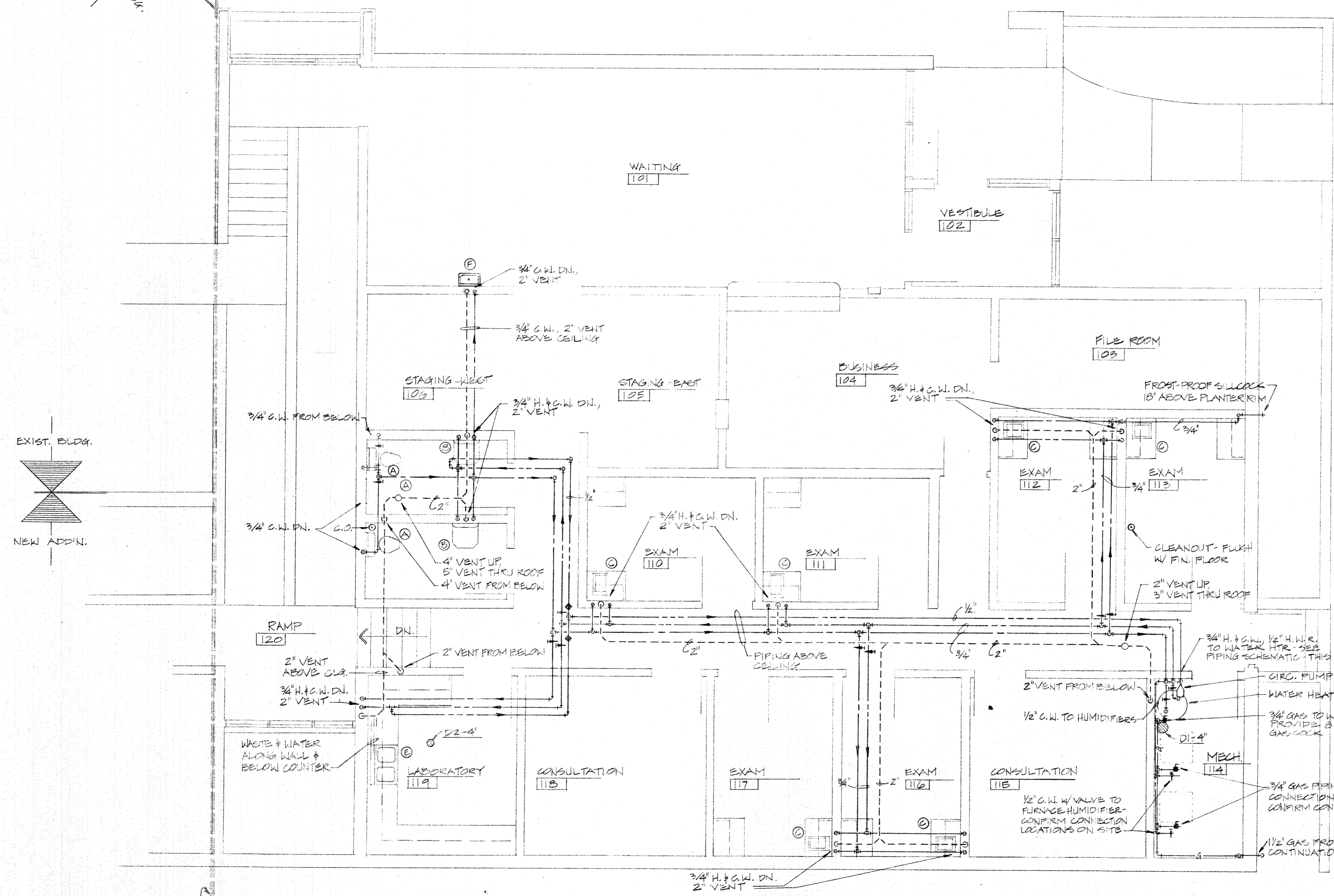
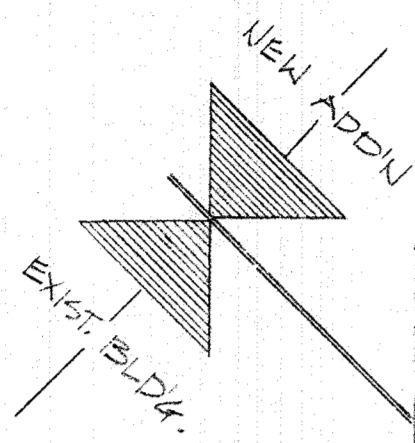
EXIST. WATER HEATER FOR DR'S OFFICE (CONFIRM)
 EXIST. WATER HEATER FOR DENTIST'S OFFICE (DO NOT DISTURB)

CONNECT NEW GAS SERVICE PIPING TO EXIST. IN BASEMENT AT THIS APPROX. LOCATION - CONFIRM
 3/4\"/>

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

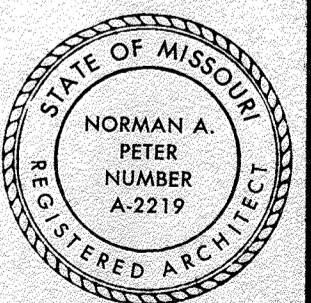
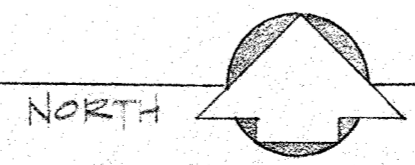


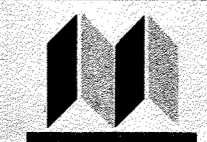
FOUNDATION	PR. NO. 19-18
ADDITIONAL WORK TO:	DATE: 9-22-80
GREAT RIVER A/C	
2912 ST. MARIE AVE. HANNEBAL MO	
MEYER AND PETER ARCHITECTS - ENGINEERS	
718 WCU BUILDING - QUINCY, ILLINOIS 62301	



SCHEMATIC - PIPING AT WATER HEATER
NO SCALE

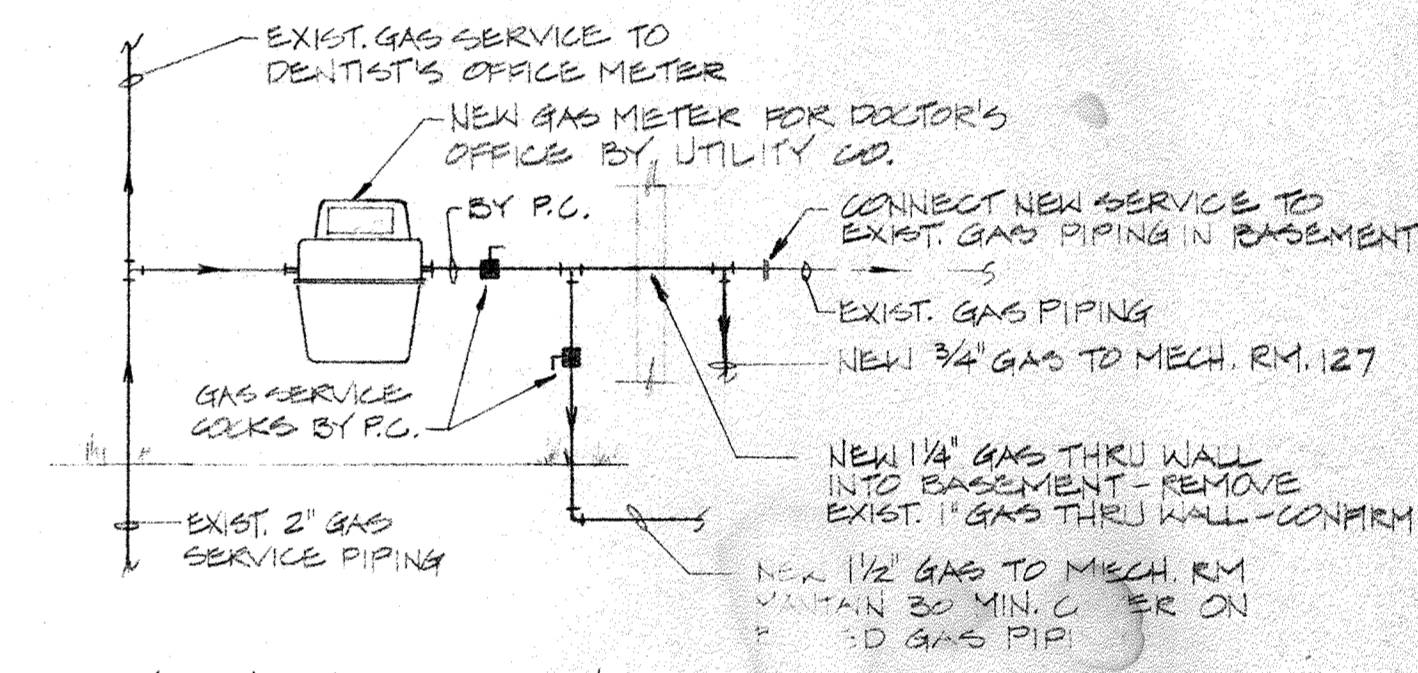
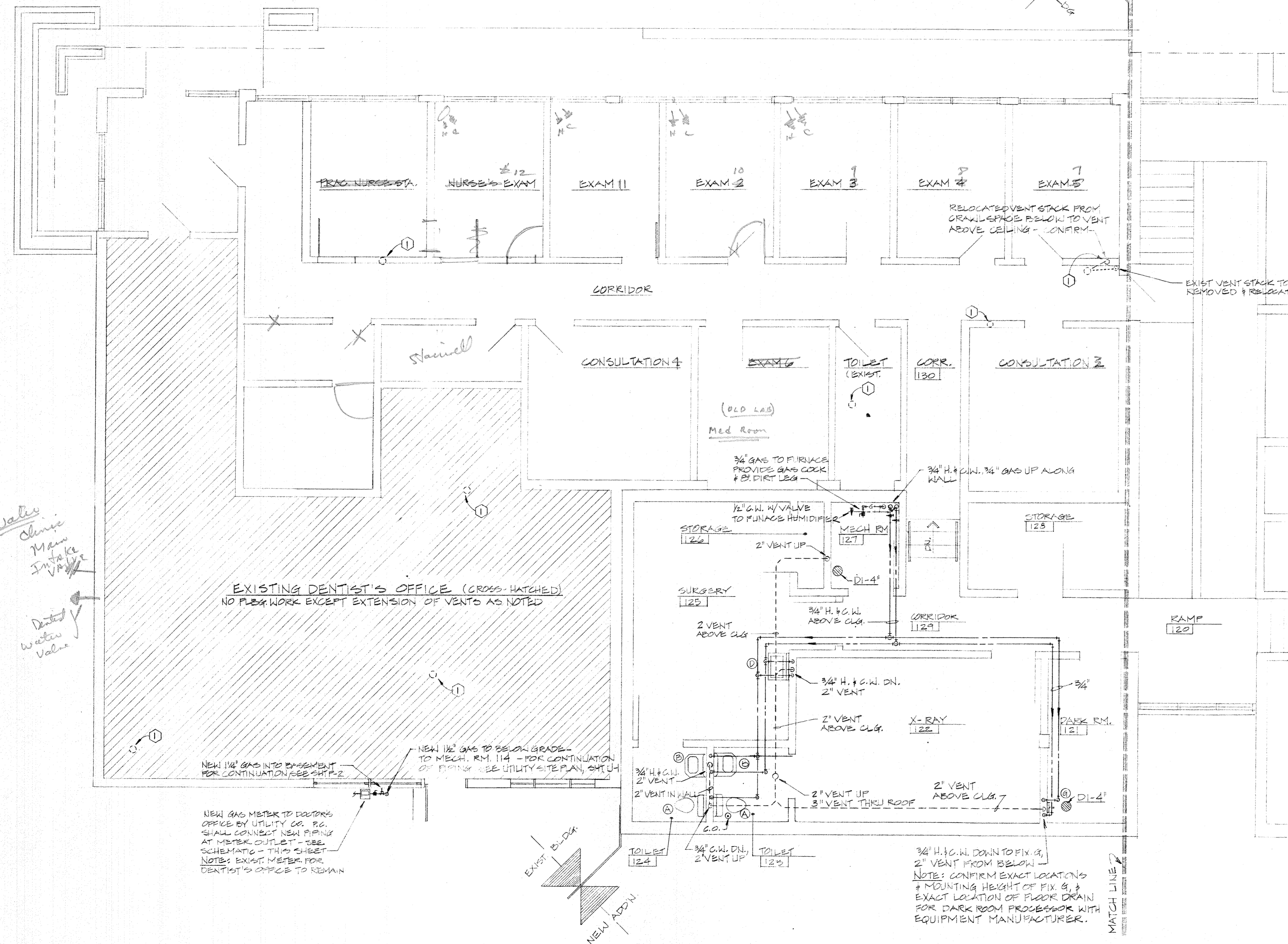
FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN	7-10-79-18
ADDITION AND REVISIONS TO: GREAT RIVER CLINIC 2910 ST. MARYS AVE. HANIBAL, MO.	DRAWN BY: 9-22-80
 MEYER AND PETER ARCHITECTS - ENGINEERS 718 WCU BUILDING • QUINCY, ILLINOIS 62301	13

