

ARCHITECHNICS, INC.
510 MAINE STREET
QUINCY, ILLINOIS 62301

PROJECT NO. : 6423

ADDENDUM NO.: 1

ISSUED: 7/28/2023

Project: Phase II Renovations for:
The Knowledge Center - Chaddock
205 S. 24th Street
Quincy, IL 62301

This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated July 21, 2023. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

ITEM	DESCRIPTION
<u>Clarify</u>	
1.0 Site Plan	Asphalt paving is the base bid material for the new lot. Concrete paving is the alternate bid material (Alternate Bid A-4).
<u>Specifications</u>	
1.0 Section 00 4322 Unit Prices Form	Replace Replace with attached revised section.
2.0 Section 01 1000 Summary	Clarify 01 1000.1.6.E - Criminal background checks are required for all contractors.
3.0 Section 01 5000 Temp. Facilities	Revise 1. Contractors will be permitted to use Owner's restroom 2. Construction Fencing will not be required. 3. Contractors will be permitted to park in the existing gravel lot prior to work on the new lot beginning. Contractors will be permitted to park on the new lot once complete. While parkign lot work is underway, contractors will be allowed to park near The Knowledge Center south of Wesley Cottage. Contractors will be responsible for repairing damaged grass areas if utilized for parking.
4.0 Section 07 5300 EPDM Roofing	Replace Replace with attached revised section.
5.0 Section 32 1216 Asphalt Paving	Replace Replace with attached revised section.
6.0 Section 32 1733 Parking Bumpers	Add Add attached revised section.
7.0 Section 32 1723 Pavement Markings	Add Add attached revised section.

Drawings

1.0	Sheet C100 Existing Site Plan	Replace	Replace with attached revised sheet.
2.0	Sheet C101 New Site Plan	Replace	Replace with attached revised sheet.
3.0	Sheet C102 Site Details	Replace	Replace with attached revised sheet.
4.0	Sheet C103 Site Notes	Replace	Replace with attached revised sheet.
5.0	Sheet D101 Demo Plans	Replace	Replace with attached revised sheet.
6.0	Sheet A101 Floor Plans	Replace	Replace with attached revised sheet.
7.0	Sheet A104 Roof Plans	Replace	Replace with attached revised sheet.
8.0	Sheet MEPD101 Roof Plans	Replace	Replace with attached revised sheet.
9.0	Sheet MP101 Roof Plans	Replace	Replace with attached revised sheet.
10.0	Sheet E101 Roof Plans	Replace	Replace with attached revised sheet.

Attachments: Current Plan Holder's List; Prebid Meeting Attendee List; Spec Section 00 4322; 07 5300; 32 1216; 32 1713; 32 1723; C100; C101; C102; C103; D101; A101; A104; MEPD101, MEP101, E101

RECORD OF PLANS AND SPECIFICATIONS

NAME OF PROJECT Chaddock Knowledge Center Remodel

PROJECT NO. 6423 DATE BIDS DUE Tuesday, August 15, 2023 DEPOSIT \$50.00

TIME AND PLACE OF LETTING 2:00 PM Architechnics, Inc
510 Maine Street - Floor 10, Quincy, IL

*** Indicates Potential Bidding Contractor

CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED
Architect	#1				
Owner	#2				
Argabright Electric 3300 Lantern Lane Quincy, IL 62301 217-224-5557 Chad@argabrightelectric.com	D	7/21/2023			
Rees Construction PO Box 646 Quincy, IL 62306 217-222-0748 Fax 217-222-2613 info@reesconstructionco.com	D	7/21/2023			
*** John Petty & Sons Construction 105 N Madison St Pittsfield, IL 62363 217-248-6196 jonashpetty@gmail.com	D	7/21/2023			
Jansen Electric 4421 N. 60th Street Quincy, IL 62305 217-223-4016 Fax 217-223-8046 jansen@adams.net	D	7/21/2023			
*** NMC General Contracting 2303 North 1300th Place Camp Point, IL 62320 217-653-5167 nolancramsey@hotmail.com	D	7/21/2023			
*** Petty Construction Co joe.petty@pettyconstructionco.com	D	7/21/2023			
*** DP Construction 123 N. 4th Street, Suite 101 Quincy, IL, 62305 217-653-7357 derek@dpquincy.com	D	7/21/2023			
A.H. Kemner & Sons P.O.Box 16 Quincy, IL 62301 217 222-1559 Fax: 217 222-0131 david.kemnerpainting@gmail.com	D	7/24/2023			

RECORD OF PLANS AND SPECIFICATIONS

NAME OF PROJECT

Chaddock Knowledge Center Remodel

PROJECT NO. 6423

DEPOSIT: \$50.00

CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED
Tournear Roofing Co 2605 Spring Lake Rd Quincy, IL 62305 217-222-5879 Fax: 217-222-8346 tourroof@adams.net	D	7/24/2023			
Goerlich Roofing 4400 Harrison Quincy, IL 62301 217 224-3954 Fax: 217 228-8937 goeroof@comcast.net	D	7/24/2023			
Damon's Plumbing 625 N. Madison Street Pittsfield, IL 217-285-2856 damonsplumbingllc@gmail.com	D	7/24/2023			
Custom Glass & Glazing 420 S 7th St Quincy, IL 62301 217-223-4527 Fax: 217-221-0694 customgg@sbcglobal.net	D	7/24/2023			
*** Laverdiere Construction 4055 W. Jackson Macomb, IL 61455 309-837-1258 Fax 309-833-4993 mlynn@lavconinc.com	D	7/24/2023			
*** Waterkotte Construction 2630 Wisman Lane Quincy, IL 62305 217-222-5413 Fax 217-222-9155 Jterwelp@waterkotteconstinc.com	D	7/24/2023			
Moore's Floors 2516 W. Schneidman DR Quincy, IL 62305 217 223-9924 Fax: 217 223-9880 m.moore@mooresfloors.us	D	7/24/2023			
Brinkman Plumbing Co. 2510 Ellington Rd. Quincy, IL 62301 217 223-1962 Fax: 217 223-1972 janderson@brinkmanplumbing.com	D	7/25/2023			
Sparrow Plumbing 313 Delaware Quincy, IL 62301 217 223-9289 Fax: 217 223-9880 bird@adams.net	D	7/25/2023			
Adams County Glass 2408 W. Schneidman Dr Quincy, IL 62305 217-221-9840 Fax: 217-221-9841 acginc04@gmail.com	D	7/25/2023			

RECORD OF PLANS AND SPECIFICATIONS

NAME OF PROJECT

Chaddock Knowledge Center Remodel

PROJECT NO. **6423**

DEPOSIT: **\$50.00**

CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED
Designed Roofing Systems, Inc. 4850 Jeffory Street Springfield , IL 62703 217-585-1101 Charles.schmadeke-drs@comcast.net	D	7/25/2023			
Construct Connect 3825 Edwards Road, STE. 800 Cincinnati, OH 45209 800-364-2059 content@constructconnect.com	D	7/26/2023			
Dodge Data & Analytics 4300 Beltway Place, STE #180 Arlington, Texas 888-667-8198 elaine.wilson@construction.com	D	7/27/2023			
Henson Robinson Co P.O. Box 13137 Springfield, IL 62791-3137 217-544-8451 Fax: 217-544-0829 hrc@henson-robinson.com	D	7/27/2023			
Marold Electric Co. 129 S 10th Quincy, IL 62301 217-222-6267 Fax: 217-222-6289 maroldelectric@comcast.net	D	7/28/2023			
*** Fischer Builders, Inc. 814 Ohio Quincy, IL 62301 217-222-4322 Fax 217-222-2393 ryan@fischerbuilders.com	D	7/28/2023			

ARCHITECHNICS

ARCHITECTS • ENGINEERS • INTERIOR DESIGNERS



ATTENDANCE RECORD

Client: Chaddock

Project Name: Phase II Renovations at The Knowledge Center

Project Number: 6423

Meeting Description:

Date:

Time:

Attendants

Name & Title Representing Email Phone

JACQUES POINCARRE ARCHITECHNICS _____ 222-0554

+Sgal Miller " _____ "

Todd Aschmann AK Electrical AK@AKElect.com 217617-0123

Jesse Anderson Brinkman Plumbing janderson@brinkmanplumbing.com 223-1962

Bill Goerlich Goerlich Roofing goerlich@comcast.net _____

Robert Tourneau Tourneau Roofing tourroof@yahoo.com 217 222 5879

Billy Cramer Laverdiere bcramer@lascorine.com 309-332-2868

Jack Terweip Waterkotte _____ _____

JOE WATERKOTTE WATERKOTTE _____ 217-222-5413

Derek Price DP Construction derek@dpquincy.com 217-653-7857

Seth Campbell DP Construction seth@dpquincy.com 217-242-5700

Kevin Kill Moore's Floors K.Kill@moorefloors.us 217-223-9924

David Lunt AH Kemner & Sons david.kemnerpainting@gmail.com 222-1559

MATT OBRIEN Chaddock _____ _____

_____ _____ _____ _____

_____ _____ _____ _____

_____ _____ _____ _____

**SECTION 00 4322
UNIT PRICES FORM**

PARTICULARS

1.01 THE FOLLOWING IS THE LIST OF UNIT PRICES REFERENCED IN THE BID SUBMITTED BY:

1.02 (BIDDER) _____

1.03 TO (OWNER): CHADDOCK

1.04 DATED _____ AND WHICH IS AN INTEGRAL PART OF THE BID FORM.

**1.05 THE FOLLOWING ARE UNIT PRICES FOR SPECIFIC PORTIONS OF THE WORK AS LISTED,
AND ARE APPLICABLE TO AUTHORIZED VARIATIONS FROM THE CONTRACT
DOCUMENTS.**

UNIT PRICE LIST

2.01 ITEM DESCRIPTION UNIT QUANTITY UNIT VALUE

- A. Replace areas of unsuitable fill under parking lot with engineered fill
\$ _____/CY
- B. Replace carpet if damaged in conference rooms 100 or 101. Existing carpet is discontinued,
provide unit pricing based on carpet specified, cost listed per room
\$ _____/room

END OF SECTION

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**SECTION 075300
ELASTOMERIC MEMBRANE ROOFING**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Elastomeric roofing membrane application.
- B. Insulation, flat.
- C. Cover boards.
- D. Roofing cant strips and stack boots.

1.02 REFERENCE STANDARDS

- A. ASCE 7 - Minimum Design Loads and Associated Criteria for Buildings and Other Structures Most Recent Edition Cited by Referring Code or Reference Standard.
- B. ASTM C1289 - Standard Specification for Faced Rigid Cellular Polyisocyanurate Thermal Insulation Board 2023.
- C. ASTM D624 - Standard Test Method for Tear Strength of Conventional Vulcanized Rubber and Thermoplastic Elastomers 2000 (Reapproved 2020).
- D. ASTM D4637/D4637M - Standard Specification for EPDM Sheet Used in Single-Ply Roof Membrane 2015, with Editorial Revision (2022).
- E. ASTM D7877 - Standard Guide for Electronic Methods for Detecting and Locating Leaks in Waterproof Membranes 2014.
- F. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials 2023.
- G. FM (AG) - FM Approval Guide Current Edition.

1.03 SUBMITTALS

- A. See Section 013000 - Administrative Requirements for submittal procedures.
- B. Product Data: Provide data indicating membrane materials, flashing materials, insulation, surfacing, and fasteners.
- C. Shop Drawings: Indicate joint or termination detail conditions, conditions of interface with other materials, and paver layout.
- D. Manufacturer's Installation Instructions: Indicate membrane seaming precautions and perimeter conditions requiring special attention.
- E. Installer's qualification statement.
- F. Warranty: Submit manufacturer warranty and ensure forms have been completed in Owner's name and registered with manufacturer.

1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum three years of documented experience.
- B. Installer Qualifications: Company specializing in performing the work of this section with minimum three years documented experience.

1.05 DELIVERY, STORAGE, AND HANDLING

- A. See Section 017419 - Construction Waste Management and Disposal for packaging waste requirements.
- B. Deliver materials in manufacturer's original containers, dry and undamaged, with seals and labels intact.
- C. Store materials in weather protected environment, clear of ground and moisture.

- D. Ensure storage and staging of materials does not exceed static and dynamic load-bearing capacities of roof decking.
- E. Protect foam insulation from direct exposure to sunlight.

1.06 FIELD CONDITIONS

- A. Do not apply roofing membrane during unsuitable weather.
- B. Do not apply roofing membrane when ambient temperature is below 40 degrees F (5 degrees C) or above 95 degrees F (___ degrees C).
- C. Do not apply roofing membrane to damp or frozen deck surface or when precipitation is expected or occurring.
- D. Do not expose materials vulnerable to water or sun damage in quantities greater than can be weatherproofed the same day.
- E. Schedule applications so that no partially completed sections of roof are left exposed at end of workday.

1.07 WARRANTY

- A. See Section 017800 - Closeout Submittals for additional warranty requirements.
- B. Correct defective work within a two year period after Date of Substantial Completion.
- C. Provide 20 year manufacturer's material and labor warranty to cover failure to prevent penetration of water.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. EPDM Membrane Materials:
 - 1. Carlisle SynTec Systems; Sure-Tough EPDM: www.carlisle-syntec.com/#sle.
 - 2. Elevate; Low Slope Fire Retardant (LSFR) RubberGard EPDM Membrane: www.holcimelevate.com/#sle.
 - 3. Johns Manville; JM EPDM: www.jm.com/#sle.
 - 4. Mule-Hide Products Co, Inc; Standard EPDM: www.mulehide.com/#sle.
 - 5. Versico Roofing Systems; VersiGard EPDM: www.versico.com/#sle.
 - 6. Substitutions: See Section 016000 - Product Requirements.
- B. Insulation:
 - 1. Dow: www.dow.com/#sle.
 - 2. GAF: www.gaf.com/#sle.
 - 3. Owens Corning Corporation: www.owenscorning.com/#sle.
 - 4. Versico Roofing Systems; SecurShield Insulation: www.versico.com/#sle.
 - 5. Substitutions: See Section 016000 - Product Requirements.

2.02 ROOFING MEMBRANE AND ASSOCIATED MATERIALS

- A. Membrane: Ethylene-propylene-diene-monomer (EPDM); non-reinforced; complying with minimum properties of ASTM D4637/D4637M.
 - 1. Thickness: 60 mil, 0.060 inch (1.5 mm), minimum.
 - 2. Sheet Width: 120 inches (3,048 mm), maximum; factory fabricate into widest possible sheets.
- B. Seaming Materials: As recommended by membrane manufacturer.
- C. Membrane Fasteners: As recommended by and approved by membrane manufacturer.
- D. Flexible Flashing Material: Same material as membrane.

2.03 COVER BOARDS

- A. Cover Boards: Faced and with high compressive strength polyisocyanurate (ISO) insulation complying with ASTM C1289.
 - 1. Classifications:

- a. Type II - Faced with either cellulosic facers or glass fiber mat facers on both major surfaces of the core foam.
 - 1) Class 4 - Faced with coated or uncoated glass fiber mat facers on both major surfaces of the core foam. This product is used at a maximum thickness of 1/2 inch (12.7 mm).
 - (a) Compressive Strength: Grade 1, 80 psi (Grade 1, 551 kPa), minimum.
- 2. Board Size: 48 by 96 inches (1220 by 2440 mm).
- 3. Board Thickness: 1/2 inch (12.7 mm).
- 4. Thermal Resistance at 1/2 inch (12.7 mm) Thick, R-value (RSI-value): 2.0 (0.35).