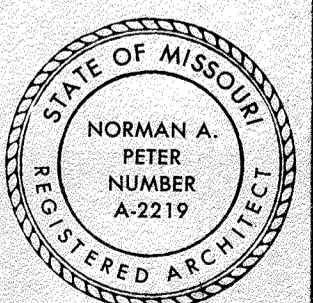
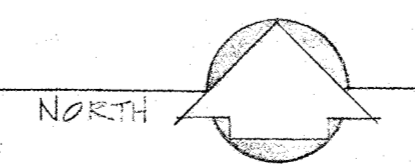
KEYED PLUMBING NOTES

- ① EXTEND EXIST. PLUMBING VENT STACK AT THIS APPROX. LOCATION TO 12" MINIMUM ABOVE NEW ROOF CONSTRUCTION - CONFIRM SIZE & EXACT LOCATION OF EXIST. VENTS ON JOB SITE



SCHEMATIC - NEW GAS PIPING @ METER
NO SCALE

FLOOR PLAN
SCALE: 1/4" = 1'-0"



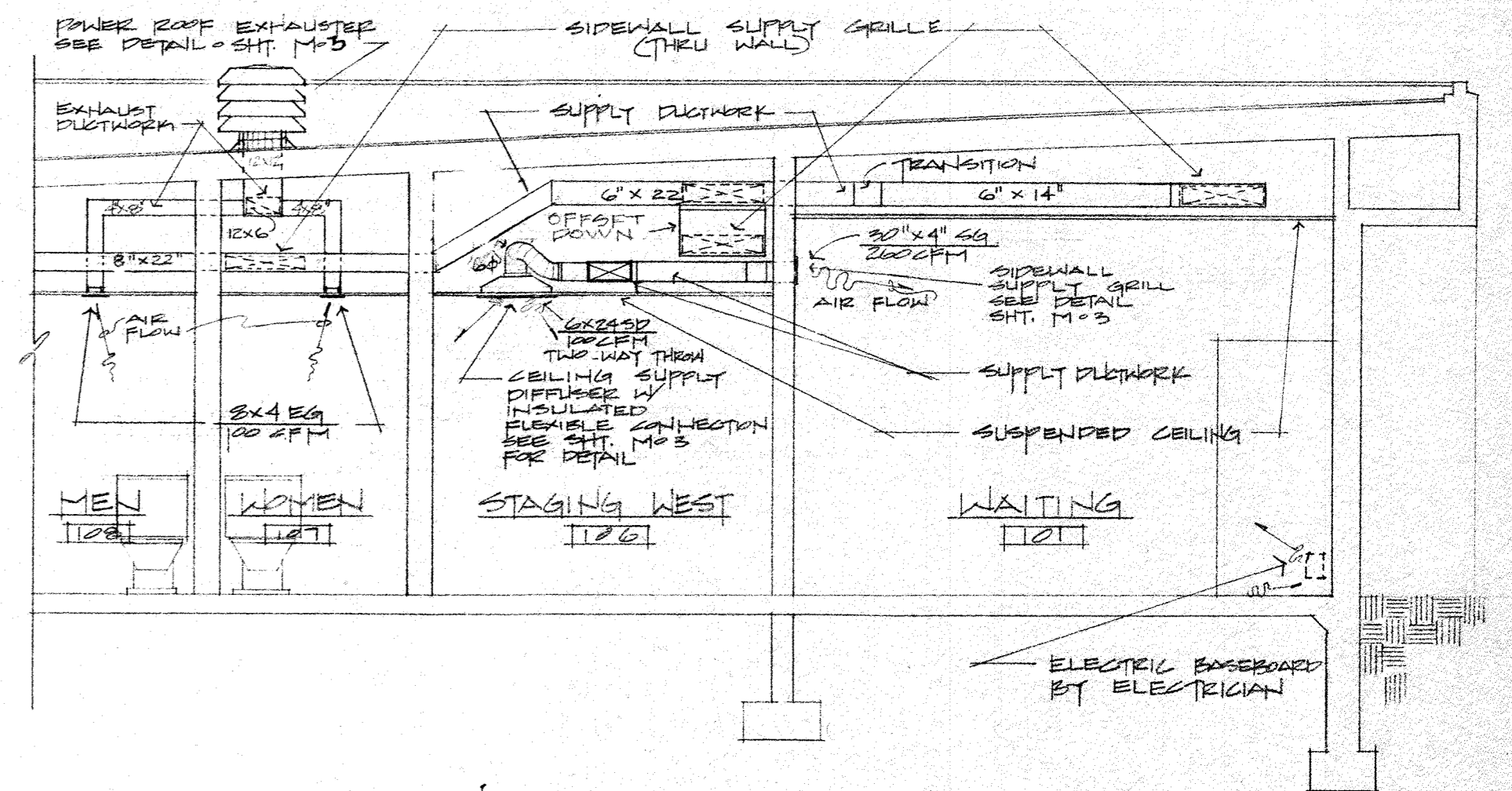
FLOOR PLAN	PR. NO. 79-18
ADDITIONAL NOTES TO: GREAT RIVER CLINIC 2910 ST. MARSHALE HANNSAL, MO	DATE: 9-22-80
MEYER AND PETER ARCHITECTS - ENGINEERS 718 WCU BUILDING • QUINCY, ILLINOIS 62301	D4

GENERAL NOTES

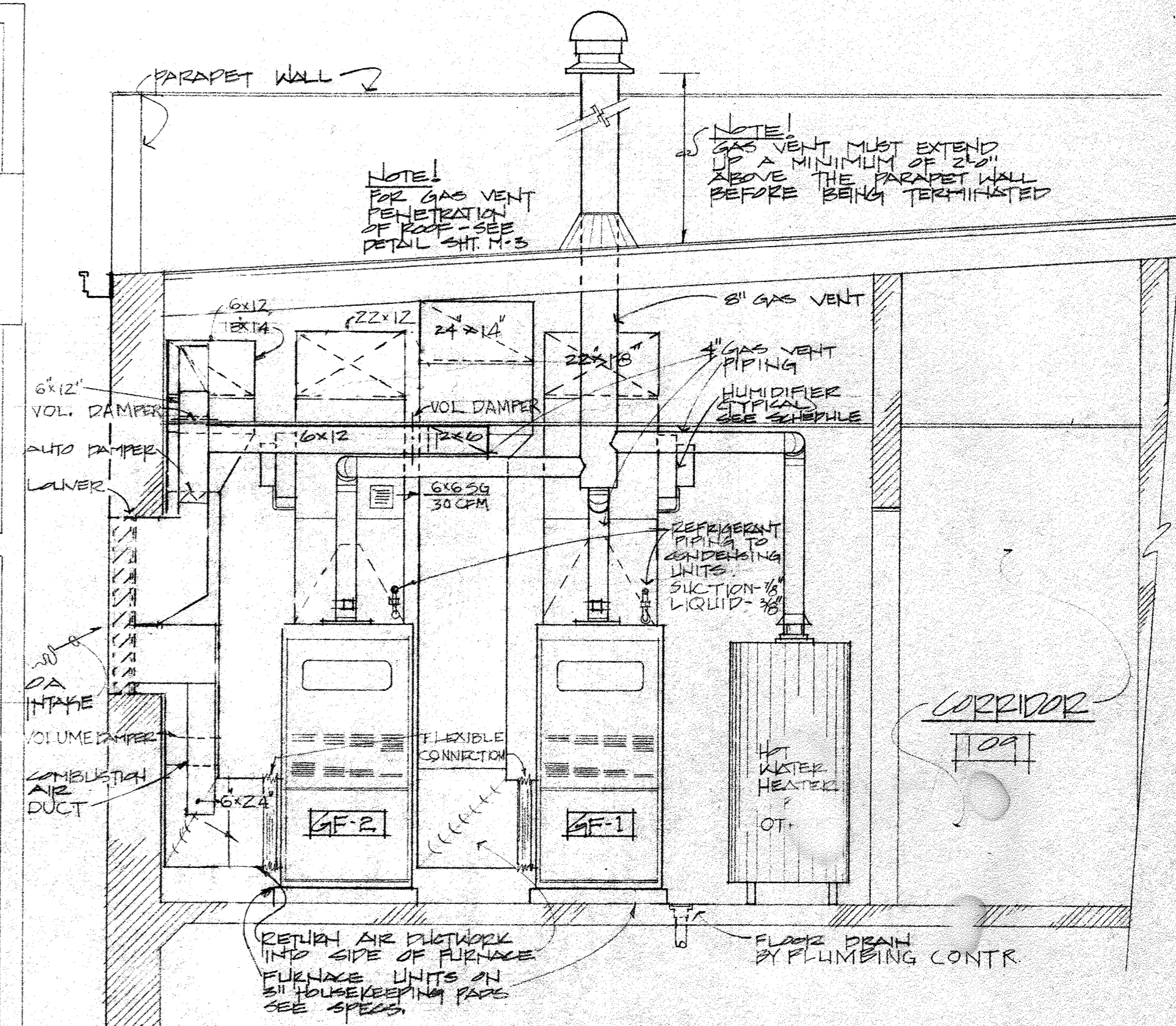
1. DOOR VENTS BY GENERAL CONTRACTOR.

SCHEDULE OF ABBREVIATIONS

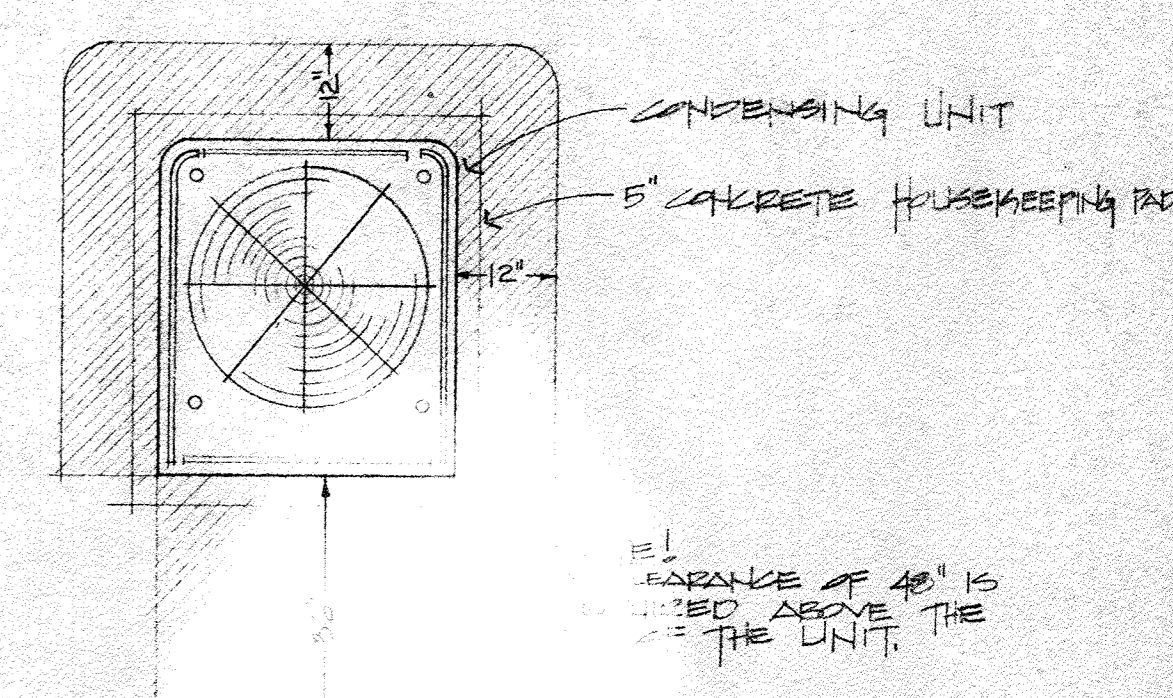
- AC AIR-COOLED CONDENSER
- DA DRAIN VENT
- FD FLOOR DRAIN
- GF GAS-FIRED FURNACE
- GV GAS VENT
- OA OUTSIDE AIR
- SD SUPPLY DIFFUSER
- SG SUPPLY GRILLE
- RA RETURN GRILLE
- Ø(Ø) DIAMETER SIZE OF DIFFUSER NECK
- RV SQUARE DIMENSION OF DIFFUSER FACE



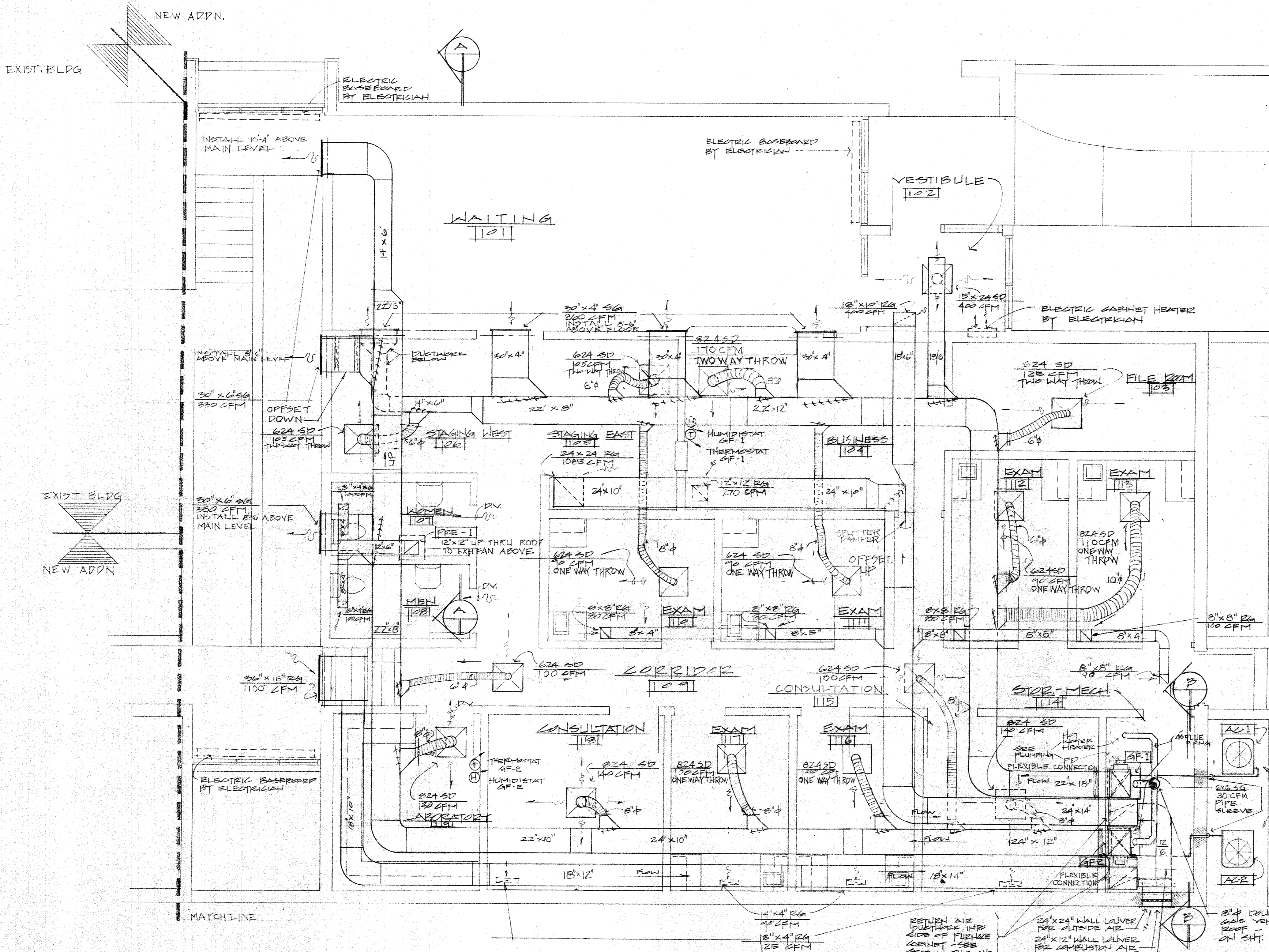
SECTION "A" - LOOKING WEST @ RM. 101, 106, 107, 108
SCALE = 1/4" = 1'-0"



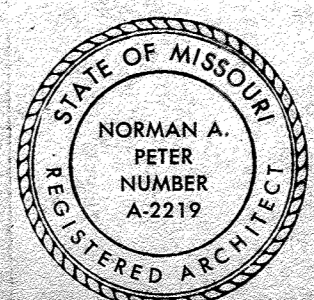
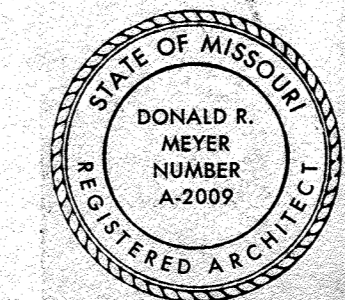
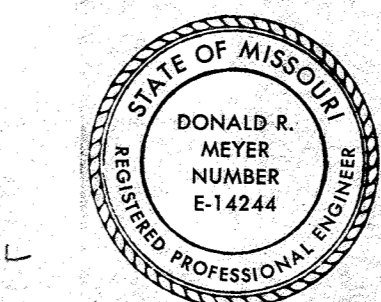
SECTION "B" - LOOKING WEST @ MECHANICAL RM.
SCALE = 1/2" = 1'-0"



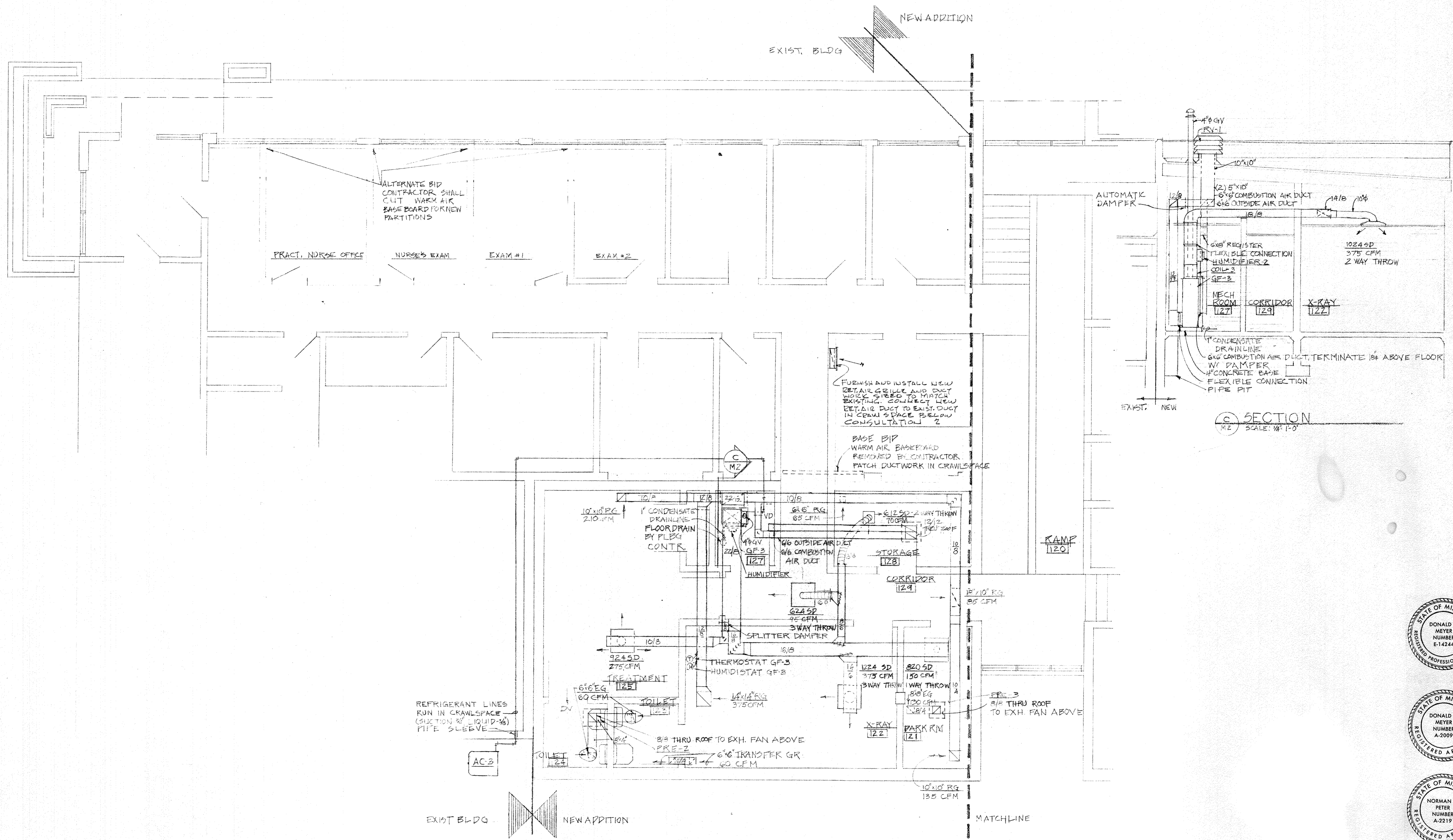
DETAIL - MIN. CLEARANCES FOR CONDENSING UNIT
IS NOT SCALE



FLOOR PLAN
SCALE = 1/4" = 1'-0"

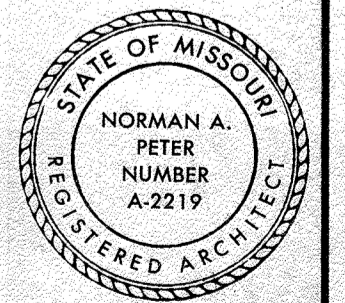


FLOOR PLAN & DETAILS	PR. NO. 7918
ADDITONS AND ALTERATIONS TO 3	DN B11.1.1.6
GREAT RIVER CLINIC	9.22.80
210 ST. PETERS AVENUE HONOLULU, HI	
MEYER AND PETER ARCHITECTS - ENGINEERS	
718 WCU BUILDING - QUINCY, ILLINOIS 62301	



FLOOR PLAN
SCALE: 1/4" = 1'-0"