2.04 INSULATION

- A. Polyisocyanurate (ISO) Board Insulation: Rigid cellular foam, complying with ASTM C1289.
 - 1. Classifications:
 - a. Type I: Faced with aluminum foil on both major surfaces of the core foam.
 - 1) Class 2 - Glass fiber reinforced or non-reinforced core foam.
 - 2) Compressive Strength: 16 psi (110 kPa), minimum.
 - 3) Thermal Resistance, R-value (RSI-value): At 1-1/2 inch (38.1 mm) thick; 9.0 (1.59) at 75 degrees F (24 degrees C).
 - 2. Board Size: 48 by 96 inches (1220 by 2440 mm).
 - 3. Board Thickness: 2.0 inch (50 mm).
 - 4. Board Edges: Square.

2.05 ACCESSORIES

- A. Stack Boots: Prefabricated flexible boot and collar for pipe stacks through membrane; same material as membrane.
- B. Insulation Joint Tape: Glass fiber reinforced type as recommended by insulation manufacturer, compatible with roofing materials; 6 inches (152 mm) wide; self adhering.
- C. Insulation Fasteners: Appropriate for purpose intended.
 - 1. Length as required for thickness of insulation material and penetration of deck substrate, with metal washers.
- D. Membrane Adhesive: As recommended by membrane manufacturer.
- E. Thinners and Cleaners: As recommended by adhesive manufacturer, compatible with membrane.
- F. Sealants: As recommended by membrane manufacturer.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that surfaces and site conditions are ready to receive work.
- B. Verify deck is supported and secure.
- C. Verify deck is clean and smooth, flat, free of depressions, waves, or projections, properly sloped and suitable for installation of roof system.
- D. Verify deck surfaces are dry and free of snow or ice.
- E. Verify that roof openings, curbs, and penetrations through roof are solidly set, and cant strips are in place.

3.02 INSTALLATION - INSULATION, UNDER MEMBRANE

- A. Attachment of Insulation: Mechanically fasten insulation to deck in accordance with roofing manufacturer's instructions.
- B. Cover Boards: Mechanically fasten cover boards in accordance with roofing manufacturer's instructions and FM (AG) Factory Mutual requirements.
- C. Lay subsequent layers of insulation with joints staggered minimum 6 inches (152 mm) from joints of preceding layer.

- D. Lay boards with edges in moderate contact without forcing. Cut insulation to fit neatly to perimeter blocking and around penetrations through roof.
- E. Tape joints of insulation in accordance with roofing and insulation manufacturers' instructions.
- F. Do not apply more insulation than can be covered with membrane in same day.

3.03 INSTALLATION - MEMBRANE

- A. Roll out membrane, free from wrinkles or tears. Place sheet into place without stretching.
- B. Shingle joints on sloped substrate in direction of drainage.
- C. Overlap edges and ends and seal seams by contact adhesive, minimum 3 inches (76 mm). Seal permanently waterproof. Apply uniform bead of sealant to joint edge.
- D. Mechanical Attachment: Install membrane and mechanical attachment devices in accordance with manufacturer's instructions.
- E. At intersections with vertical surfaces:
 - 1. Extend membrane over cant strips and up a minimum of 4 inches (102 mm) onto vertical surfaces.
 - 2. Fully adhere flexible flashing over membrane and up to nailing strips.
- F. Around roof penetrations, seal flanges and flashings with flexible flashing.
- G. Coordinate installation of roof drains and sumps and related flashings.

3.04 CLEANING

- A. See Section 017000 - Execution and Closeout Requirements for additional requirements.
- B. Remove bituminous markings from finished surfaces.
- C. In areas where finished surfaces are soiled by work of this section, consult manufacturer of surfaces for cleaning advice and comply with their documented instructions.
- D. Repair or replace defaced or damaged finishes caused by work of this section.

3.05 PROTECTION

- A. Protect installed roofing and flashings from construction operations.
- B. Where traffic must continue over finished roof membrane, protect surfaces using durable materials.

END OF SECTION

**SECTION 321216
ASPHALT PAVING**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Aggregate base course.
- B. Double course bituminous concrete paving.
- C. Surface sealer.

1.02 RELATED REQUIREMENTS

- A. Section 312200 - Grading: Preparation of site for paving and base.
- B. Section 321123 - Aggregate Base Courses: Aggregate base course.
- C. Section 321723 - Pavement Markings.

1.03 REFERENCE STANDARDS

- A. AI MS-2 - Asphalt Mix Design Methods 2015.
- B. AI MS-19 - Basic Asphalt Emulsion Manual 2008.

1.04 QUALITY ASSURANCE

- A. Perform Work in accordance with State of Illinois Highways standard.
- B. Mixing Plant: Complying with State of Illinois Highways standard.
- C. Obtain materials from same source throughout.

PART 2 PRODUCTS

2.01 MATERIALS

- A. Aggregate for Base Course: In accordance with State of Illinois Highways standards.
- B. Aggregate for Binder Course: In accordance with State of Illinois Highways standards.
- C. Aggregate for Wearing Course: In accordance with State of Illinois Highways standards.
- D. Fine Aggregate: In accordance with State of Illinois Highways standards.

2.02 ASPHALT PAVING MIXES AND MIX DESIGN

- A. Asphalt Base Course: State of Illinois Highways standards.
- B. Asphalt Binder Course: State of Illinois Highways standards.
- C. Asphalt Wearing Course: State of Illinois Highways standards.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that compacted subgrade is dry and ready to support paving and imposed loads.
- B. Verify gradients and elevations of base are correct.

3.02 AGGREGATE BASE COURSE

- A. Place and compact aggregate base course.

3.03 PREPARATION - PRIMER

- A. Apply primer in accordance with manufacturer's instructions.
- B. Apply primer on aggregate base or subbase at uniform rate of 1/3 gal/sq yd.

3.04 PLACING ASPHALT PAVEMENT - DOUBLE COURSE

- A. Place asphalt binder course within 24 hours of applying primer or tack coat.
- B. Place asphalt wearing course within 24 hours of placing and compacting binder course.

- C. Compact pavement by rolling to specified density. Do not displace or extrude pavement from position. Hand compact in areas inaccessible to rolling equipment.
- D. Perform rolling with consecutive passes to achieve even and smooth finish, without roller marks.

3.05 SEAL COAT

- A. Apply seal coat to asphalt surface course and asphalt curbs in accordance with AI MS-19.

3.06 TOLERANCES

- A. Flatness: Maximum variation of 1/4 inch measured with 10 foot straight edge.
- B. Variation from True Elevation: Within 1/2 inch.

3.07 FIELD QUALITY CONTROL

- A. See Section 014000 - Quality Requirements, for general requirements for quality control.
- B. Provide field inspection and testing. Take samples and perform tests in accordance with AI MS-2.

3.08 PROTECTION

- A. Immediately after placement, protect pavement from mechanical injury for 7 days or until surface temperature is less than 140 degrees F.

3.09 SCHEDULE

- A. Pavement at Parking Areas: Refer to drawings.

END OF SECTION

SECTION 321713 PARKING BUMPERS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Precast concrete parking bumpers and anchorage.

1.02 RELATED REQUIREMENTS

- A. Section 321723 - Pavement Markings.

1.03 REFERENCE STANDARDS

- A. ASTM A615/A615M - Standard Specification for Deformed and Plain Carbon-Steel Bars for Concrete Reinforcement 2022.
- B. ASTM C150/C150M - Standard Specification for Portland Cement 2022.
- C. ASTM C260/C260M - Standard Specification for Air-Entraining Admixtures for Concrete 2010a (Reapproved 2016).
- D. ASTM C330/C330M - Standard Specification for Lightweight Aggregates for Structural Concrete 2017a.

PART 2 PRODUCTS

2.01 MATERIALS

- A. Parking Bumpers: Precast concrete, complying with the following:
 - 1. Nominal Size: 6 inches high, 6 inches wide, 6 feet long.
 - 2. Cement: ASTM C150/C150M, Portland Type I - Normal; white color.
 - 3. Concrete Materials: ASTM C330/C330M aggregate, water, and sand.
 - 4. Reinforcing Steel: ASTM A615/A615M, deformed steel bars; unfinished, strength and size commensurate with precast unit design.
 - 5. Air Entrainment Admixture: ASTM C260/C260M.
 - 6. Concrete Mix: Minimum 5,000 psi (34 MPa) compressive strength after 28 days, air entrained to 5 to 7 percent.
 - 7. Use rigid molds, constructed to maintain precast units uniform in shape, size and finish. Maintain consistent quality during manufacture.
 - 8. Embed reinforcing steel, and drill or sleeve for two dowels.
 - 9. Cure units to develop concrete quality, and to minimize appearance blemishes such as non-uniformity, staining, or surface cracking.
 - 10. Minor patching in plant is acceptable, providing appearance of units is not impaired.

PART 3 EXECUTION

3.01 INSTALLATION

- A. Install units without damage to shape or finish. Replace or repair damaged units.
- B. Install units in alignment with adjacent work.

END OF SECTION

**SECTION 321723
PAVEMENT MARKINGS**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Painted pavement markings - parking lot and basketball court.

1.02 RELATED REQUIREMENTS

- A. Section 321216 - Asphalt Paving.
- B. Section 321313 - Concrete Paving.
- C. Section 321713 - Parking Bumpers.

1.03 REFERENCE STANDARDS

- A. AASHTO MP 24 - Standard Specification for Waterborne White and Yellow Traffic Paints 2015 (Reapproved 2020).

1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than three years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of the type specified and with at least three years of documented experience and approved by manufacturer.

1.05 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation.

1.06 FIELD CONDITIONS

- A. Do not install products under environmental conditions outside manufacturer's absolute limits.

PART 2 PRODUCTS

2.01 PAINTED PAVEMENT MARKINGS

- A. Painted Pavement Markings: As indicated on drawings.
 - 1. Marking Paint: In accordance with AASHTO MP 24.
 - a. Parking Lots: Yellow.
 - b. Basketball Court: White
 - c. Symbols and Text: Yellow.
 - d. Wheelchair Symbols: Provide blue and white.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verification of Conditions: Verify that pavement is dry and ready for installation.
- B. Notify Architect of unsatisfactory conditions before proceeding.

3.02 PREPARATION

- A. Clean surfaces prior to installation.
 - 1. Remove dust, dirt, and other debris.
- B. Apply paint stencils by type and color at necessary intervals.

3.03 INSTALLATION

- A. General:
 - 1. Position pavement markings as indicated on drawings.
 - 2. Field location adjustments require approval of Architect.
- B. Painted Pavement Markings:
 - 1. Apply in accordance with manufacturer's instructions.
 - 2. Marking Paint: Apply uniformly, with sharp edges.

- a. Applications: One coat.
- b. Wet Film Thickness: 0.015 inch (0.4 mm), minimum.
- c. Stencils: Lay flat against pavement, align with striping, remove after application.

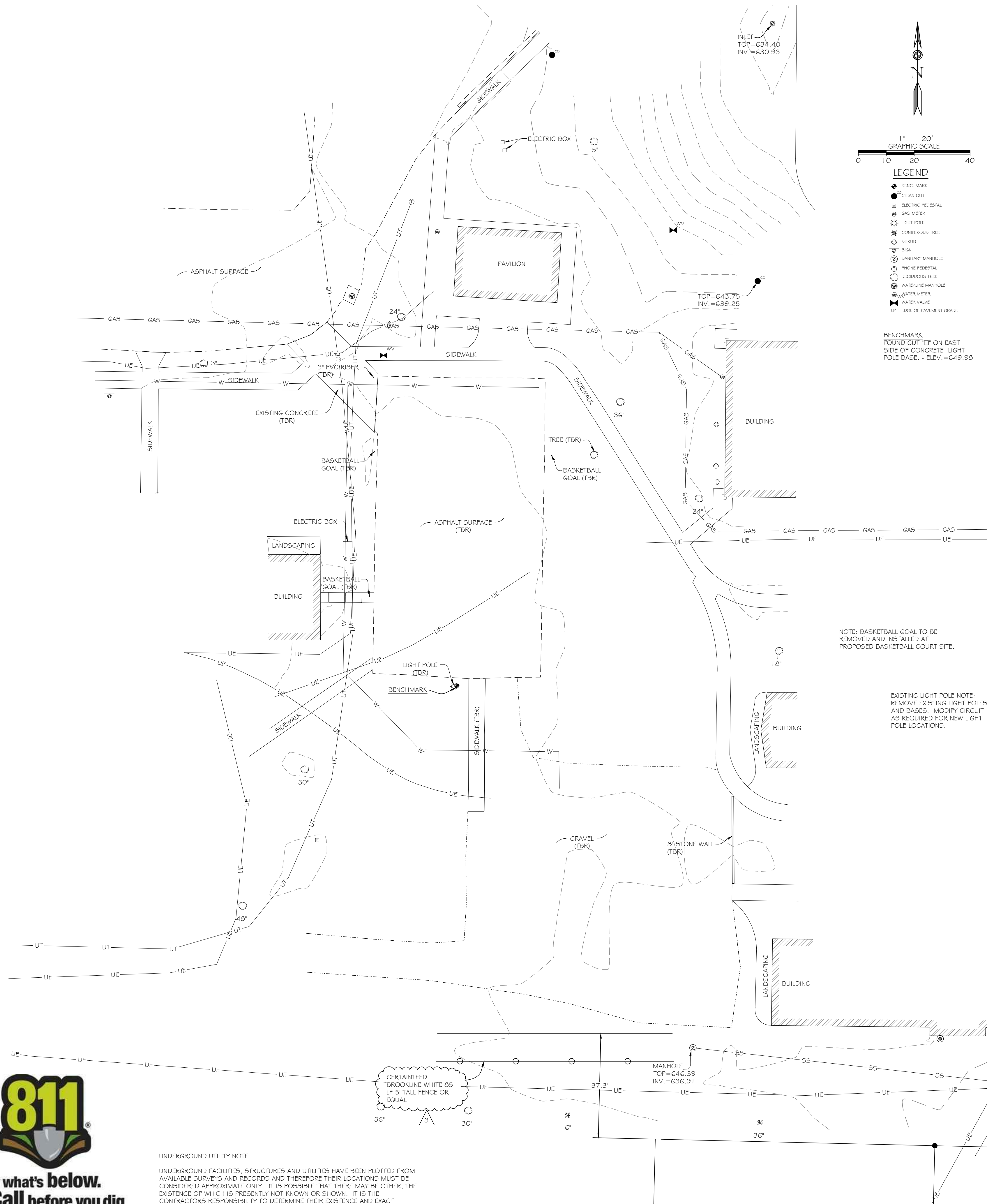
3.04 PROTECTION

- A. Prevent approaching traffic from crossing newly applied pavement markings.
- B. Replace damaged or removed markings at no additional cost to Owner.

END OF SECTION

PARKING LOT SITE
EXISTING CONDITIONS

BASKETBALL COURT SITE
EXISTING CONDITIONS



NOTE: BASKETBALL GOAL TO BE REMOVED AND INSTALLED AT PROPOSED BASKETBALL COURT SITE.

EXISTING LIGHT POLE NOTE:
REMOVE EXISTING LIGHT POLES AND BASES. MODIFY CIRCUIT AS REQUIRED FOR NEW LIGHT POLE LOCATIONS.

UNDERGROUND UTILITY NOTE
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.



**PRELIMINARY
NOT FOR CONSTRUCTION**

GENERAL SITE CONDITIONS
CHADDOCK BOYS SCHOOL
205 S. 24TH STREET, QUINCY,
ADAMS COUNTY, ILLINOIS

NO.	DATE	REVISION DESCRIPTION	BY

FOUR POINTS LAND SURVEYING & ENGINEERING, INC.
17 NORTHPOLE PLAZA
HANNIBAL, MO. 65601
ILLINOIS PROFESSIONAL DESIGN FIRM # 194-0002044

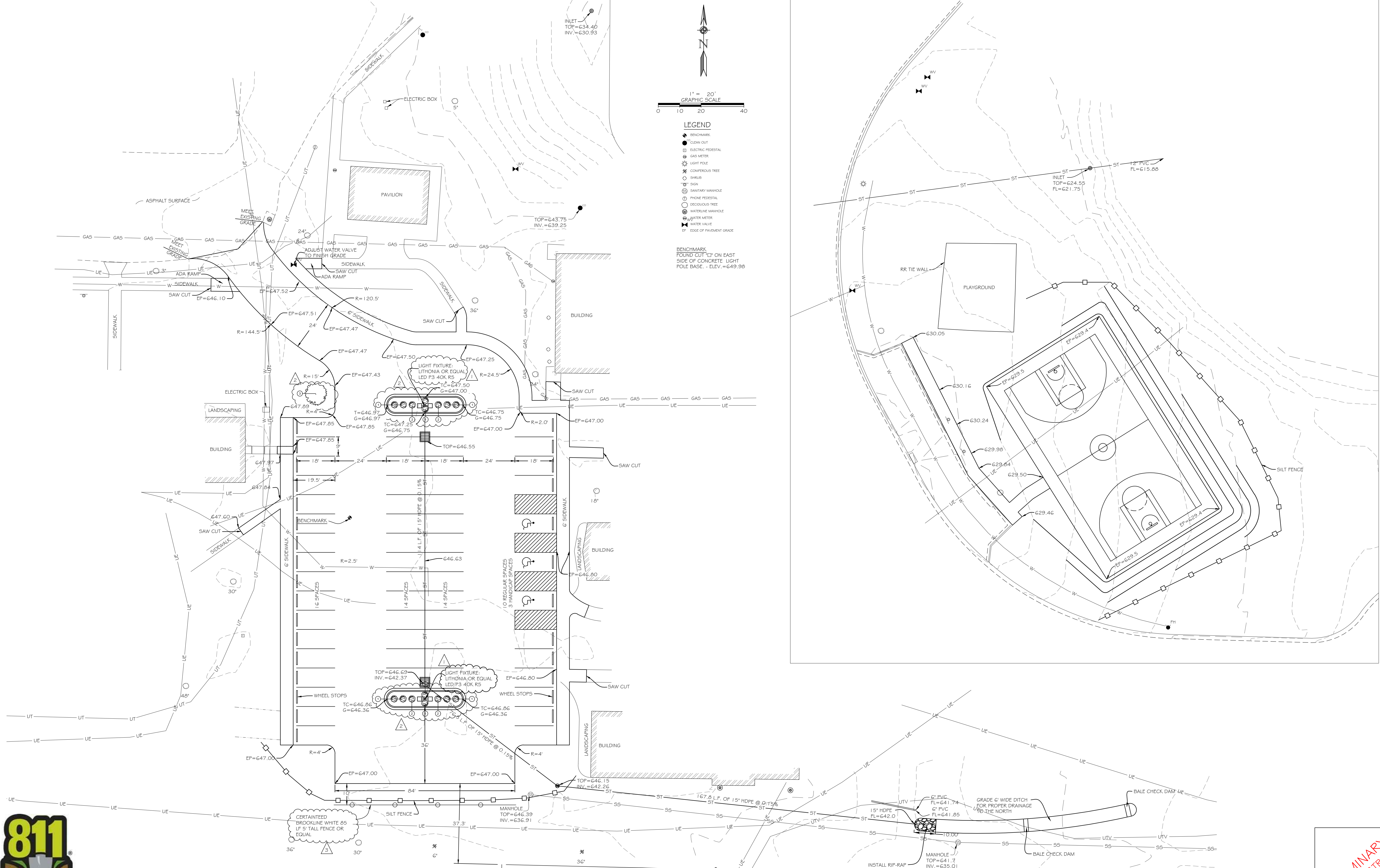
PREPARED FOR:
CHADDOCK

DRAWN	CHECKED
DATE	DATE
DRAWING NAME	DRAWING NAME
PROJECT NO.	PROJECT NO.
23-0062	23-0062
SHEET NO.	SHEET NO.
C100	C100

KYLE T. POCIASK
PE #062-0659972

PARKING LOT SITE
PROPOSED IMPROVEMENTS

BASKETBALL COURT SITE
PROPOSED IMPROVEMENTS



- LEGEND**
- BENCHMARK
 - CLEAN CUT
 - ELECTRIC PEDESTAL
 - GAS METER
 - LIGHT POLE
 - CONIFEROUS TREE
 - SHRUB
 - SIGN
 - SANITARY MANHOLE
 - PHONE PEDESTAL
 - DECIDUOUS TREE
 - WATERLINE MANHOLE
 - WATER METER
 - WATER VALVE
 - EP EDGE OF PAVEMENT GRADE
- BENCHMARK**
FOUND CUT 'O' ON EAST SIDE OF CONCRETE LIGHT POLE BASE. - ELEV. = 649.98



UNDERGROUND UTILITY NOTE
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.

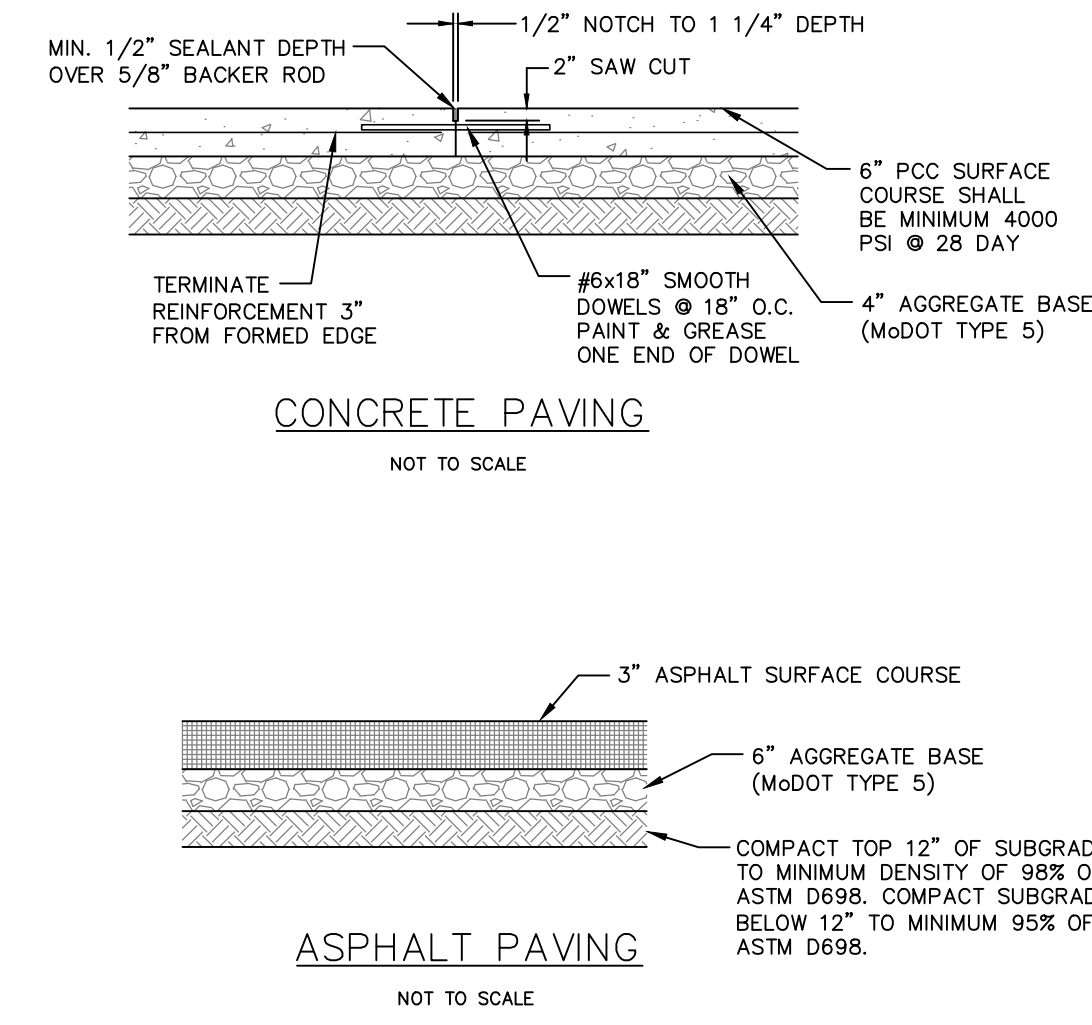
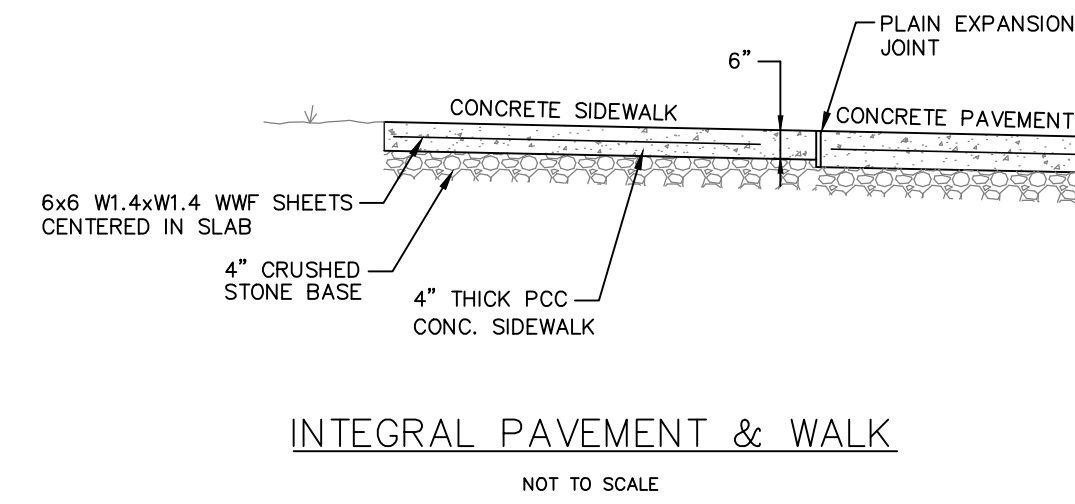
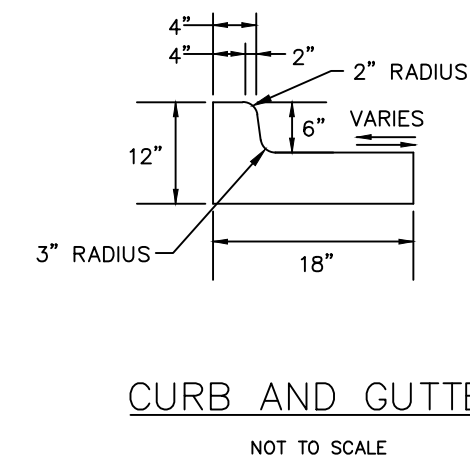
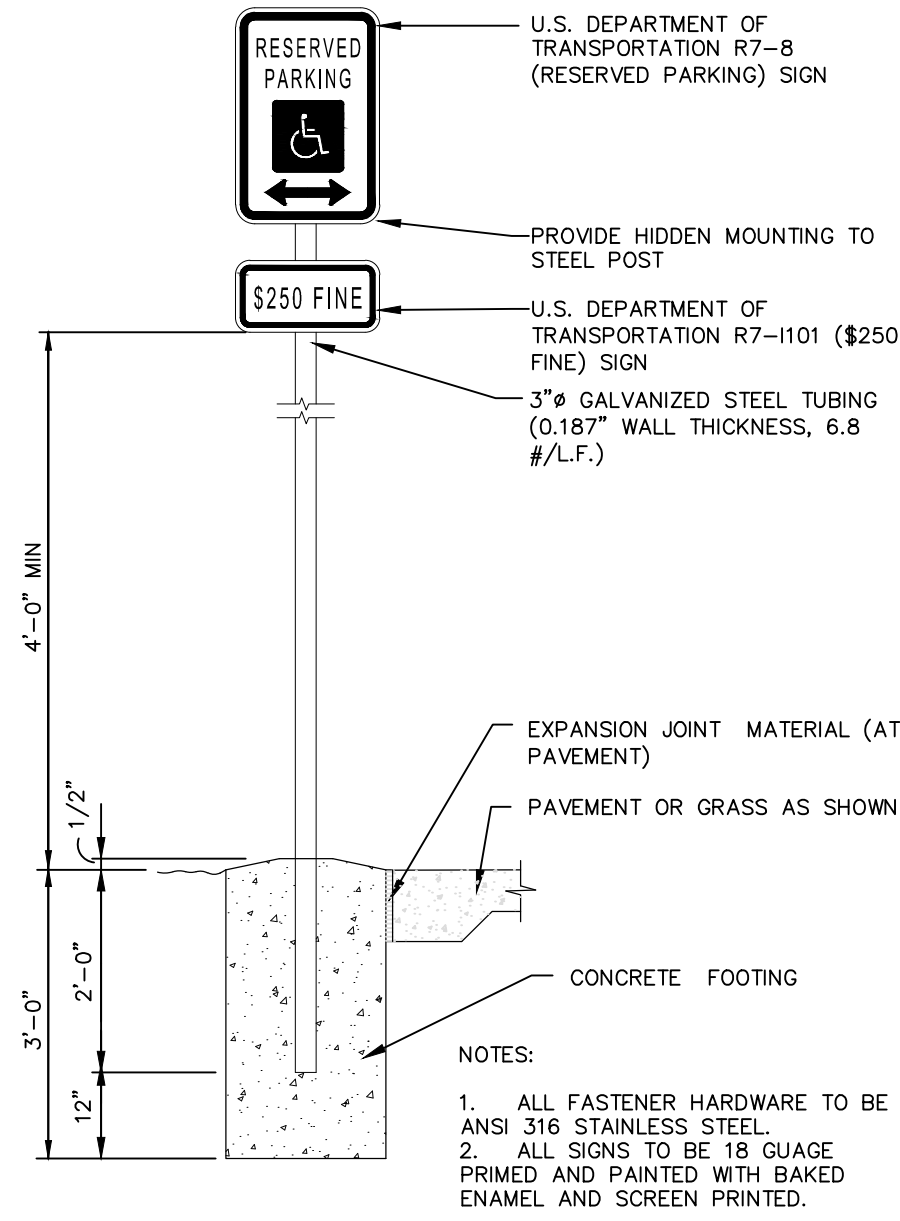
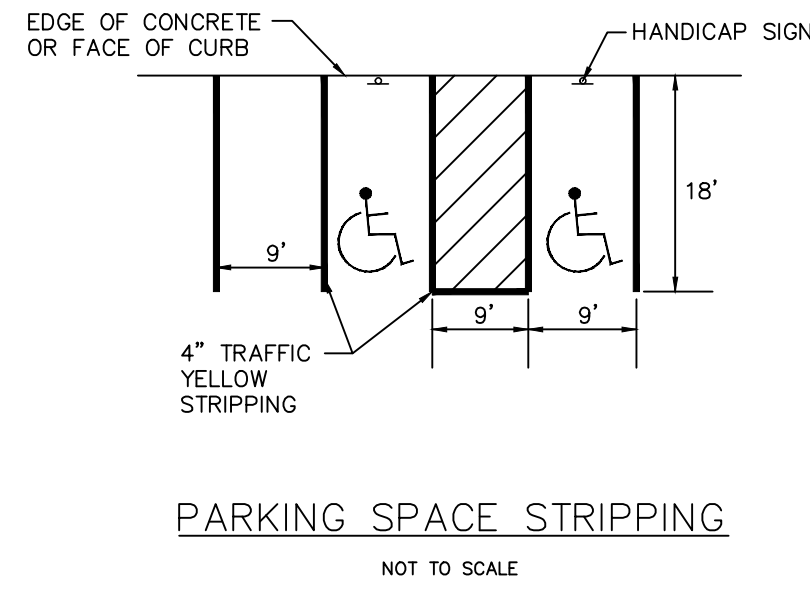
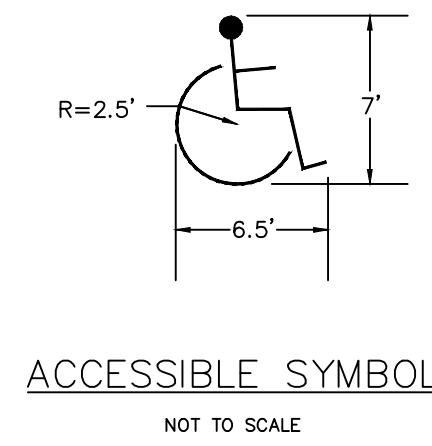
**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	DATE	REVISION DESCRIPTION	BY
1	7/29/23	ADDITION OF LIGHT POLES	ME
2	7/29/23	ADDITION OF LANDSCAPING	NE
3	7/29/23	ADDITION OF SITE PROOF FENCE	NE