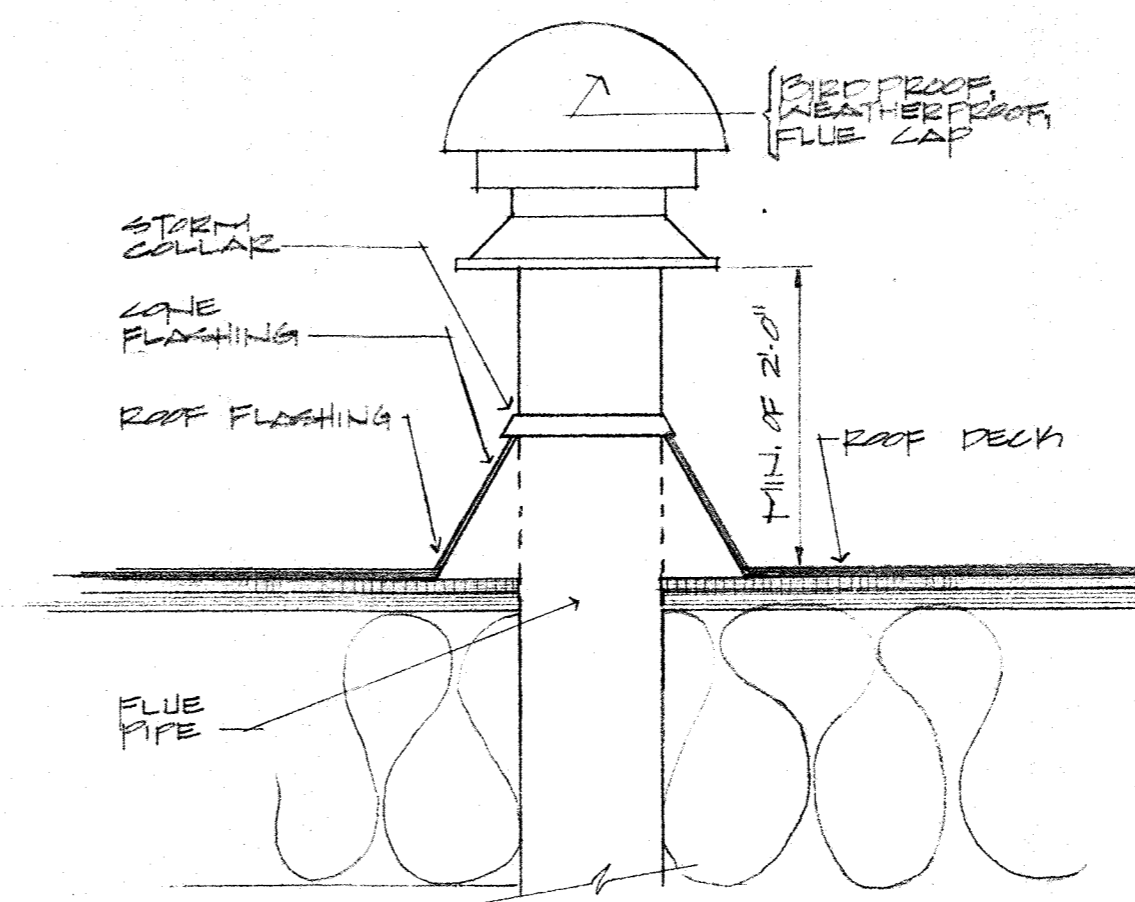
SECTION
SCALE: 1/4" = 1'-0"



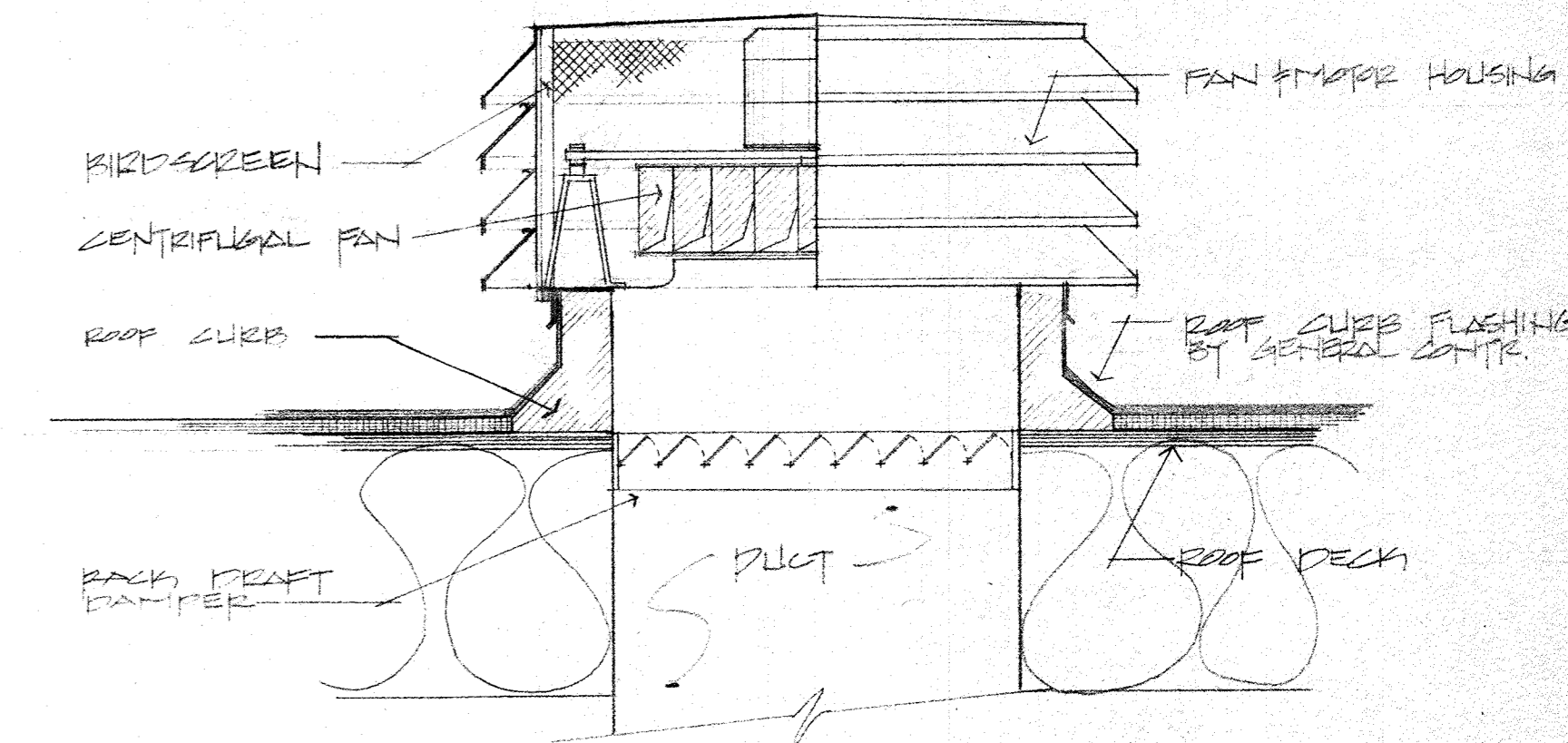
FLOOR PLAN - HVAC	PR NO 79-18
ADDITION AND ALTERATIONS TO GREAT FIVE CLINIC 2710 ST. MARIE ST. HANSTON, MO.	DN BY: LK
MEYER AND PETER ARCHITECTS - ENGINEERS 718 W. CUB BUILDING - QUINCY, ILLINOIS 62301	9-22-80

SCHEDULE OF EXHAUST FANS & ROOF VENTS

MARK	LOCATION	MFR.	MODEL No. & DRIVE	CFM	STATIC PRESS.	RPM	MOTOR			REMARKS
							H.P.	VOLTS	PHASE	
PRE-1	RM 108	FENN	6T	200	.21	1440	1/2	120	1	
PRE-2	RM 124	FENN	6V	120	.23	1000	1/25	120	1	
PRE-3	RM 121	FENN	6V	130	.22	1050	1/25	120	1	
RV-1	RM 128	FENN	1212V	-	.02	-	-	-	-	



DETAIL - GAS VENT (FLUE) THRU ROOF
DO NOT SCALE

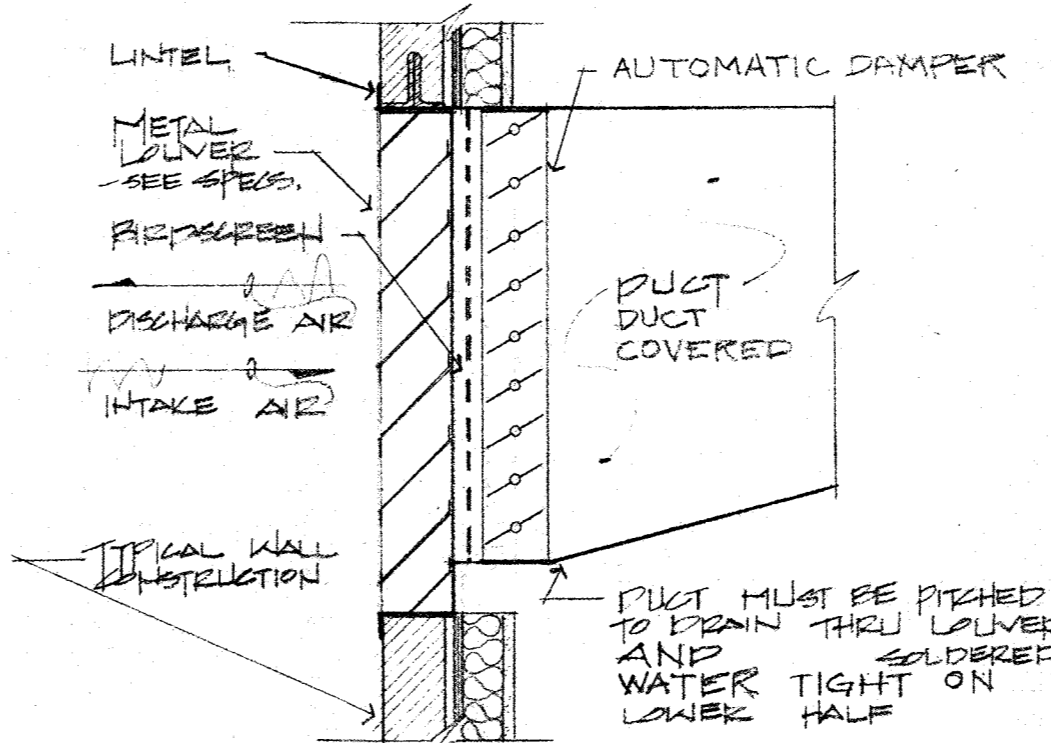


DETAIL - POWER ROOF EXHAUSTER
DO NOT SCALE
* ROOF INTAKE IS SIMILAR

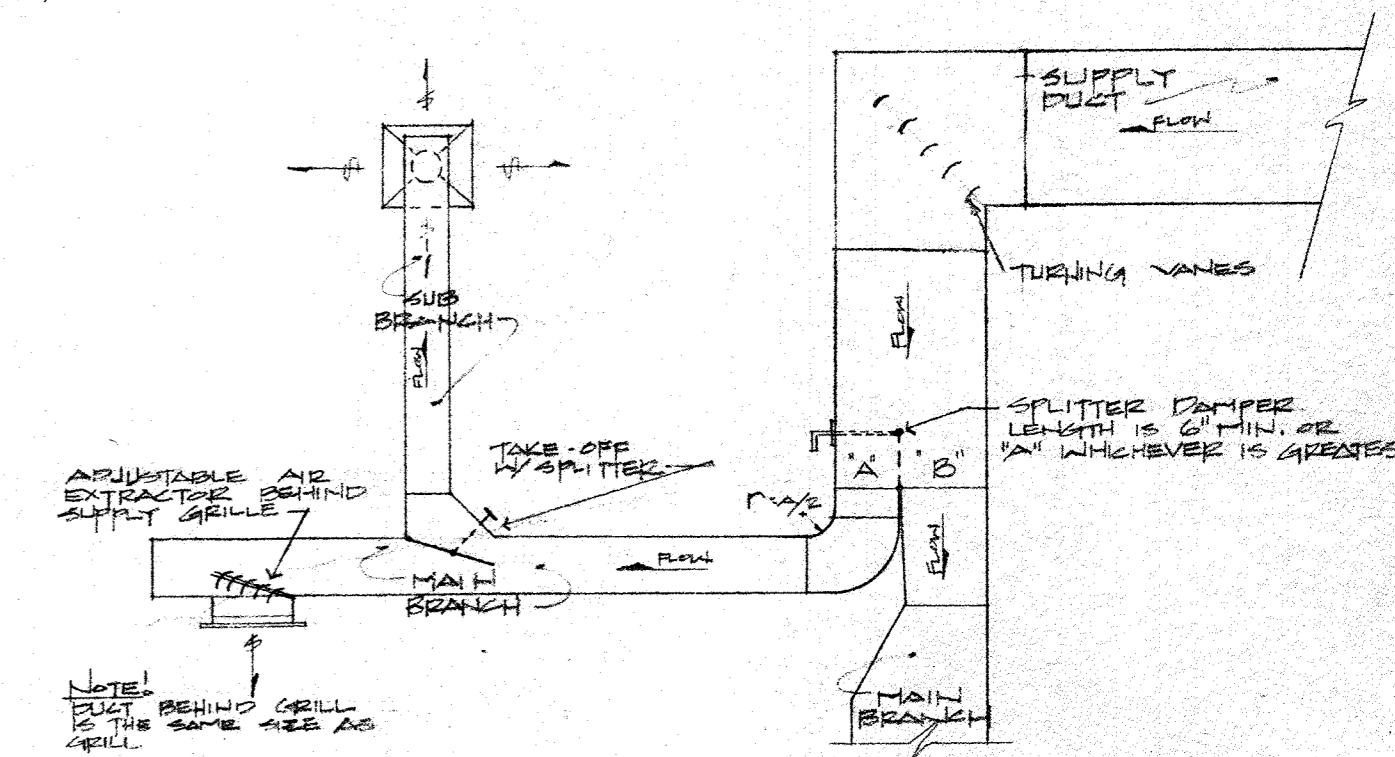
SCHEDULE OF GAS-FIRED FURNACES (GF)

MARK	MFR.	MODEL NO.	CFM	STATIC PRESS. (IN. WC)	CAPACITY (MBH)		FUEL	MOTOR DATA			COOLING SECTION MODEL NO.	CAP. (BTUH)	FILTER AREA (SQ. FT.)	REMARKS
					INPUT	OUTPUT		HP	VOLT	PHASE				
GF-1	LENNOX	G12Q5E-75	2205	.55	75	59	NG	3/4	120	1	C5-920FF	61,500	8.9	① ③
GF-2	LENNOX	G12Q5E-75	1810	.53	75	59	NG	3/4	120	1	C5-920FF	59,500	8.9	① ③
GF-3	LENNOX	G12Q3E-40	1000	.71	40	32	NG	1/3	120	1	C5-330FF	21,400	5.8	② ③

- NOTES:
 ① PROVIDE HUMIDIFIER EQUAL TO APRILAIRE MODEL 112.
 ② PROVIDE HUMIDIFIER EQUAL TO APRILAIRE MODEL 110.
 ③ OUTSIDE AIR CFM: GF-1, 220 CFM; GF-2, 230 CFM; GF-3, 130 CFM



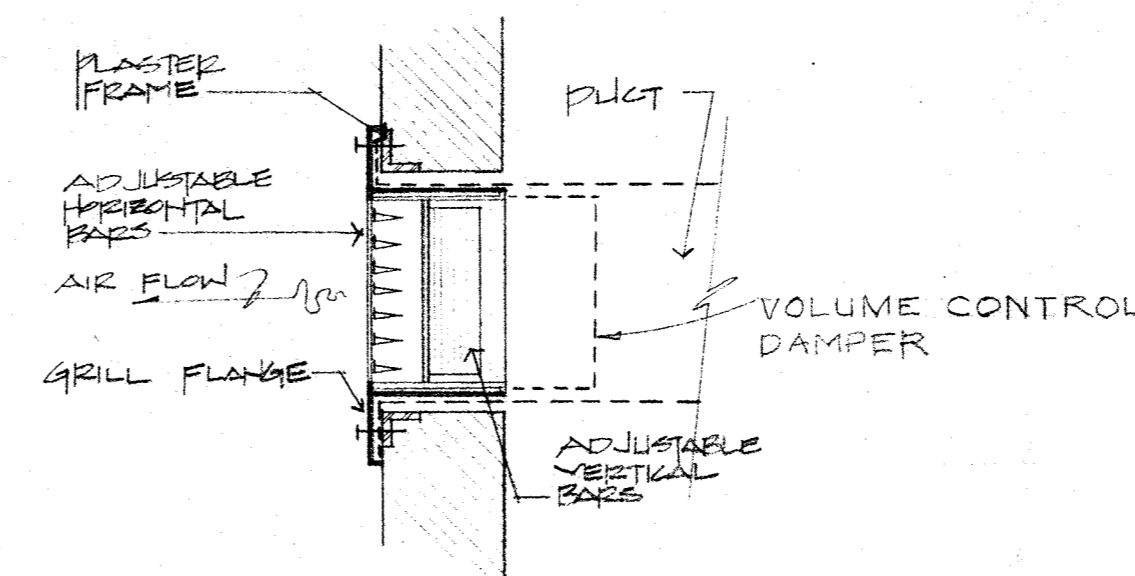
DETAIL - LOUVER & DAMPER @ WALL
DO NOT SCALE



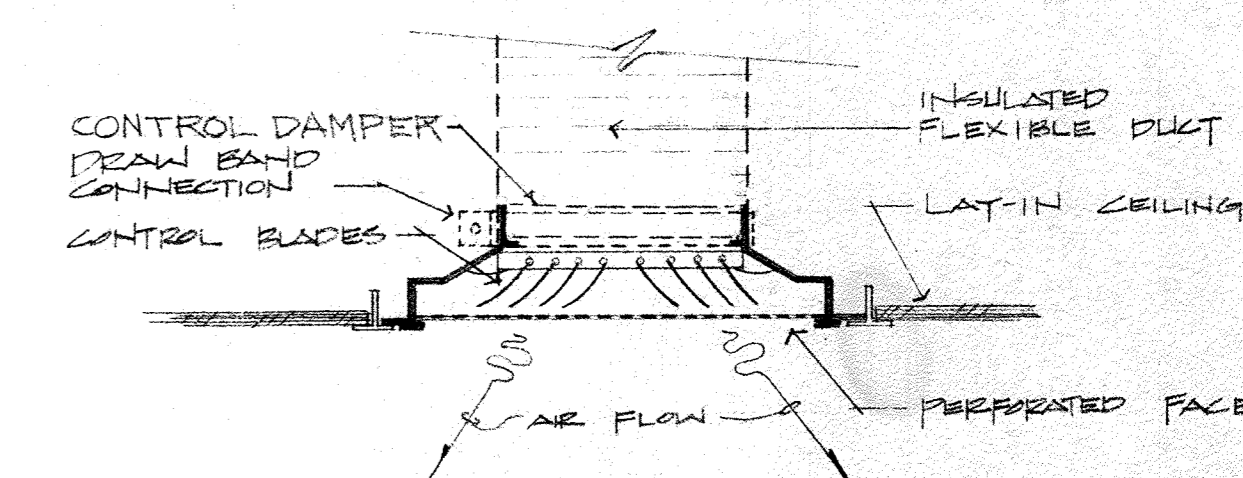
TYPICAL SUPPLY DUCT - BRANCHES & TAKEOFFS
DO NOT SCALE

SCHEDULE OF AIR-COOLED CONDENSER (AC)

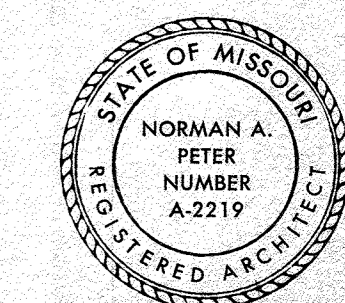
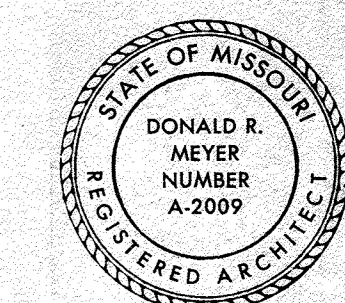
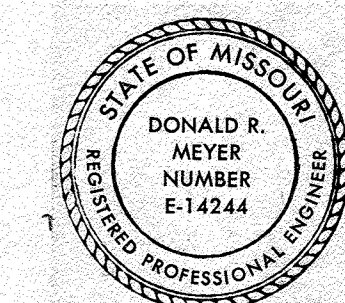
MARK	MFR.	MODEL NO.	COOLING CAPACITY (BTUH)	EER	CONDENSER COIL AREA (SQ. FT.)	CONDENSER FAN HP	ELECT. DATA		REMARKS
							VOLT	PHASE	
AC-1	LENNOX	HS10-65IV	61,500	7.4	15.1	1/4	208/230	1	
AC-2	LENNOX	HS10-65IV	59,500	7.4	15.1	1/4	208/230	1	
AC-3	LENNOX	HS9-211	21,400	8.0	11.8	1/4	208/230	1	



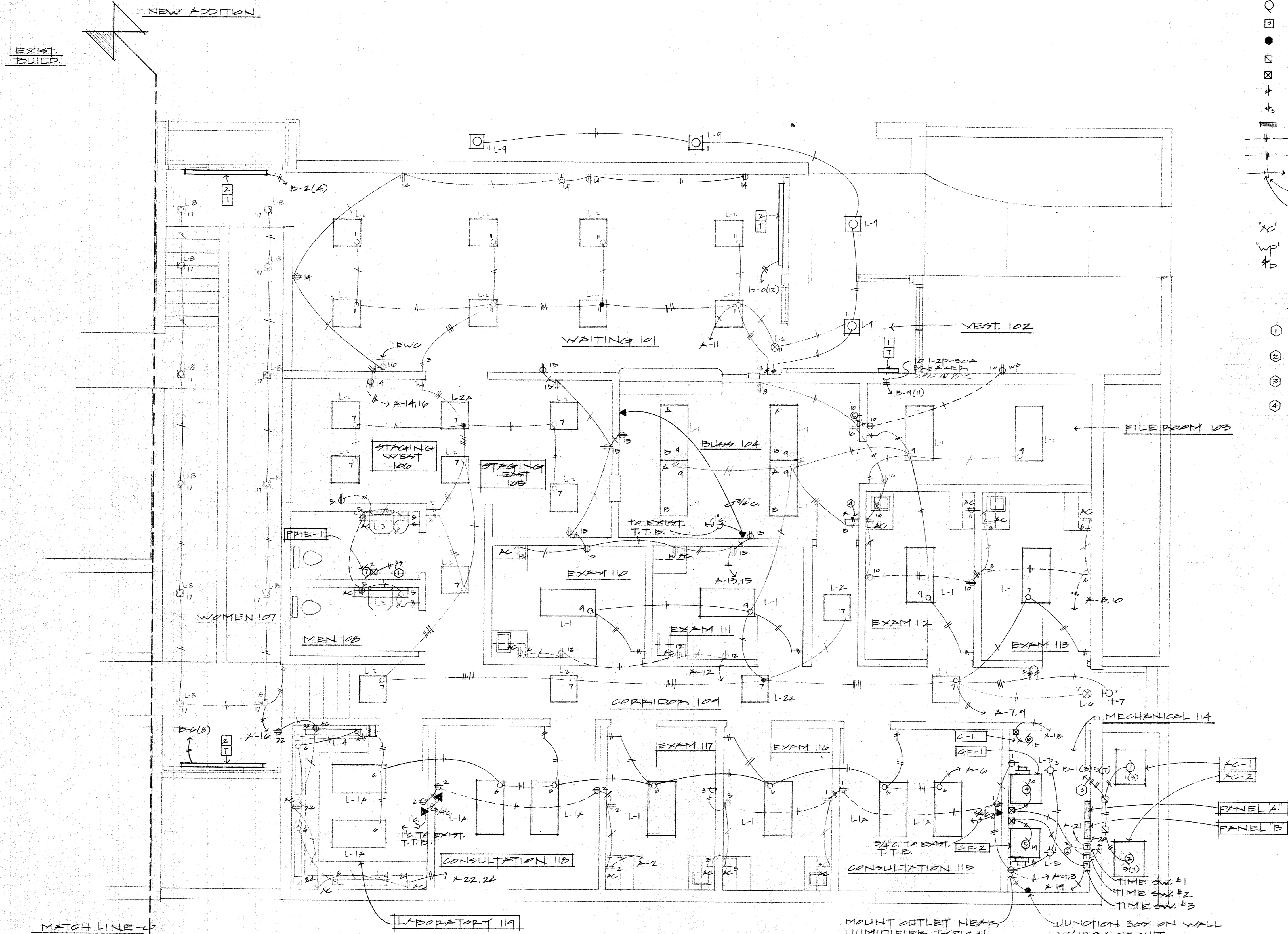
TYPICAL SIDEWALL SUPPLY GRILL
DO NOT SCALE