FOUR POINTS LAND SURVEYING & ENGINEERING, INC.
17 NORTHPOPE PLAZA
HANNAL, MO. 65401
ILLINOIS PROFESSIONAL DESIGN FIRM # 04-000204

PREPARED FOR:
CHADDOCK

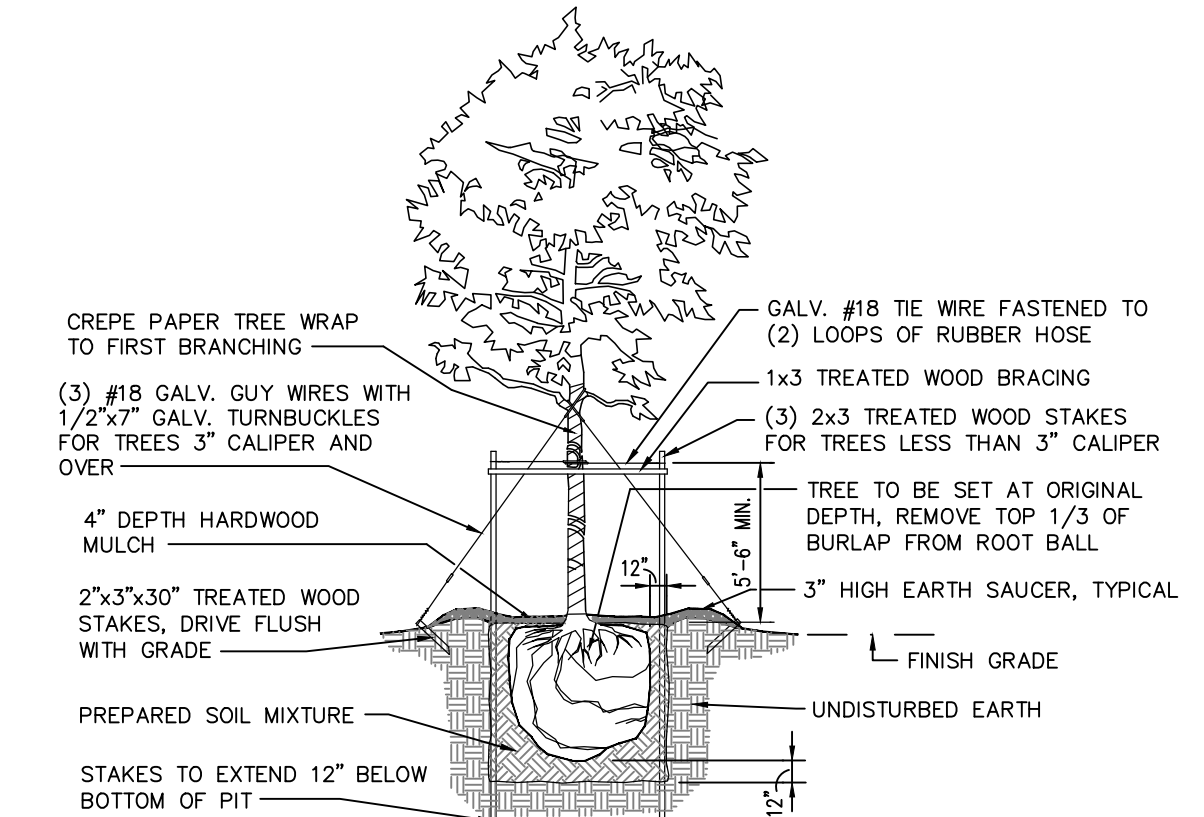
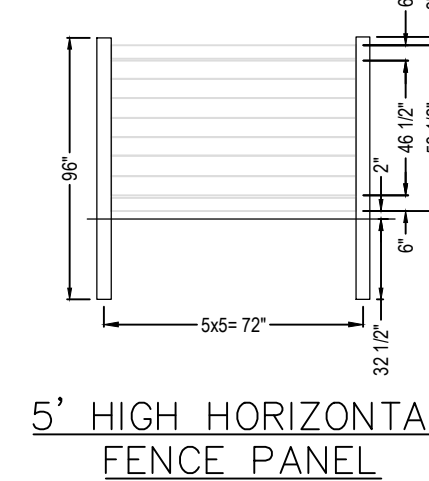
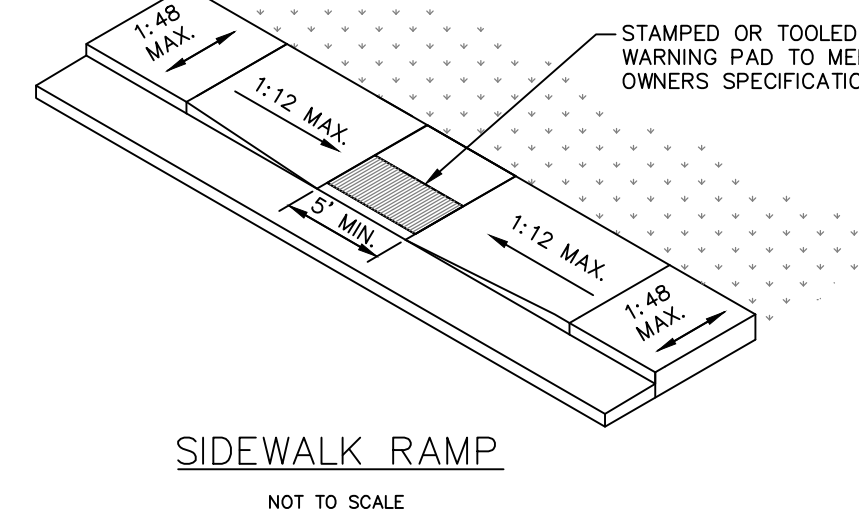
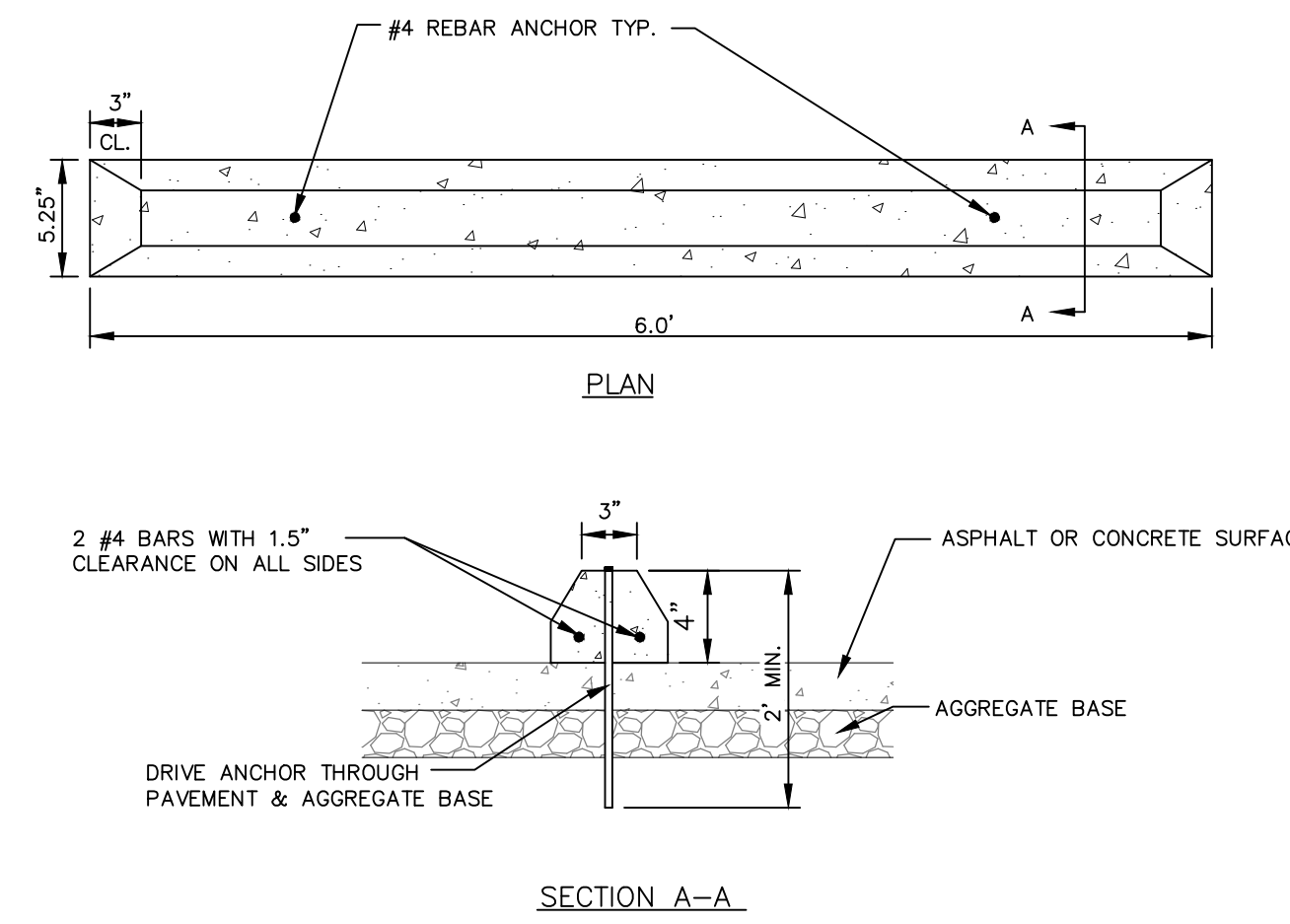
DRAWN	CHECKED
NDE	NDE
DRAWING NAME	
230062	
PROJECT NO.	
23-0062	
SHEET NO.	
C101	



PLANT SCHEDULE						
NO.	COMMON	BOTANICAL	PLANTING SIZE	MATURE HEIGHT	MATURE SPREAD	REMARKS
	GOLD FLAME SPIREA	SPIRÆA x BUMALDA 'GOLD FLAME'	2 GALLON	4' - 5'	2' - 3'	
	BURNING BUSH	EUONYMUS ALATUS 'BURNING BUSH'	3 GALLON	5' - 7'	3' - 5'	
	CRIMSON POINTE PLUM	IRUNUS CERASIFERA 'CRIMOZAM'	3" CALIPER	20' - 25'	5' - 6'	

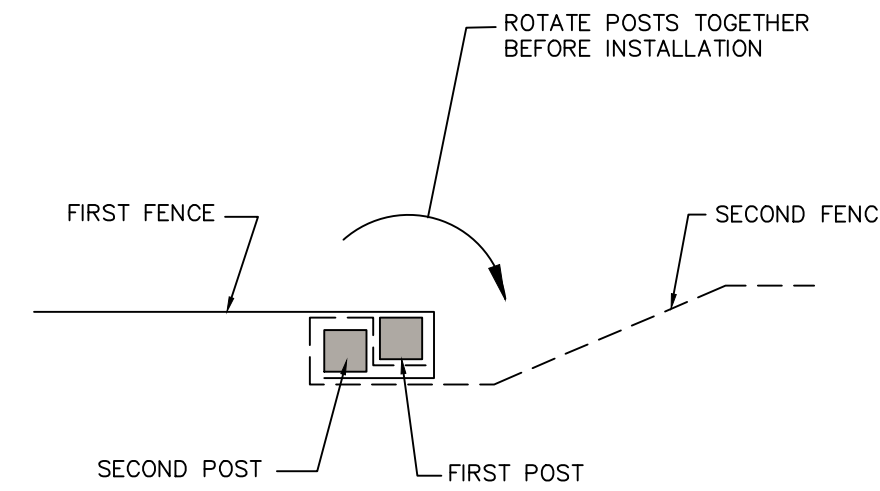
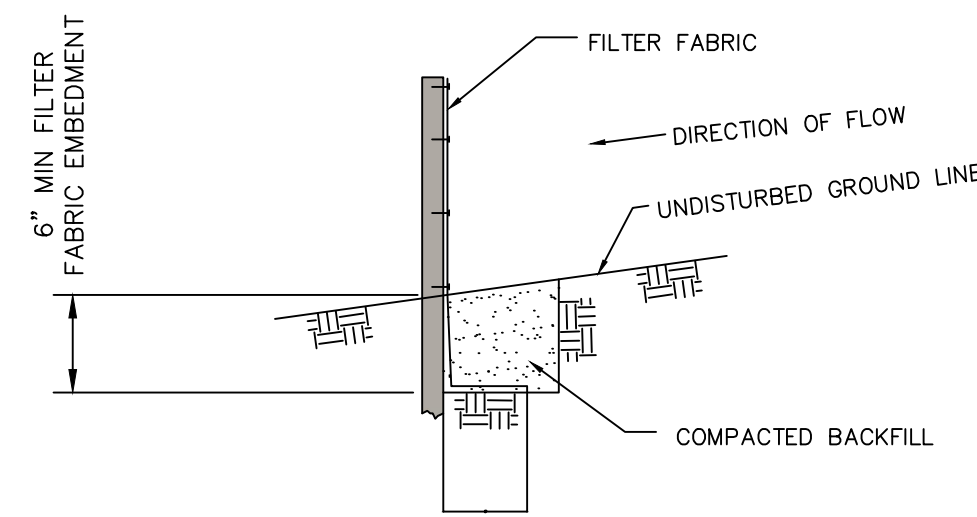
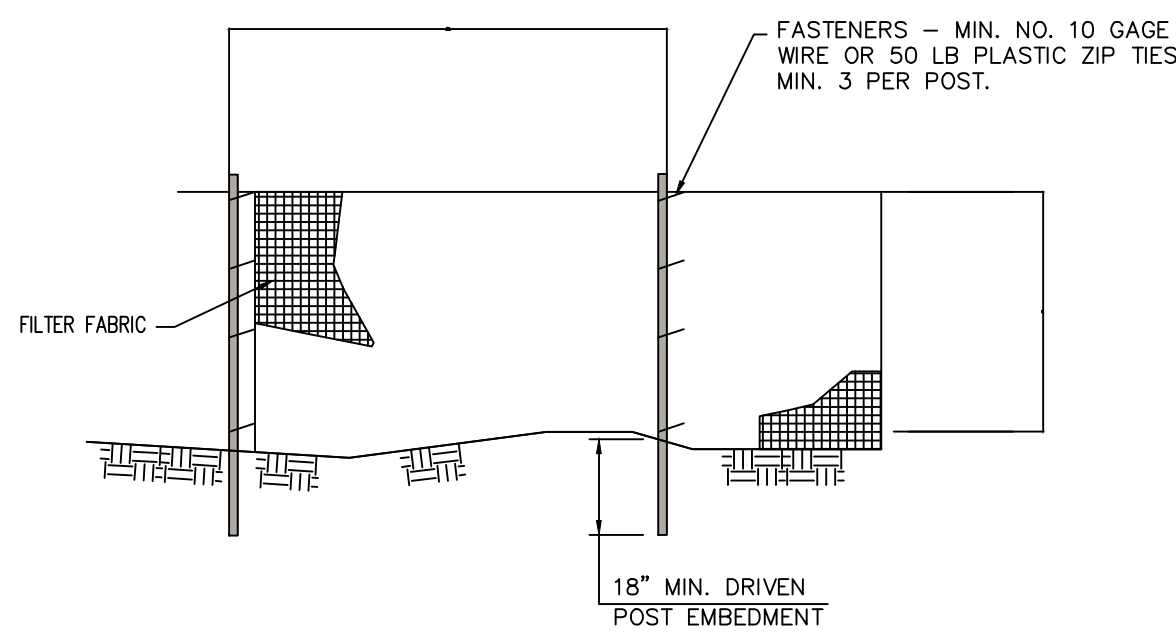
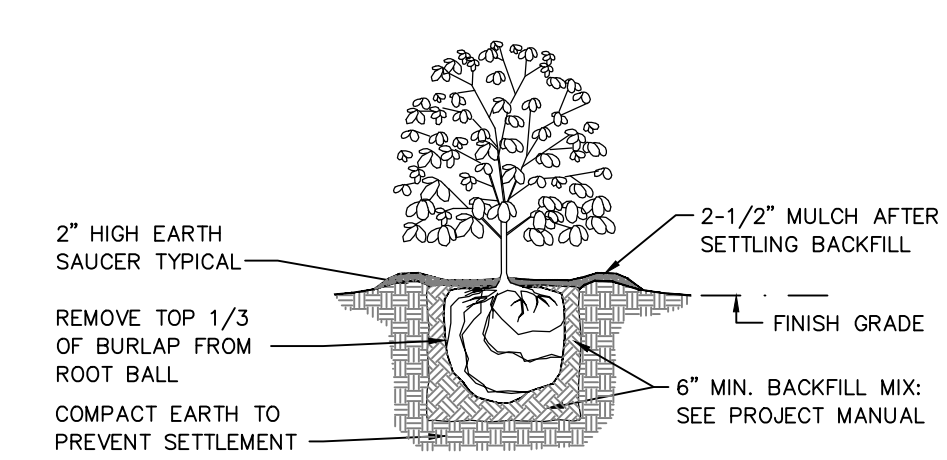
GENERAL LANDSCAPE NOTES:

- ALL DISTURBED AREAS ON THE SITE, OTHER LANDSCAPING AND UNLESS OTHERWISE NOTED SHALL BE SEEDED.
- TREES AND SHRUBS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED UNLESS OTHERWISE APPROVED.
- BRICK EDGING SHALL MATCH EXISTING. VERIFY AT PROJECT SITE BEFORE SUBMITTING A BID.
- THE TOPSOIL PROVIDED SHALL BE FREE FROM HARD CLODS, STIFF CLAY, SOD, STONES, ROOTS, STICKS AND OTHER DEBRIS OVER 2" IN SIZE. TOPSOIL SHALL BE FREE OF TOXIC MATERIALS AND SHALL HAVE A pH RANGE BETWEEN 5.5 AND 7.0.
- THE BACKFILL MIXTURE SHALL CONTAIN 1/3 PEAT MOSS AND 2/3 TOPSOIL. TOPSOIL COLLECTED FROM THE SITE MEETING THE REQUIREMENTS ABOVE MAY BE UTILIZED.
- SHREDDED CYPRESS MULCH SHALL BE INSTALLED TO A SETTLED DEPTH OF 4" AROUND TREES. TREES SHALL BE MULCHED A MINIMUM OF 10'-0" DIAMETER AROUND TREES PLANTED WITHIN GRASSED AREAS.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. PLANTS SHALL HAVE A NORMAL, WELL DEVELOPED BRANCH SYSTEM AND VIGOROUS ROOT SYSTEMS.
- POLYPROPYLENE WEED BARRIER SHALL BE INSTALLED IN LANDSCAPED BEDS DEFINED BY PLASTIC EDGING OR SIDEWALKS. THE LANDSCAPE FABRIC SHALL BE A POLYPROPYLENE FABRIC HAVING A MINIMUM WEIGHT OF 4 OUNCES PER SQUARE YARD.
- ALL LANDSCAPING SHALL BE GUARANTEED BY THE CONTRACTOR FOR MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE GROWING SEASON. AT THE END OF ONE GROWING SEASON, ANY DEAD OR UNACCEPTABLE MATERIAL SHALL BE REMOVED FROM SITE AND REPLACED.
- TOPSOIL SHALL BE INSTALLED TO A DEPTH OF 6" IN PLANTING AREAS.
- ALL DISTURBED AREAS NOT WITHIN PAVEMENT OR LANDSCAPED AREAS SHALL BE SEEDED.



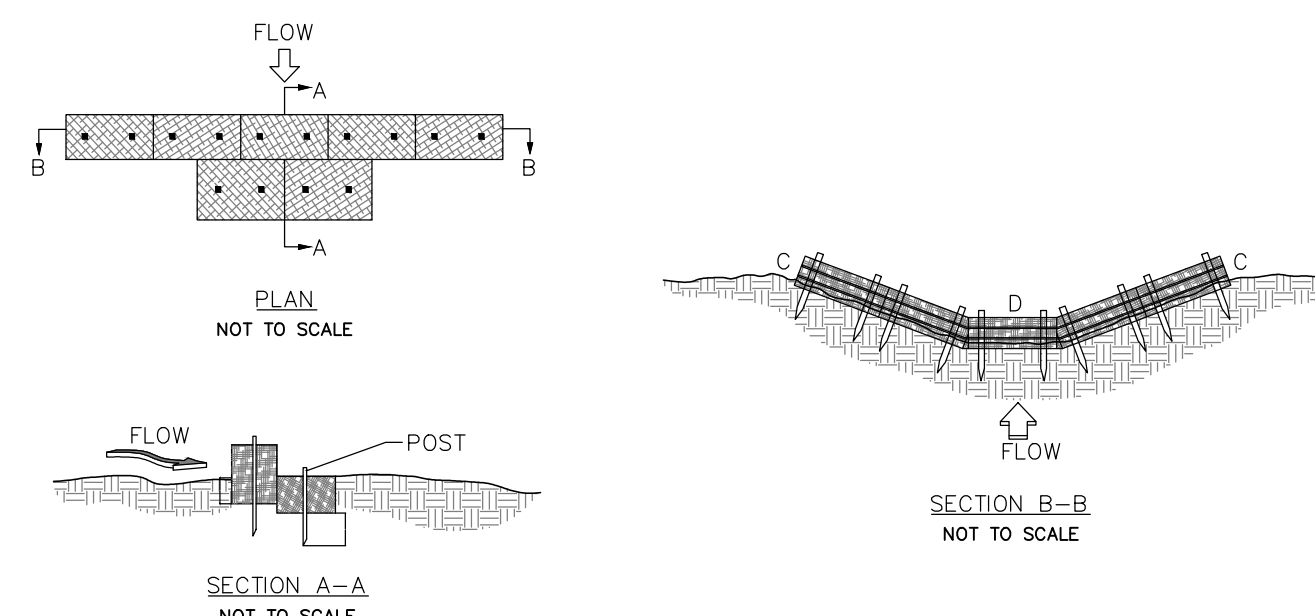
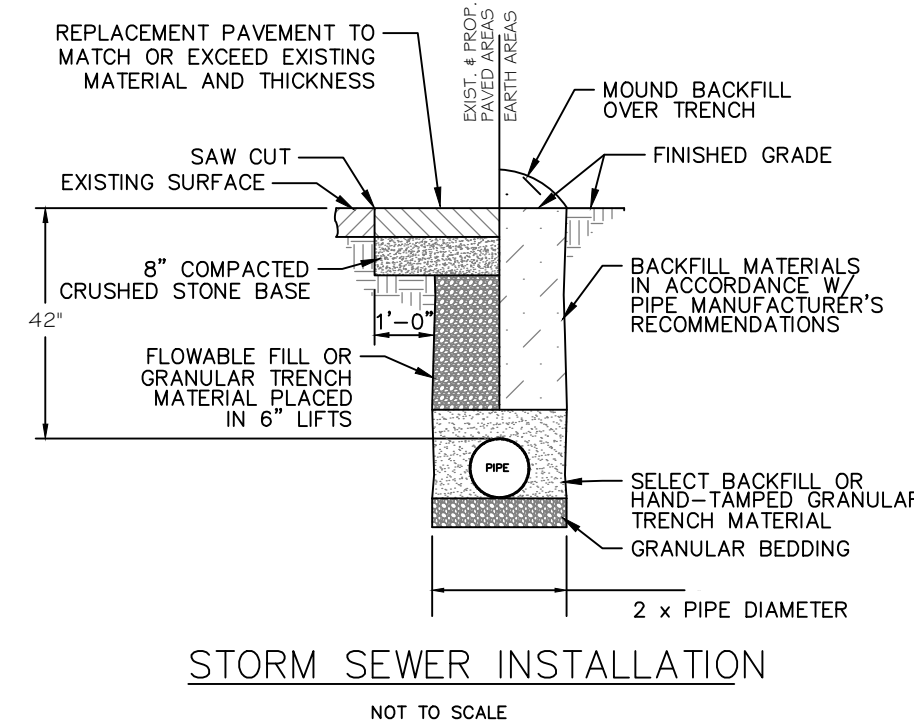
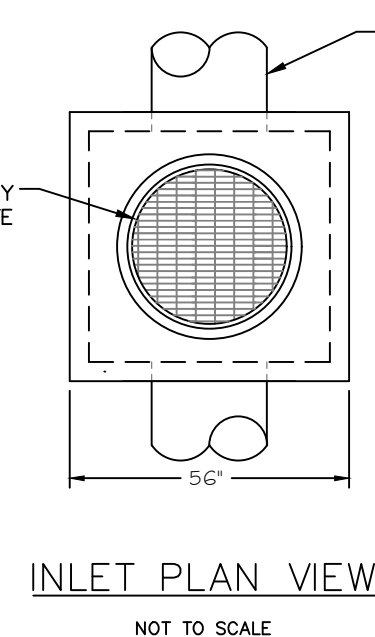
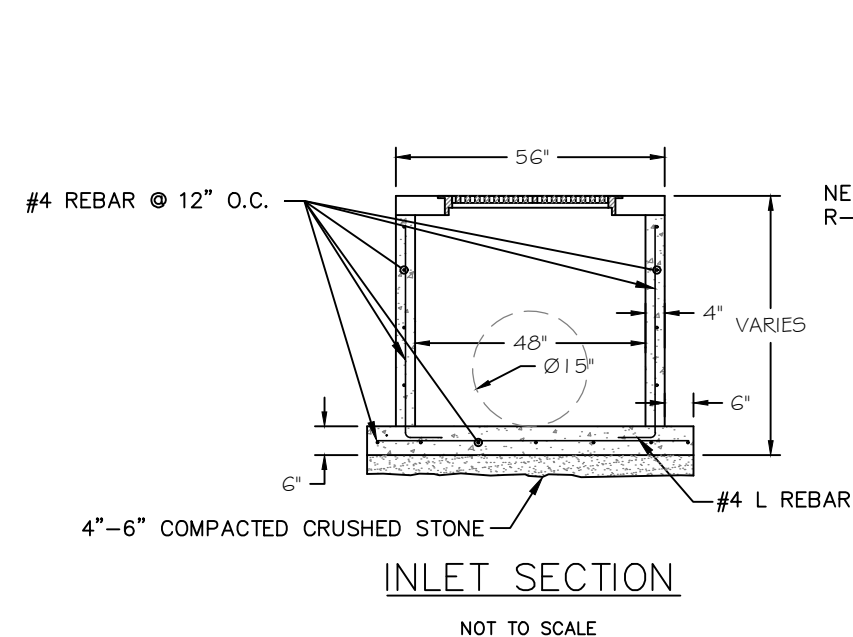
- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER

TYPICAL SHRUB PLANTING DETAIL



SILT FENCE FABRIC ANCHOR DETAIL

SILT FENCE SPLICE DETAIL-PLAN VIEW



**PRELIMINARY
NOT FOR CONSTRUCTION**

KYLE T. POCIASK
PE #062-0659972

STANDARD DETAILS
CHADDOCK BOYS SCHOOL
205 S. 24TH STREET, QUINCY,
ADAMS COUNTY, ILLINOIS

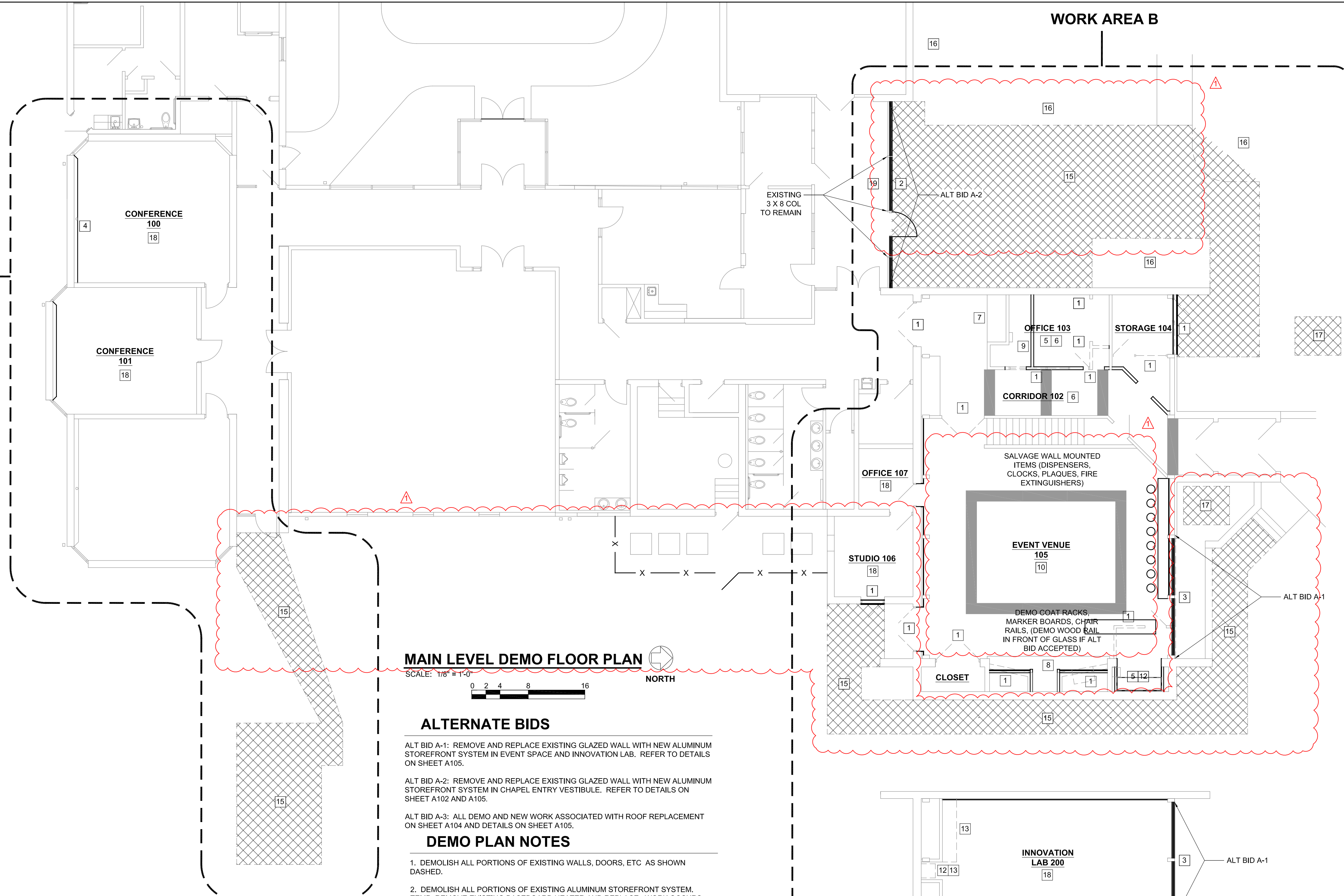
NO.	DATE	REVISION DESCRIPTION	BY

FOUR POINTS LAND SURVEYING & ENGINEERING, INC.
17 NORTHPORT PLAZA
HANNIBAL, MO. 65401
ILLINOIS PROFESSIONAL DESIGN FIRM # 184-0002044