TYPICAL CEILING SUPPLY DIFFUSER
DO NOT SCALE



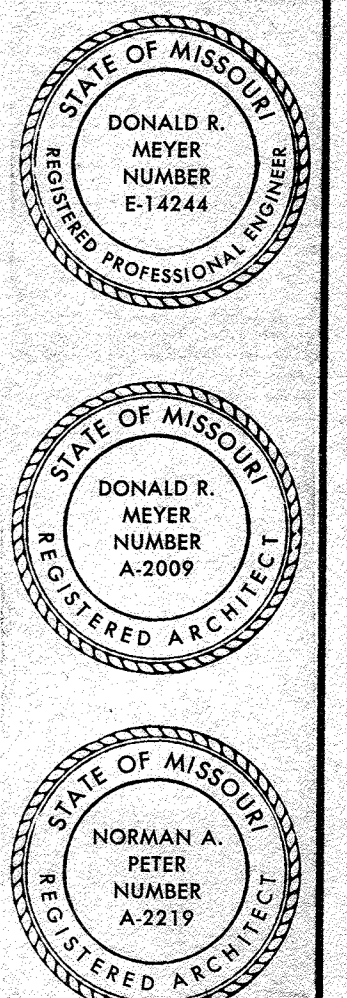
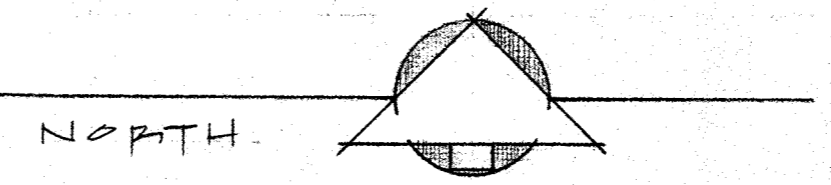
SCHEDULE OF DETAILS	PR NO 79-18
ADDITIONAL ITERATIONS TO: GREAT RIVER CLINIC 2910 ST. MARKS AVE HANNIBAL, MO	9.22.80
MEYER AND PETER ARCHITECTS - ENGINEERS 718 WCU BUILDING - QUINCY, ILLINOIS 62301	M3



- ### SYMBOL SCHEDULE
- FIXTURE OUTLET
 - ⊗ RECESSED INCANDESCENT FIXTURE
 - ⊙ WALL MOUNTED FIXTURES
 - ⊠ CEILING MOUNTED FLUORESCENT FIXTURE
 - ⊡ WALL MOUNTED FLUORESCENT FIXTURE
 - ⊗ CEILING MOUNTED EXIT FIXTURE
 - ⊕ DUPLEX CONVENIENCE OUTLET
 - ⊖ TELEPHONE OUTLET
 - ⊙ CLOCK OUTLET
 - ⊙ MOTOR OUTLET AS NOTED
 - ⊡ FLUSH MOUNTED CEILING SPEAKER
 - JUNCTION BOX
 - ⊠ DISCONNECT SW.
 - ⊠ MAGNETIC OR MANUAL MOTOR STARTER
 - ⊠ SINGLE POLE SW.
 - ⊠ THREE WAY SW.
 - ⊠ ELECTRICAL PANEL
 - CONDUIT CONCEALED IN OR UNDER FLOOR CONSTR.
 - CONDUIT CONCEALED IN WALL OR CEILING CONSTR.
 - CONDUIT HOMERUN
 - PHASE
 - NEUTRAL
 - ⊗ INDICATES EQUIP. MOUNTED ABOVE COUNTER
 - ⊗ WP INDICATES WEATHERPROOF EQUIP.
 - ⊗ DIMMER SWITCH

- ### KEYED NOTES
- ① 2#12 IN 1/2" C. TO TIME SW #1 IN MECHANICAL 114
 - ② 2#12 IN 1/2" C. TO PANEL IN WOMEN TOILET 107.
 - ③ 4#6 IN 1 1/4" C. TO 2-2P-00A BREAKERS B-1(2), 5(7)
 - ④ SWITCH 'A' TO CONTROL 1-2 LAMP BALLAST OF EACH FIXTURE, SWITCH 'B' TO CONTROL REMAINING BALLAST OF EACH FIXTURE.

FLOOR PLAN
SCALE: 1/4" = 1'-0"

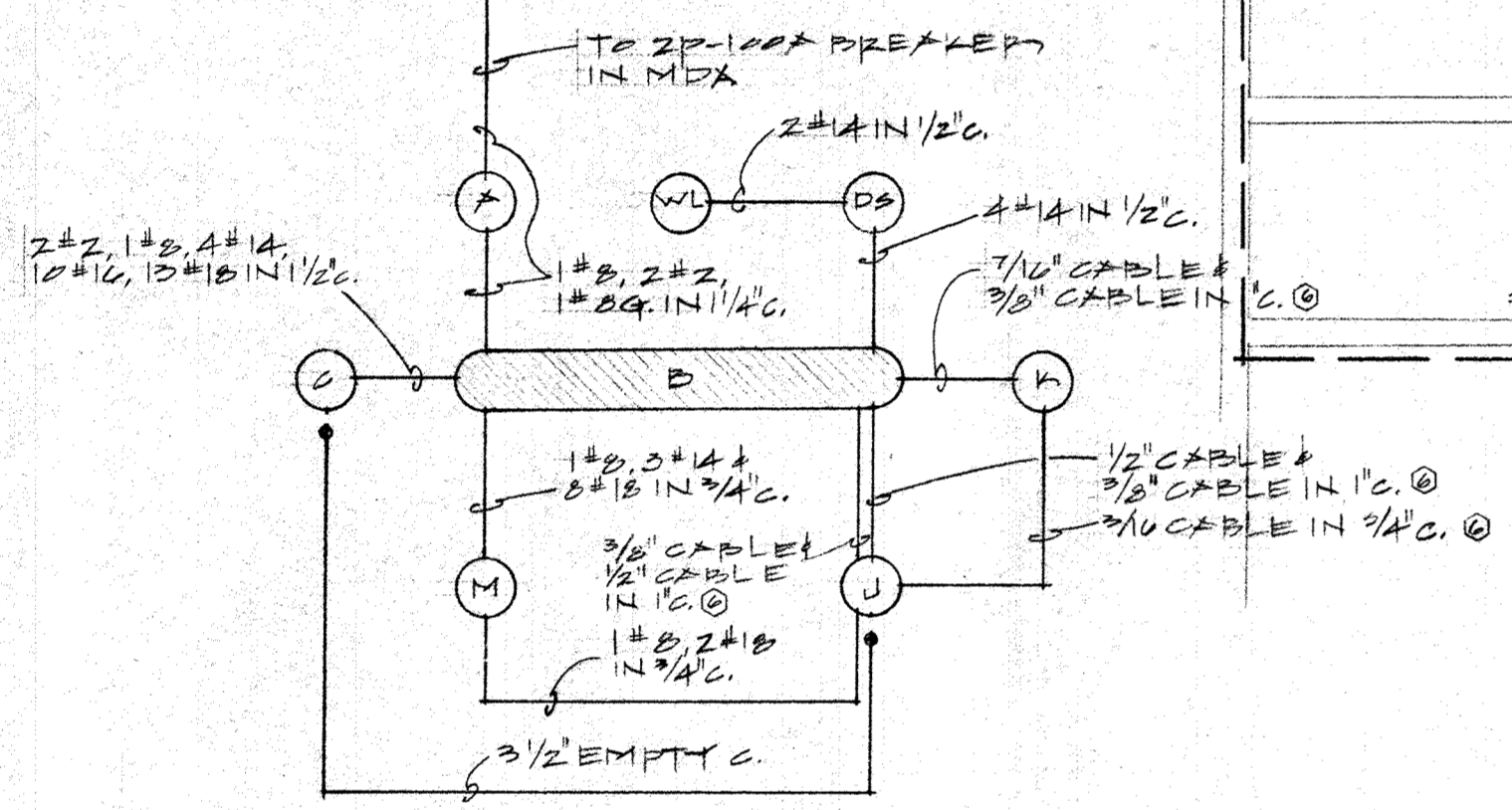
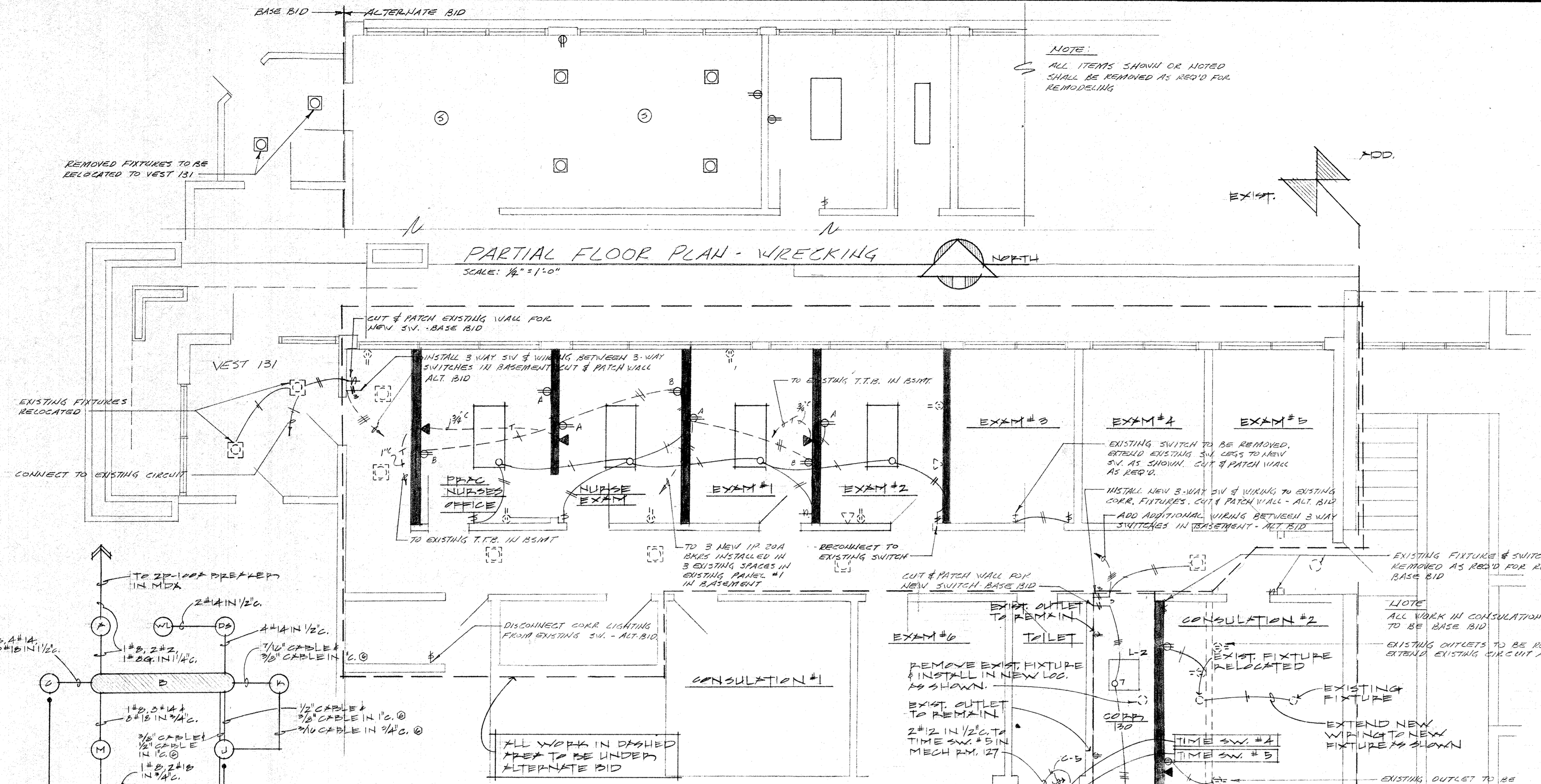


FLOOR PLAN		PR. NO. 79-13
ADDITIONS & ALTERATIONS TO 3		REVISED BY
GREAT RIVER CLINIC		9-22-80
2910 ST. MARTIN'S AVE. URBANA, MO.		
MEYER AND PETER ARCHITECTS - ENGINEERS		OF 3
718 WCU BUILDING • QUINCY, ILLINOIS 62301		

GENERAL NOTES - X-RAY

- ELEC. CONTR. TO SUPPLY AND INSTALL ALL JUNG. BOXES, CONDUITS, RACEWAY, WIRES, MAIN SWITCH ETC...
- ALL WIRES TO BE THIN TYPE STRANDED COPPER UNLESS OTHERWISE SPECIFIED.
- CONDUIT AND RACEWAY RUN X'RE SHOWN SCHEMATICALLY. BUILDING CONDITIONS WILL DETERMINE THE ACTUAL RUNS.
- PROVIDE 6'-0" WIRE TAILS FOR ALL THIN ELEC. CONTR. SUPPLIED WIRE AT ALL POINTS UNLESS OTHERWISE SPECIFIED.
- ELECTRICAL CONTR. TO IDENTIFY BOTH ENDS OF ALL WIRES.
- LIGHT FIXTURES, VENTS, ETC. TO BE FLUSH WITH FINISHED CEILING.
- RHEOSTATS SHOULD BE USED TO CONTROL Ltg. LEVELS. LOCATE RHEOSTATS CONVENIENT TO TABLE OR CONTROLS.
- RECOMMENDED LIGHT LEVEL OF 100 FOOT CANDLES AT TABLE TOP.

NOTE:
ALL ITEMS SHOWN OR NOTED SHALL BE REMOVED AS REQ'D FOR REMODELING



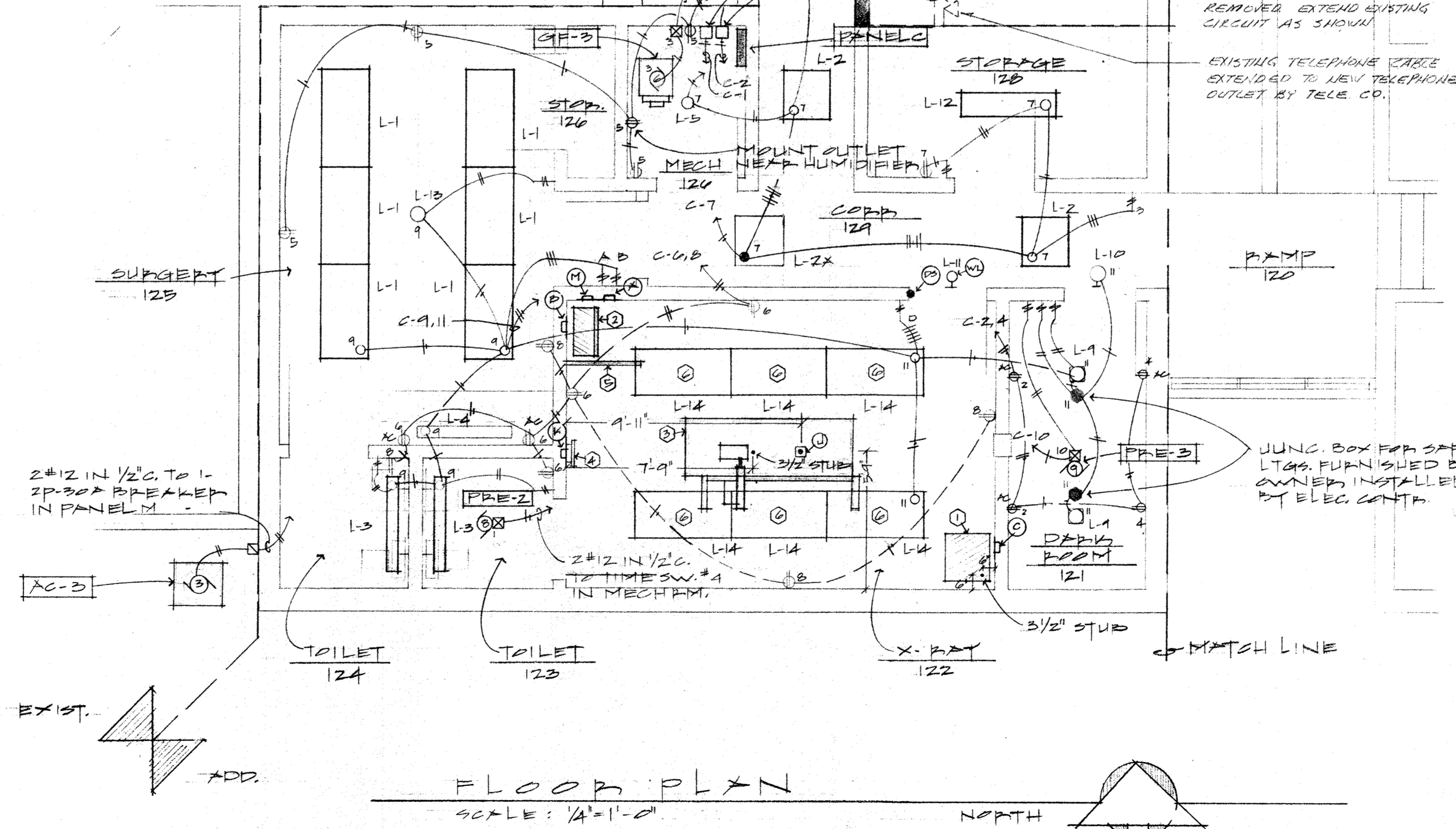
WIRING SCHEMATIC FOR RX UNIT
NOT TO SCALE

KEYED NOTES FOR SCHEMATIC

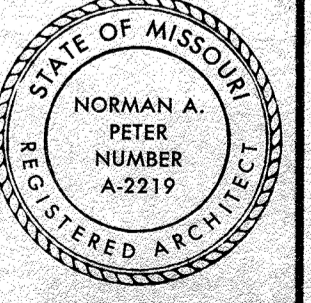
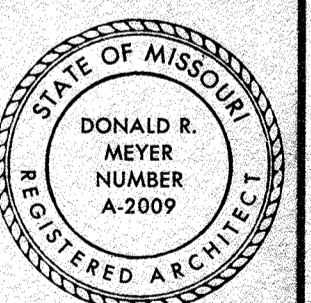
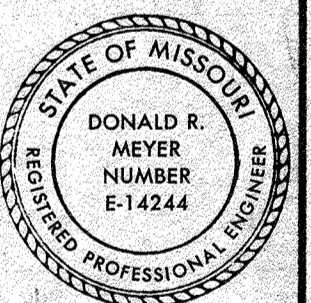
- (A) 100X 120/240V, DPST, ON, FRONT-OPERATED FUSED SAFETY SW. OR CIRCUIT BREAKER, G.E. CAT. # TFK 220 100 WL W/ T22BF, NEMA 1 FLUSH MOUNTED ENCLOSURE HAVING TN1-225 INSULATED GROUNDABLE NEUTRAL PROVIDING FOR FEED THROUGH OR SOLID CONNECTION OF GROUND AND NEUTRAL. 5'-6" FL TO CTR.
- (B) X-RAY CONTROL - 15" X 10" X 4" DEEP U.B., FLUSH TYPE. PROVIDE FOUR 2" CHXSE NIPPLES IN SPLIT COVER PLATE. 0'-6" FL TO CTR.
- (C) X-RAY TRANSFORMER - 8" X 8" X 4" DEEP U.B., FLUSH TYPE. PROVIDE ONE 1" AND ONE 1/4" I.D. CONNECTOR IN SPLIT COVER PLATE AND SUITABLE LENGTHS OF 1" AND 1/4" I.D. FLEXIBLE METAL CONDUIT W/ STRAIGHT CONNECTORS AT THE TRANSFORMER END 1'-0" FL TO CTR.
- (D) DEEP SW. HUBBELL CAT # 2023. LIMIT SWITCH W/ U.B. # 2035 (OR EQUIVALENT). SW. TO BE "OFF" WHEN DEEP IS OPEN. 0'-6" FL TO CTR. IN DOOR JAMB. VERIFY LOC.
- (E) X-RAY TABLE - 8" X 8" X 4" DEEP WATERPROOF FLOOR BOX. PROVIDE ONE 2" STANDPIPE 1 1/2" HIGH IN COVER PLATE. LOCATE AS SHOWN ON PLANS.
- (F) CHEST UNIT - 6" X 6" X 4" DEEP U.B., FLUSH TYPE. PROVIDE 2-1" CHXSE NIPPLES IN SPLIT COVER PLATE. 1'-0" FL TO CTR.
- (G) OROGRAPH CONTROL - 6" X 6" X 4" DEEP U.B., FLUSH TYPE. PROVIDE 2-1" CHXSE NIPPLES IN COVER PLATE. 4'-2" FL TO CTR.
- (W) WARNING LIGHT AT DOOR TO X-RAY ROOM TO INDICATE WHEN UNIT IS ENERGIZED. 0'-6" ABOVE DOOR JAMB

KEYED NOTES

- (1) DXD-350 TRANSFORMER 24" X 24" X 33
- (2) DXD-350 CONTROL 24" X 14" X 05
- (3) RX X-RAY UNIT 80" X 48" X 42
- (4) WALL MOUNTED CASSETTE HOLDER 16" X 4" X 5"
- (5) MODULAR PROTECTIVE WALL PANELS E 3000 7'-0" (213A) HIGH.
- (6) CABLE FURNISHED BY X-RAY EQUIP SUPPLIER. CABLE INSTALLED BY ELEC. CONTR.



FLOOR PLAN
SCALE: 1/4" = 1'-0"

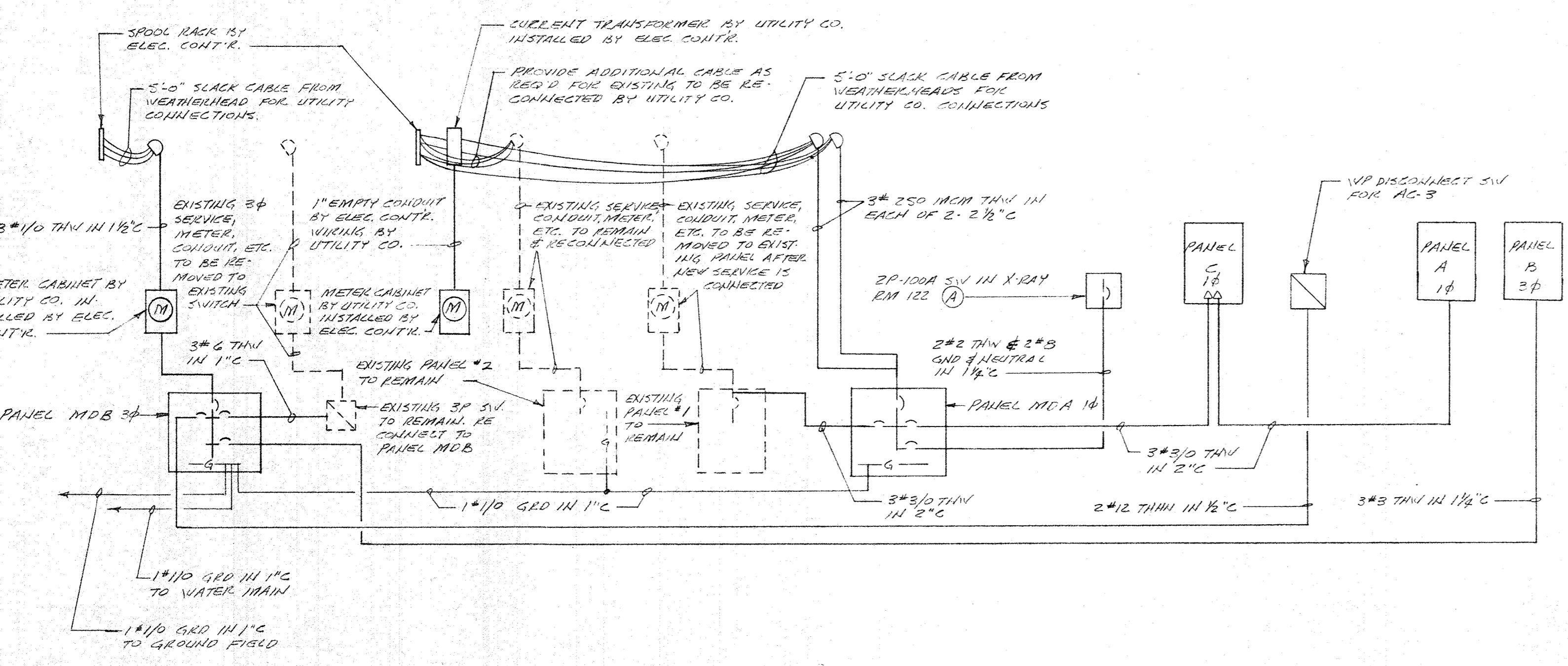
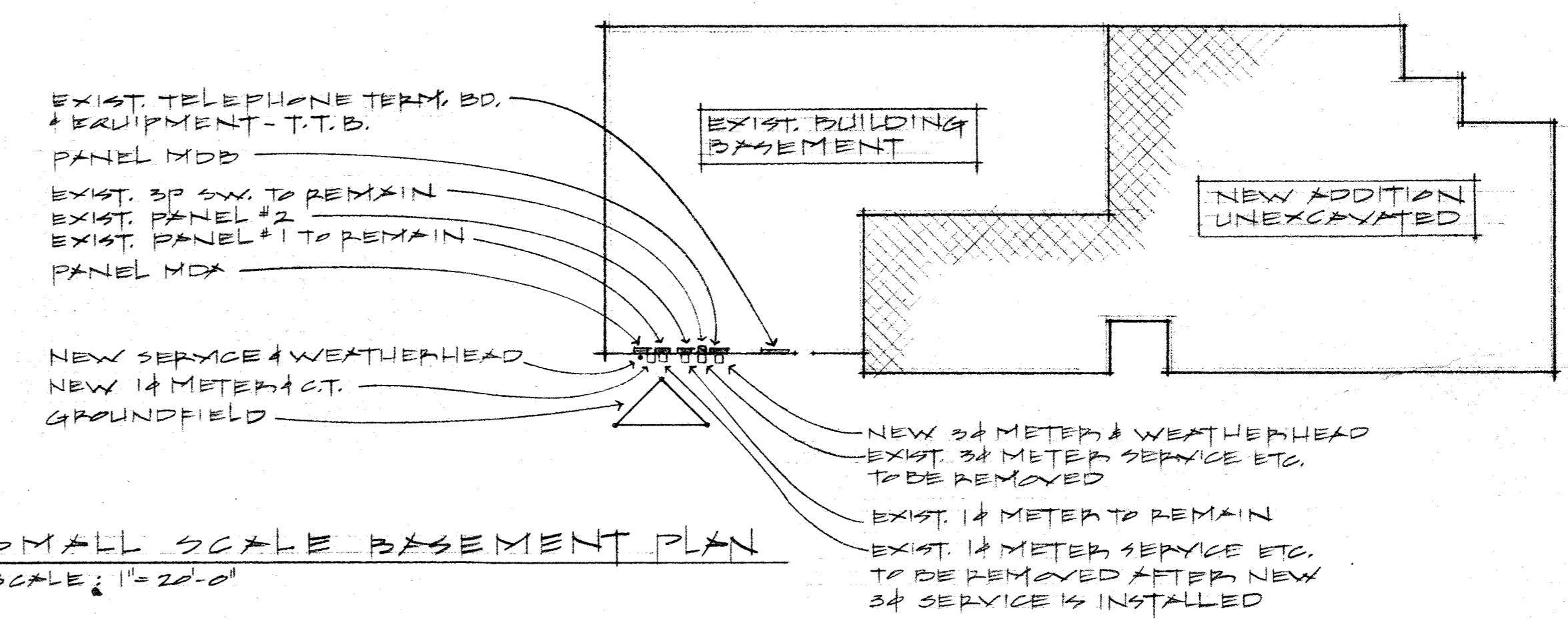