PREPARED FOR:
CHADDOCK

DRAWN	CHECKED
DATE	DATE
230062	230062
PROJECT NO.	SHEET NO.
23-0062	C102

WORK AREA A



MAIN LEVEL DEMO FLOOR PLAN

SCALE: 1/8" = 1'-0"
0 2 4 8 16
NORTH

ALTERNATE BIDS

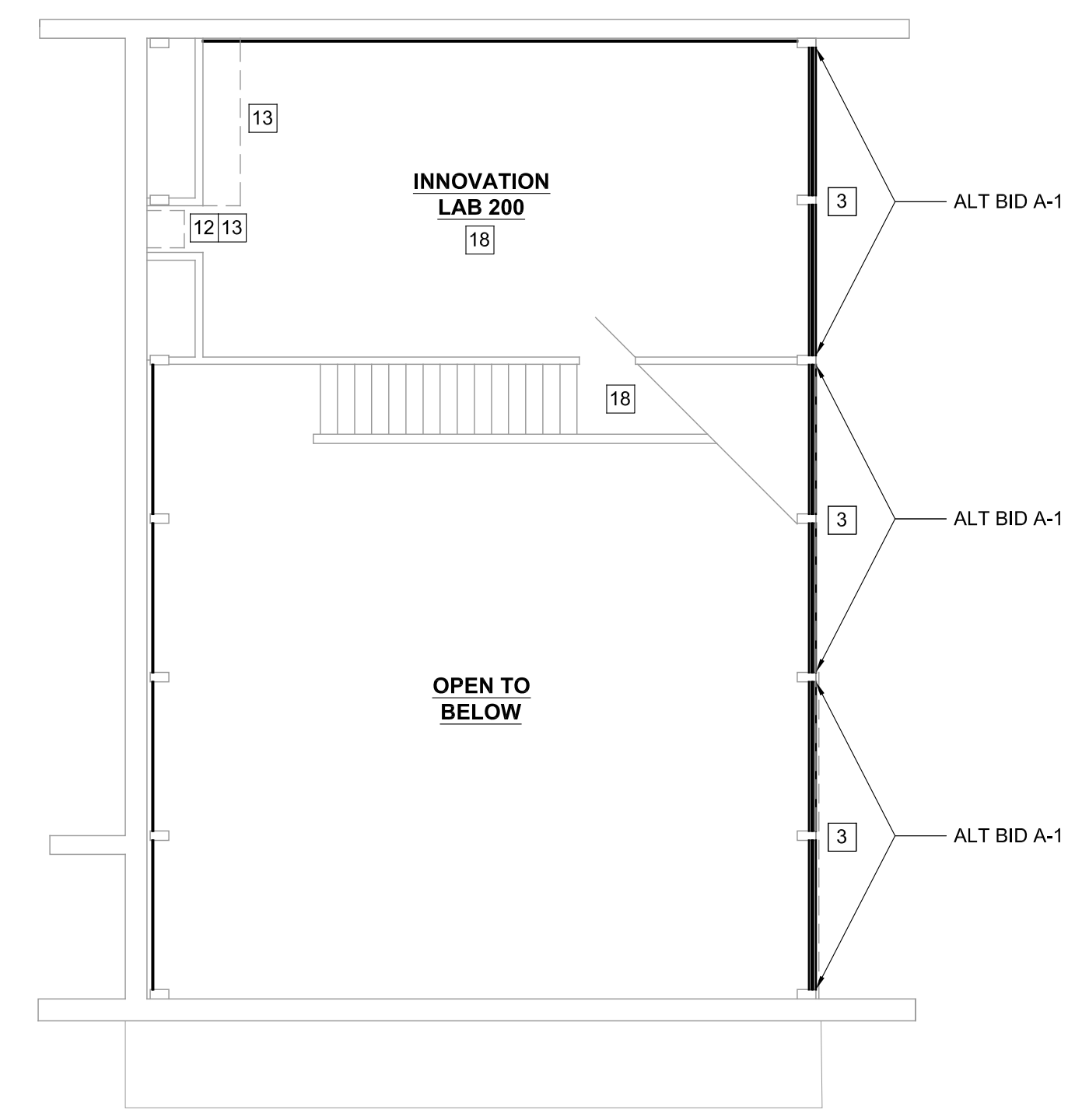
- ALT BID A-1: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN EVENT SPACE AND INNOVATION LAB. REFER TO DETAILS ON SHEET A105.
- ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A102 AND A105.
- ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

DEMO PLAN NOTES

1. DEMOLISH ALL PORTIONS OF EXISTING WALLS, DOORS, ETC. AS SHOWN DASHED.
2. DEMOLISH ALL PORTIONS OF EXISTING ALUMINUM STOREFRONT SYSTEM. TEMP. REMOVE EXISTING BASEBOARD HEATER AND REPLACE. WORK OCCURS ONLY IF ALTERNATE BID A-2 IS ACCEPTED.
3. DEMOLISH ALL PORTIONS OF EXISTING ALUMINUM WINDOW WALL SYSTEM. REMOVE EXISTING BASEBOARD HEATER. WORK OCCURS ONLY IF ALTERNATE BID A-1 IS ACCEPTED.
4. EXISTING ROOF DRAIN TO REMAIN.
5. DEMO ALL PORTIONS OF EXISTING FLOORING AND RCB.
6. DEMO ALL PORTIONS OF EXISTING CEILING AND CEILING HOSTED ELEMENTS.
7. DEMO WOOD VALANCE ABOVE DISPLAY CABINET.
8. DEMO SLOPED T & G WOOD CONSTRUCTION ABOVE FIRE PLACE.
9. EXT'G FACP TO REMAIN IN PLACE. PROTECT AS REQ'D.
10. REMOVE ALL PORTIONS OF EXT'G WOOD CHAIR RAIL.
11. NOT USED
12. REMOVE ALL PORTIONS OF EXT'G PLUMBING FIXTURES AND SUPPLY/DRAIN LINES.
13. DEMO ALL PORTIONS OF EXT'G CASEWORK. OWNER WILL DEMO CASEWORK IN ROOM 200
14. NOT USED
15. DEMO ALL PORTIONS OF EXT'G CONCRETE SLABS SHOWN HATCHED.
16. DEMO ALL PORTIONS OF EXISTING LANDSCAPING.
17. DEMO ALL PORTIONS OF EXISTING TRANSFORMER PADS NO LONGER IN USE AND EXISTING FEEDERS.
18. EXISTING FLOORING TO REMAIN. PROTECT AS REQ'D.
19. DEMO TOP OF FOUNDATION WALL (SEE 4/A105) AND CARPET IN CORRIDOR IF ALT BID A-2 IS ACCEPTED.

MEZZ LEVEL DEMO FLOOR PLAN

SCALE: 1/8" = 1'-0"
0 2 4 8 16
NORTH



CURRENT DATE: 07/21/2023



LICENSE EXPIRES: 11/30/24

NOT FOR CONSTRUCTION

ISSUE DATE: 07/21/2023

REVISIONS

1 ADD. #1 07/28/2023

PROJECT NUMBER: 6423

DEMO PLAN

DWG. NO.

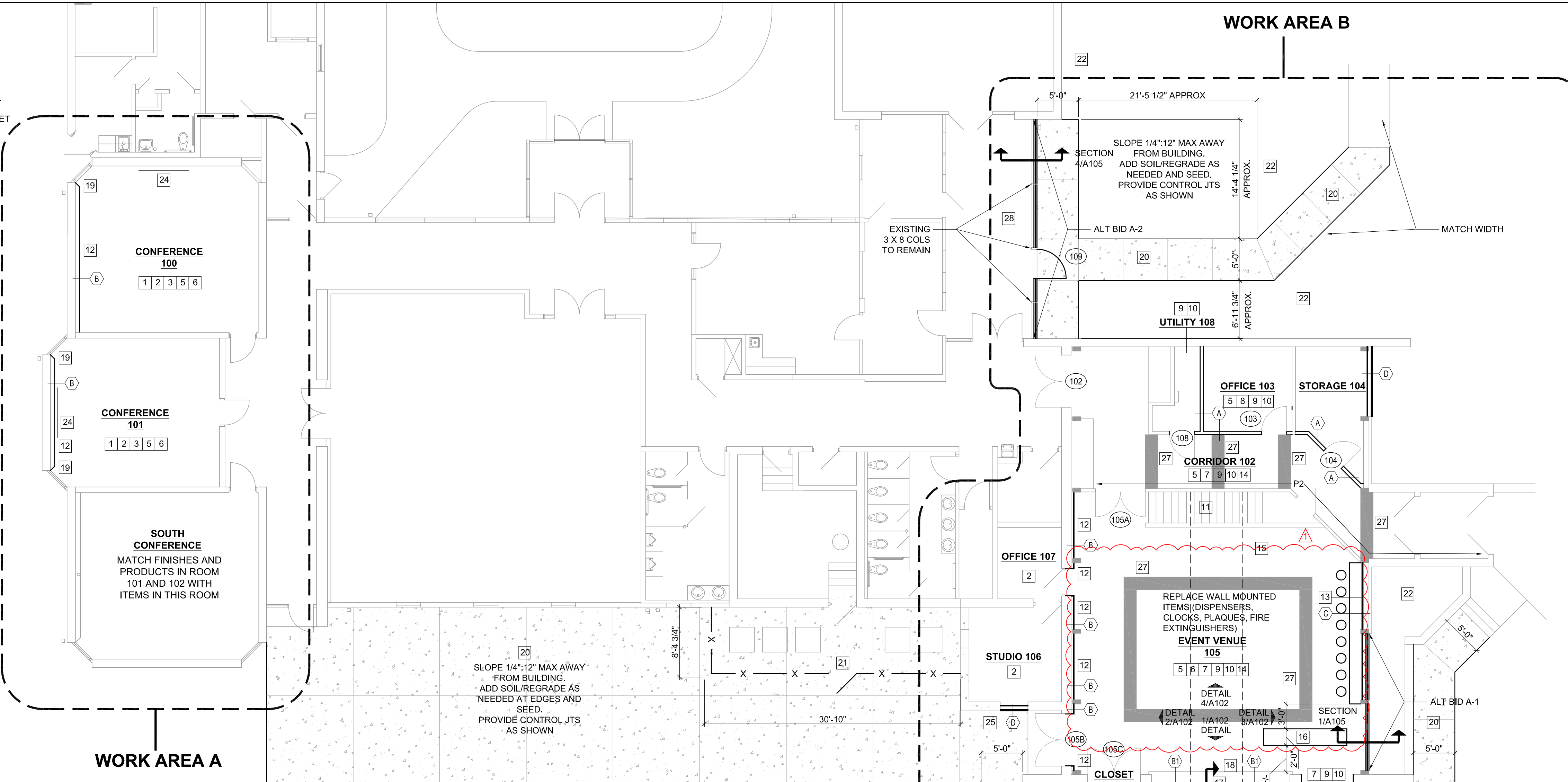
D101

ALTERNATE BIDS

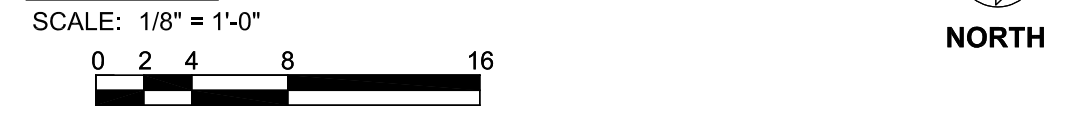
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- ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A105.
- ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

FLOOR PLAN NOTES

- APPLY SKIM LAYER OF EIFS TO ALL EXPOSED CMU WALLS EXCEPT WALLS INDICATED TO BE FURRED OUT. MATCH TEXTURE AND COLOR OF EXISTING EIFS SKIM COAT IN SOUTH CONFERENCE ROOM.
- EXISTING CARPET TO REMAIN. PROTECT WITH TEMPORARY COVERING DURING CONSTRUCTION ACTIVITIES. CLEAN CARPET AND REPAIR ANY DAMAGED TILES ONCE WORK IS COMPLETED. INSTALL NEW RCB U.N.O. EXTG RCB TO REMAIN IN ROOMS 106 AND 107.
- REMOVE WALL MOUNTED ELECTRICAL DISCONNECT AND HVAC EQUIPMENT. PATCH HOLES AND PREPARE FOR NEW WORK.
- NOT USED
- NEW SAT CEILING AND LIGHTING. REFER TO REFLECTED CEILING AND ELECTRICAL PLANS. MATCH MATERIALS AND PRODUCTS IN SOUTH CONFERENCE ROOM.
- NEW TECHNOLOGY (PROJECTORS, SPEAKERS, ETC). REFER TO ELECTRICAL PLANS. MATCH MATERIALS AND PRODUCTS IN SOUTH CONFERENCE ROOM.
- NEW LVT FLOORING AND RCB. REFER TO INTERIOR FINISH SCHEDULE.
- NEW CARPET AND RCB. REFER TO INTERIOR FINISH SCHEDULE.
- PAINT ALL WALLS. REFER TO INTERIOR FINISH SCHEDULE.
- PATCH WALLS AS REQ'D WHERE DEMO'D OCCURRED OR WHERE HOLES IN WALLS EXIST.
- NEW RUBBER STAIR TREADS AND RISERS. REFER TO INTERIOR FINISH SCHEDULE.
- NEW FURRED OUT WALL W/ 3 1/2" WOOD STUDS AND 1/2" GWB. PAINT FINISH.
- NEW FURRED OUT WALL W/ 1 1/2" HAT CHANNELS AND 1/2" GWB. PAINT FINISH.
- PAINT ALL EXPOSED PORTIONS OF WOOD COLUMNS AND BEAMS PT-3.
- NEW BAR HEIGHT TOP. SEE DTL'S SHEET A102.
- NEW SERVING COUNTER. SEE DTL'S SHEET A102.
- RENOVATED FIRE PLACE. SEE INTERIOR ELEVATIONS AND 1/A106.
- 2" CAST STONE ON HEARTH HORIZONTAL SURFACE AND QT-1 ON VERTICAL SURFACE.
- NEW WINDOW TREATMENTS. MATCH SOUTH CONFERENCE ROOM.
- NEW 4" THICK CONCRETE SIDEWALK AREA W/ 4" MIN BASE.
- NEW 5'-0" TALL VINYL FENCE WITH 3'-0" WIDE GATE.
- NEW LANDSCAPING. SEE ALLOWANCES IN SPEC.
- NEW 48" X 96" MAGNETIC GLASS MARKERBOARD EQ TO MODEL # T9F695469 FROM GLOBAL INDUSTRIES. LOCATION TBD.
- NEW FIXED FRAMED PROJECTION SCREEN EQ. TO 92997 77" DIAGONALLY (37.5" X 67") FROM DA-LITE.
- REMOVE PORTION OF FIBER CEMENT PANELS AS REQUIRED TO EXTEND OVER DOOR OPENING BEING INFILLED.
- EXISTING FLOORING TO REMAIN. INSTALL NEW RCB.
- LVT 2. SEE FINISH MATERIALS.
- NEW CPT-1 IN CORRIDOR IF ALT BID A-2 IS ACCEPTED.



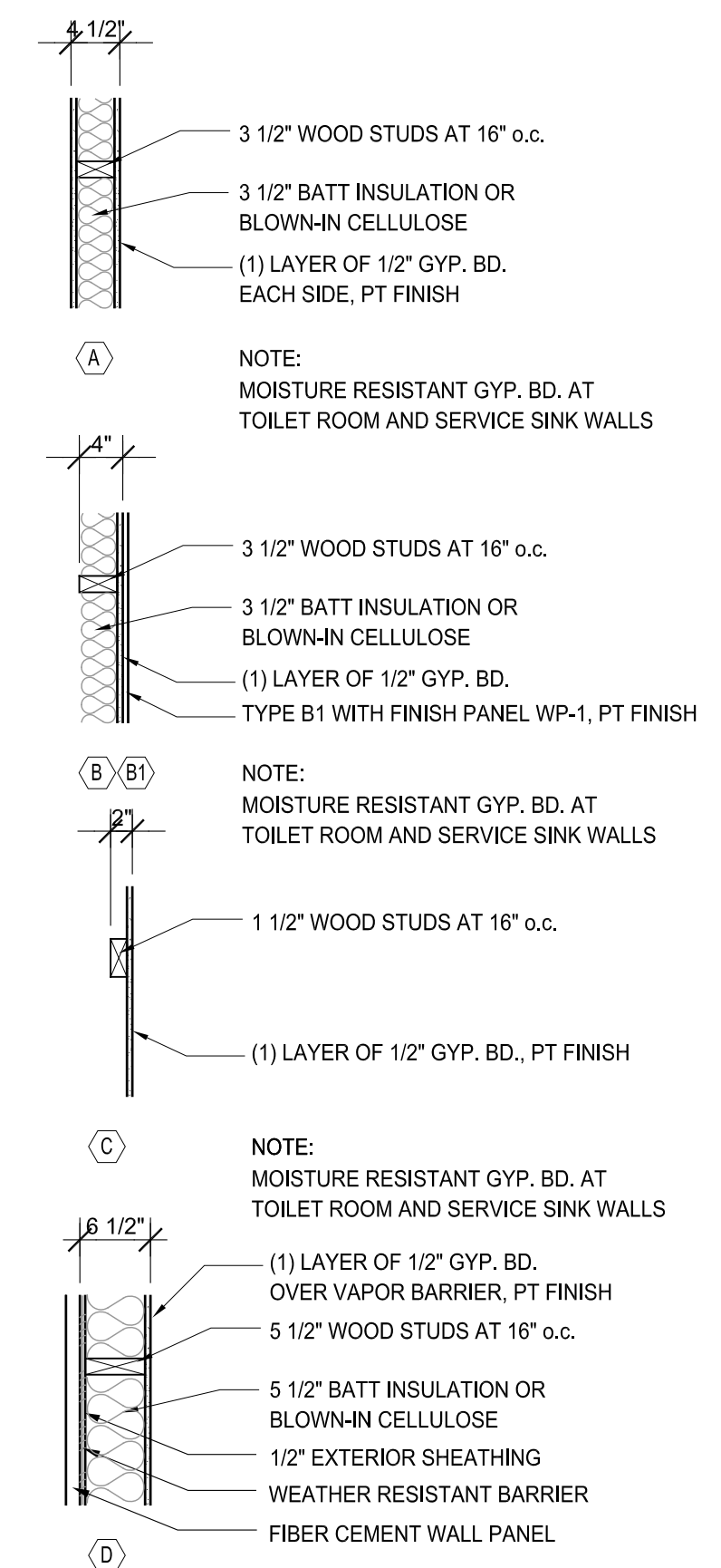
OVERALL MAIN LEVEL FLOOR PLAN



WALL AND PARTITION TYPES

LEGEND

- ROOM NUMBER
- WINDOW TYPES, SEE
- DOOR NUMBER (TYPE)
- WALL AND PARTITION
- SHEET NOTES



INTERIOR FINISH SPECS

- CARPET**
CPT-1 MFG: J & J NON-FICTION II MONOLOUGE 24" x 24" QUARTERTURN
- LUXURY VINYL TILE**
LVT-1 MFG: MANNINGTON FEN
- LVT-2**
MFG: MANNINGTON FEN SPARTINA 18" X 18"
- RUBBER COVE BASE**
RCB-1 MFG: TARKETT 4" #48 GRAY
- RUBBER STAIR TREAD/RISER**
RST-1 MFG: JONSONITE RUBBER TREADS & RISERS
- PAINT**
PT-1 MAIN PT (ALL WALLS U.N.O.) SATIN FINISH
PT-2 (LAVENDER ACCENT) MATCH EXTG SATIN FINISH
PT-3 (GRAY ACCENT) MFG: TBD COLOR: TBD FINISH: SATIN
PT-4 (GWB/WOOD CEILINGS) MFG: TBD COLOR: TBD FINISH: FLAT
EIFS SK-1 MATCH EXTG
EIFS SK-2 MATCH EXTG
- TILE**
QT-1 MFG: MSI SURFACES ROCKMOUNT SEDONA GREY 6 X 24 PANELS
- WALL PANEL**
WP-1 MFG: SOELBERG PIOGGIA N/A - FIELD PAINT PT-3 SIZE: 48" X 96" PANELS
- COUNTERTOPS**
CT-1 MFG: CORIAN QUARTZ SNOW FLURRY
- PLASTIC LAMINATE**
SL-1 MFG: CORIAN DEEP CAVIAR
- FORMICA**
PL-1 MFG: FORMICA STORM

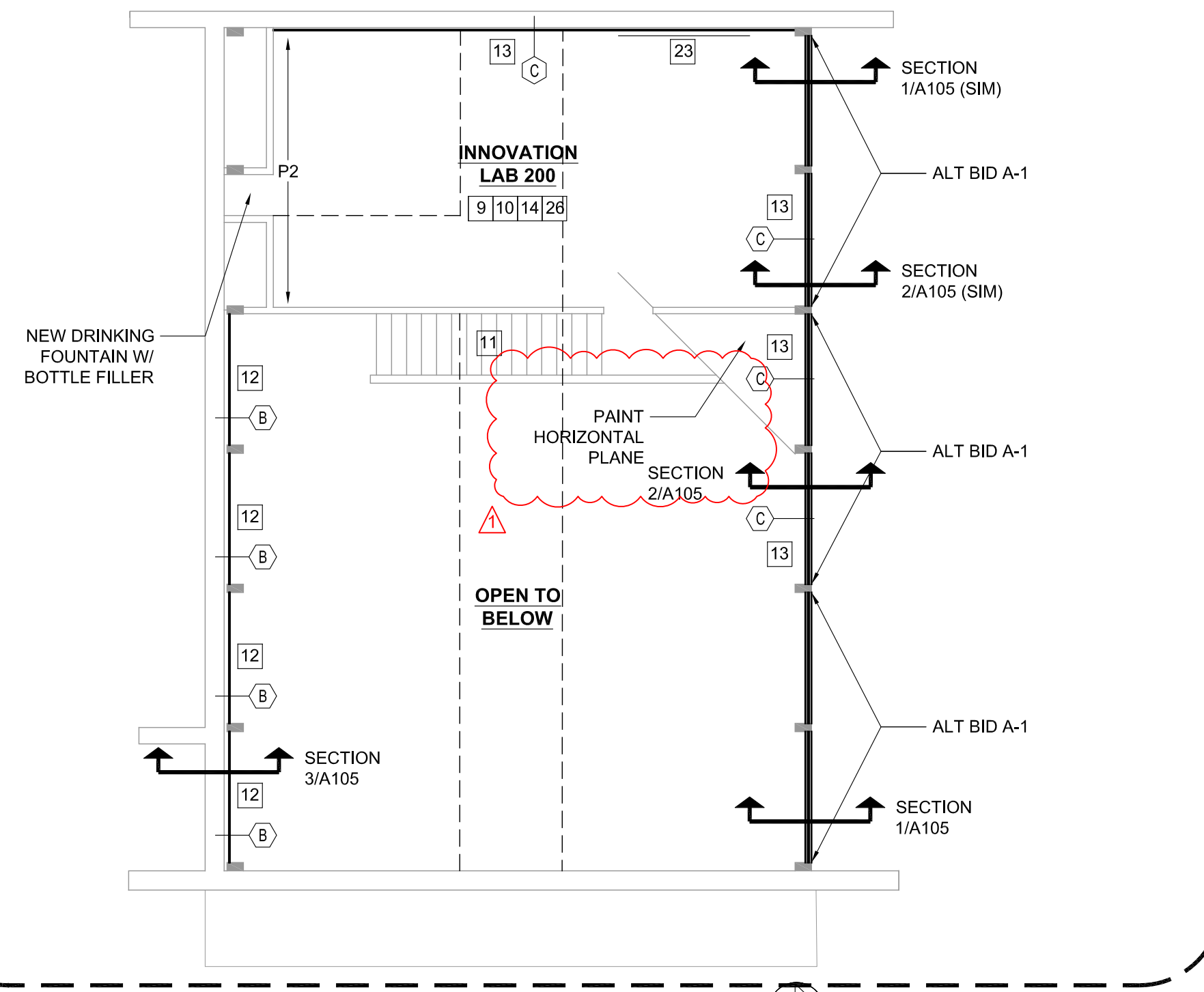
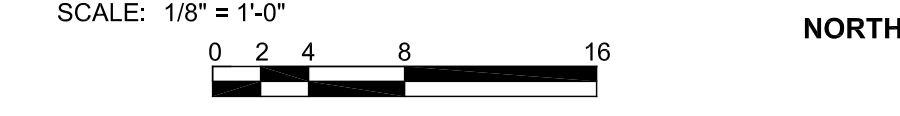
DOOR SCHEDULE

MARK	SIZE	DOOR		FRAME			RATING	HARDWARE (SEE SPEC)			
		TYPE / MATERIAL	FINISH	TYPE	MATERIAL	FINISH			TYPE		
102	(2) 3'-0"	7'-0"	1.34"	HOLLOW METAL	PAINT	2C/G101	METAL	PAINT	1B/G101	90 MIN	ENTRANCE W/ PANIC & HOLD OPENS
103	3'-0"	7'-0"	1.34"	WOOD	PREFIN	2B/G101	METAL	PAINT	1A/G101	NONE	OFFICE
104	3'-0"	7'-0"	1.34"	WOOD	PREFIN	2A/G101	METAL	PAINT	1A/G101	NONE	STORAGE
105A	(2) 3'-0"	7'-0"	1.34"	ALUM	PREFINISHED	2D/G101	ALUMINUM	PREFINISHED	1C/G101	NONE	ENTRANCE W/ PANIC
105B	(2) 3'-0"	7'-0"	1.34"	ALUM	PREFINISHED	2D/G101	ALUMINUM	PREFINISHED	1C/G101	NONE	ENTRANCE W/ PANIC
105C	(2) 3'-0"	7'-0"	1.34"	WOOD	PREFINISHED	2A/G101	METAL	PAINT	1A/G101	NONE	STORAGE
108	3'-0"	7'-0"	1.34"	WOOD	PREFIN	2A/G101	METAL	PAINT	1A/G101	NONE	STORAGE
109 (ALT A-2)	3'-6"	7'-0"	1.34"	ALUM	PREFIN	MATCH EXTG	ALUM	PREFIN	MATCH EXTG	NONE	ENTRANCE W/ PANIC

FINISH SCHEDULE

ROOM NUMBER	ROOM	FLOOR MATERIAL	BASE	WALLS		CEILING		HEIGHT
				MATERIAL	FINISH	MATERIAL	FINISH	
100	CONFERENCE	EXTG CARPET	RCB-1	CMU	EIFS SK-1	SAT-1	PREFINISHED	MATCH S. CONF
101	CONFERENCE	EXTG CARPET	RCB-1	CMU	EIFS SK-1	SAT-1	PREFINISHED	MATCH S. CONF
102	CORRIDOR	LVT 1, 2	RCB-1	CMU/GWB	PAINT P1, 2	SAT-1	PREFINISHED	TBD
103	OFFICE	CPT-1	RCB-1	CMU/GWB	PAINT P1	SAT-1	PREFINISHED	TBD
104	STORAGE	CONCRETE	NONE	CMU/GWB	PAINT P1	NONE	N/A	N/A
105	EVENT VENUE	LVT 1, 2	RCB-1	SEE ELEVS	SEE ELEVS	SAT-1/GWB	PREFIN/PT 4	TBD
106	STUDIO	EXTG CARPET	EXTG	CMU/GWB	PAINT P1	EXTG REMAINS	N/A	EXTG
107	OFFICE	EXTG CARPET	EXTG	CMU/GWB	PAINT P1	EXTG REMAINS	N/A	EXTG
108	UTILITY	CONCRETE	NONE	CMU/GWB	PAINT P1	NONE	N/A	N/A
109	SERVING	LVT 1	RCB-1	CMU/GWB	PAINT P1	SAT-1	PREFINISHED	TBD
110	CLOSET	LVT 1	RCB-1	CMU/GWB	PAINT P1	EXTG REMAINS	N/A	EXTG
200	INNOVATION LAB	EXTG LVT	RCB-1	CMU/GWB	PAINT P1, 2	EXTG REMAINS	PT 4	EXTG