FLOOR PLAN		PH: 674-12
ADDITIONS & ALTERATIONS TO:		9-28-80
GREAT RIVER CLINIC		
2810 ST. MARTIN AVE. HANNIBAL, MO		
MEYER AND PETER ARCHITECTS - ENGINEERS		
718 WCU BUILDING - QUINCY, ILLINOIS 62301		
		2
		OF 3

FIXTURE NUMBER	MANUFACTURE AND CATALOG NUMBER	DESCRIPTION	LAMPS			FIXTURE MOUNTING		FIXTURE LOCATION		FINISH	REMARKS
			ROCK	QUANTITY	TYPE	SURFACE	PENDANT	CEILING	WALL		
			0302	0302	0302	0302	0302	0302			
L-1	GUTH # F512444G6XK1 MILLER # TD4192SAN	2 X A LXT-IN	•	4	F-40 WW WM	•	•	•	WHITE	HINGE & LATCH ENCLOSURE - PRISMATIC LENS, MITERED CORNERS, ENERGY SAVING BALLAST	
L-1A	GUTH # F512434G6XK1 MILLER # TD3192SAN	2 X A LXT-IN	•	2	F-40 WW WM	•	•	•	WHITE	HINGE & LATCH ENCLOSURE - PRISMATIC LENS, MITERED CORNERS, ENERGY SAVING BALLAST	
L-2	GUTH # F512224G6XK1 MILLER # TD3192SAN	2 X 2 LXT-IN	•	2	F-40 WW WM	•	•	•	WHITE	HINGE & LATCHED ENCLOSURE - PRISMATIC LENS, MITERED CORNERS, ENERGY SAVING BALLAST.	
L-2A	GUTH # F512224G6XK1EM MILLER # TD3192SANEM	2 X 2 LXT-IN	•	2	F-40 WW WM	•	•	•	WHITE	HINGE & LATCHED ENCLOSURE - PRISMATIC LENS, MITERED CORNERS, ENERGY SAVING BALLAST. BATTERY OPERATED BALLAST UNIT CONNECTED TO UNSWITCHED 120V CKT.	
L-3	LAM # FX-226 X A/A FORM # BXL-10X A/A	WALL MOUNT INDIRECT DIRECT	•	1	F-40 WW WM	•	•	•	BAKED WHITE ENAMEL	MOUNT 6" ABOVE MIRROR ENERGY SAVING BALLAST	
L-4	ALCO # 1145 MARKSTONE # KXB-A0	4' UNDER CABINET LIGHT	•	1	F-40 WW WM	•	•	•	WHITE	WHITE DIFFUSED, ENERGY SAVING BALLAST	
L-5	ARROW HART # T8B1 G. E. # 57B1-7	PAR LAMP HOLDER W/P.C.	•	1	100W A-1	•	•	•	STANDARD	LAMP HOLDER W/WIRE GUARD & 4' STRING & PULL CHAIN	
L-6	DYBRITE # EDO801CF LITHONIA # EPIPERC	EXIT LIGHT	•	1	LAMP FURN BY MFG.	•	•	•	BLACK	3/4" RED STROKE LETTERS X 1/4" HIGH READING EXIT - ON WHITE BACKGROUND - BATTERY POWERED LIGHT, TEST SW, AUTO SWITCHING	
L-7	BENJAMIN # 0LB-370-120	EXT. WALL BRACKET	•	1	75W HP E-28 1/2	•	•	•	BLACK	OPAL LENS, MOUNT HORIZONTALLY 6" ABOVE DOOR	
L-8	LIGHTOLIER # 7705-A2 PRECOLITE # 1212-960	INCAND DOWNLGT.	•	1	75W R-30	•	•	•	WHITE TRIM	SPECULAR BLACK ALUM. WHITE TRIM RINGS	
L-9	GUTH # 12200F-1SLB1 PRECOLITE # 015-1F-7	REC. INCAND.	•	1	150W R-23	•	•	•	WHITE TRIM	DAMP LOCATION LABEL	
L-10	MCPHILLBEN # 30LW DARK RM. IN USE - 2020	DARK RM. IN USE	•	2	6W T-5	•	•	•	WHITE	DARK ROOM IN USE LIGHT, MOUNT ON WALL 6" ABOVE DOOR	
L-11	MCPHILLBEN # 30LW X-RAY RM. IN USE 2020	X-RAY RM. IN USE	•	2	6W T-5	•	•	•	BLACK	X-RAY ROOM IN USE LIGHT, MOUNT ON WALL 6" ABOVE DOOR	
L-12	LITHONIA # C240 BENJAMIN # C-24-A	FLUOR. LTA. STRIP	•	2	F-40 WW WM	•	•	•	WHITE	ENERGY SAVING BALLAST	
L-13	CRISTLE # L-240/L-245	SURGEPT LTA.	•	1	100W F25/10	•	•	•	STANDARD	ELECTRICAL CONTRACTOR TO PROVIDE BACKING PLATE & SUPPORTS	
L-14	GUTH # F51-2444G6XK1 MILLER # TD4192SAN	2 X A LXT-IN DIMMING	•	4	F-40 WW WM	•	•	•	WHITE	PROVIDE DIMMING BALLAST SAME REMARKS AS FIXTURE L-1	

ITEM NO.	EQUIPMENT DESCRIPTION	MOTOR H.P.	ELEC. K.W.	P.H.S.	LINE VOLTAGE	INTEGRAL FUSED DISC. SW.	STARTER SIZE	STARTER TYPE	MANUAL STARTER W/PILOT	CONTROL LOCATION	SW & FUSE OR BREAKER POLE & AMPS	CONDUCTOR SIZE & NO.	CONDUIT SIZE	DISCONNECT MEANS ADJACENT TO MOTOR	MOTOR LOCATION	MOUNT IN DOOR OF STARTER			AUX. CONTACT REQ'D	NOTES, REFERENCES AND REMARKS
																P.B.	H.O.A.	P.L.		
1	XC-1	3/4			240					AT MOTOR	2P-60A	2#6	3/4"	2P-60A W/AFDS	EXT.					
2	XC-2	3/4			240					AT MOTOR	2P-60A	2#6	3/4"	2P-60A W/AFDS	EXT.					
3	XC-3	1/2			240					AT MOTOR	2P-20A	2#12	1/2"	2P-30A W/AFDS	EXT.					
4	GF-1	3/4			120					MECH 11A	1P-30A	2#12	1/2"		MECH 11A					
5	GF-2	3/4			120					MECH 11A	1P-30A	2#12	1/2"		MECH 11A					
6	GF-3	1/2			120					MECH 12G	1P-20A	2#12	1/2"		MECH 12G					
7	PPE-1	1/6			120					AT UNIT	1P-20A	2#12	1/2"	W/AFDS	ON ROOF					
8	PPE-2	1/25			120					AT UNIT	1P-20A	2#12	1/2"	W/AFDS	ON ROOF					
9	PPE-3	1/25			120					AT UNIT	1P-20A	2#12	1/2"	W/AFDS	ON ROOF					
10	C-1	1/12			120					AT MOTOR	1P-20A	2#12	1/2"	MMS	MECH 127					

ABBREVIATIONS
 W/AFDS WEATHERPROOF NON-FUSED DISCONNECT SWITCH
 W/AFMS WEATHERPROOF MANUAL MOTOR STARTER
 MMS MANUAL MOTOR STARTER
 ⚠ STARTER BY UNIT MANUFACTURER. FINAL CONNECTIONS BY ELEC. CONTR.
 ⚡ MANUAL MOTOR STARTER WITH OUT OVER LOAD ELEMENT



SCHEMATIC DIAGRAM OF SERVICE & DISTRIBUTION
 NO SCALE

PANEL	LOCATION	MOUNTING	MAIN BUS	MAIN BKR	TOTAL BKRS	ACTIVE BREAKERS				SPARE BREAKERS			REMARKS	
						IP-20A	2P-20A	3P-20A	OTHER	IP-20A	2P-20A	3P-20A		
A	MECH 11A	SURFACE	225A		30	23	0	0			7	0	0	
C	MECH 12G	SURFACE	225A		10	11	0	0			5	0	0	
MDX	EXIST. BASEMENT	SURFACE	600A	2P 500A	5	0	0	0	2-2P-100A		0	0	0	2-2P-100A
B	MECH 11A	SURFACE	100A		6	0	3	0	2-2P-60A, 1-2P-30A		0	0	2	
MDB	EXIST. BASEMENT	SURFACE	225A	3P-150A	5				1-3P-100A, 1-2P-60A, 1-3P-60A, 1-2P-30A		0	0	0	

MARK	LENGTH OF HEATER	WATTS	VOLTS	FEDERAL PACIFIC	SINGER	MARKEL
1	RECESSED CABINET UNIT	4000	240	FP240	59A-W	H343ATB
2	G	250	240	BR613X	975-U	H2306

ALL ELECTRIC BASEBOARD HEAT SHALL BE SUPPLIED W/ INTEGRAL THERMOSTATS.
 [] BUILT IN THERMOSTAT

SCHEDULES & DIAGRAMS
 ADDITIONS & ALTERATIONS TO:
 GREAT RIVER CLING
 2410 ST. MARTIN'S AVE. HANNIBAL, MO.
 MEYER AND PETER ARCHITECTS - ENGINEERS
 718 WCU BUILDING • QUINCY, ILLINOIS 62301