MEZZ LEVEL FLOOR PLAN



CURRENT DATE: 07/21/2023



LICENSE EXPIRES: 11/30/24

NOT FOR CONSTRUCTION

ISSUE DATE: 07/21/2023

REVISIONS

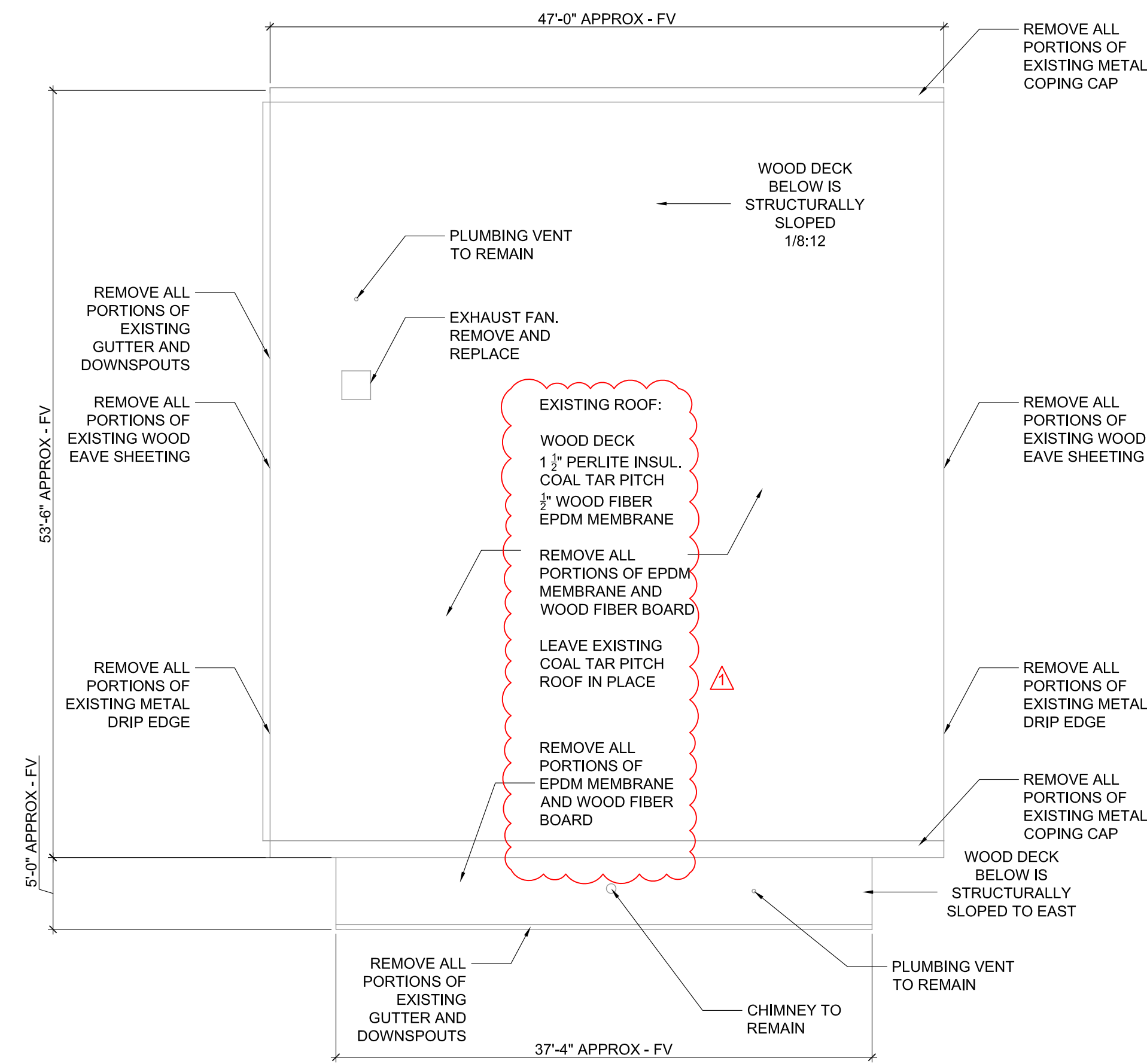
1 ADD. #1 07/28/2023

PROJECT NUMBER: 6423

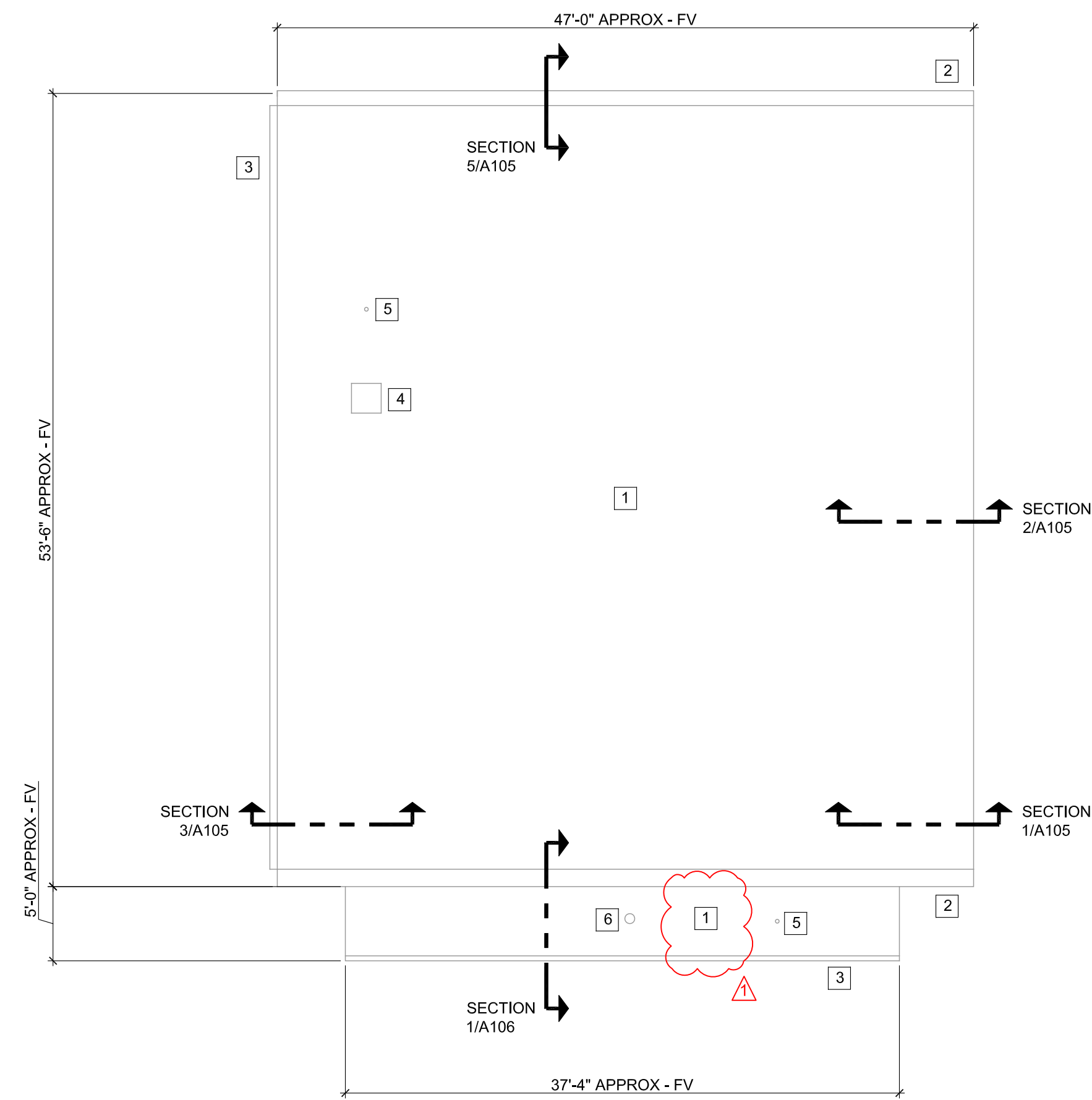
FLOOR PLANS

DWG. NO.

A101



ROOF DEMO PLAN
SCALE: 1/8" = 1'-0"
0 2 4 8 16
NORTH



ROOF PLAN
SCALE: 1/8" = 1'-0"
0 2 4 8 16
NORTH

ALTERNATE BIDS

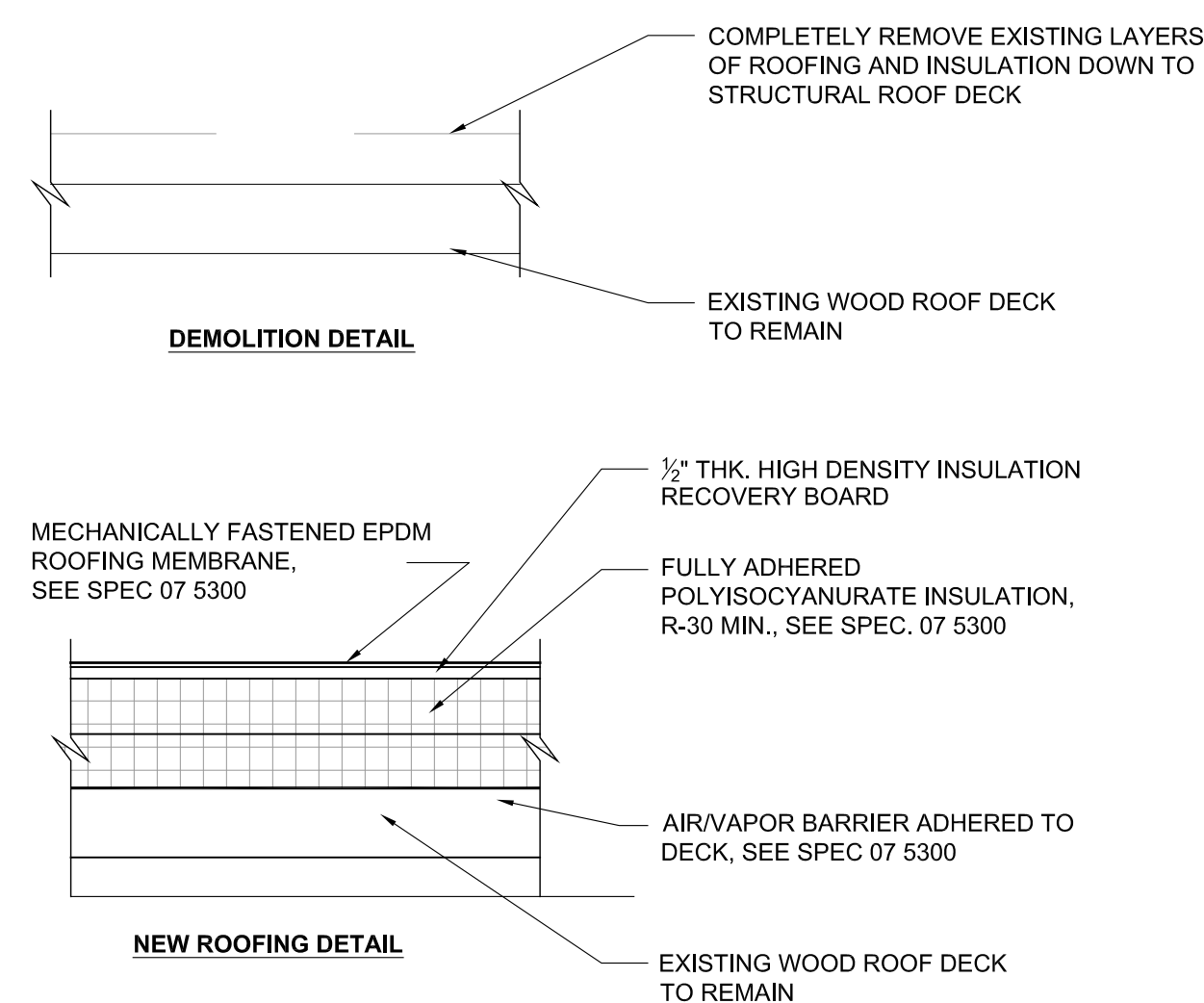
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- ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A102 AND A105.
- ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

ROOF PLAN NOTES

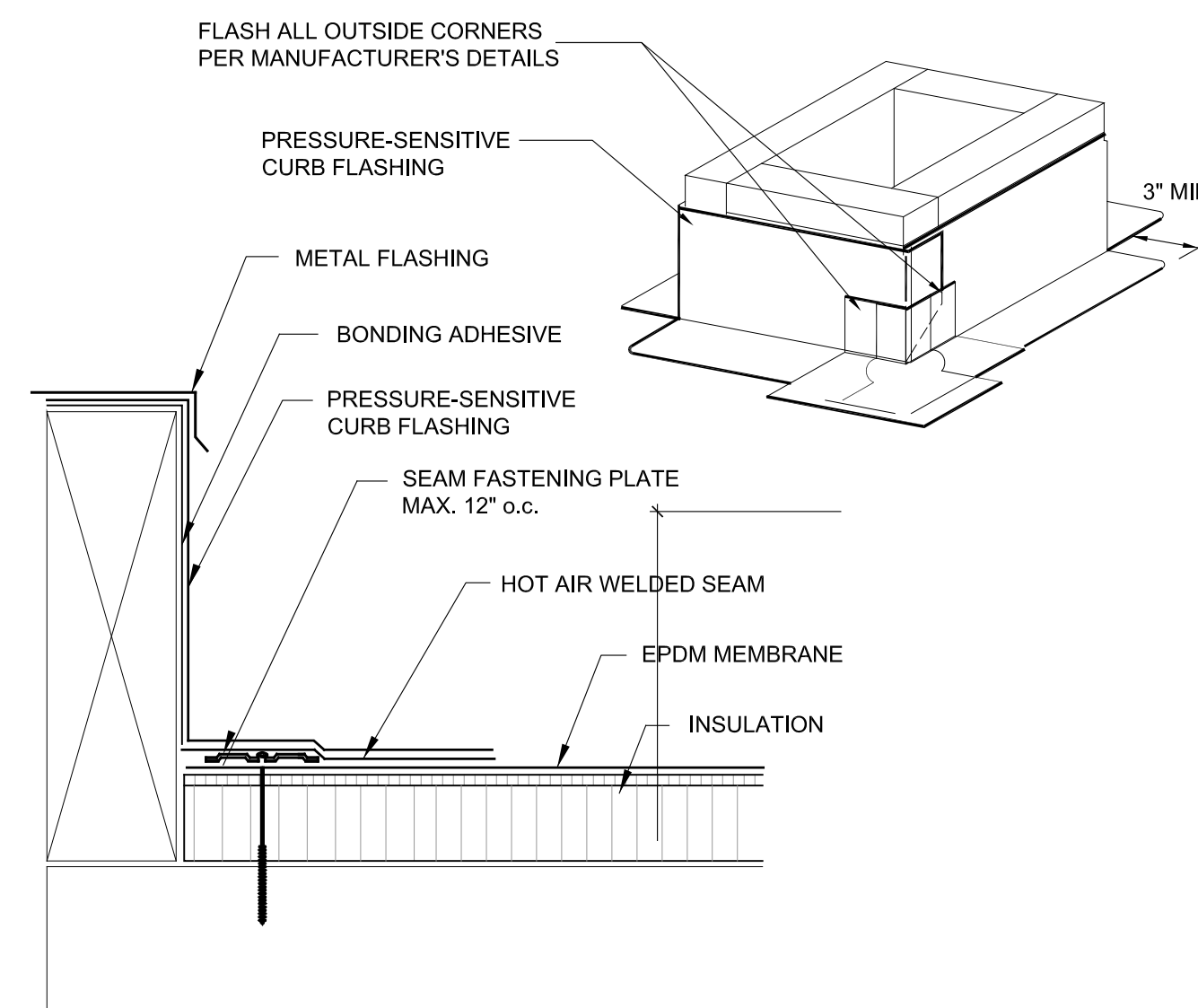
- NEW FULLY ADHERED EPDM ROOF MEMBRANE WITH RIGID INSULATION (R-30 MIN). DECK IS STRUCTURALLY SLOPED. SEE SPEC.
- NEW METAL COPING CAP. SEE SPEC.
- NEW PREFIN ALUM OR STEEL GUTTER WITH DOWNSPOUTS. VERIFY DOWNSPOUT LOCATIONS WITH EXTG. SEE SPEC.
- EXTG EXHAUST FAN REMOVED AND REPLACED.
- EXTG PLUMBING VENT. SEE DTL 4/A104
- EXTG CHIMNEY.
- NEW EPDM ROOF WITH 1/2" HIGH DENSITY POLYSIO. ROOF DOES NOT REQUIRE MIN R-30 INSUL.

GENERAL NOTES:

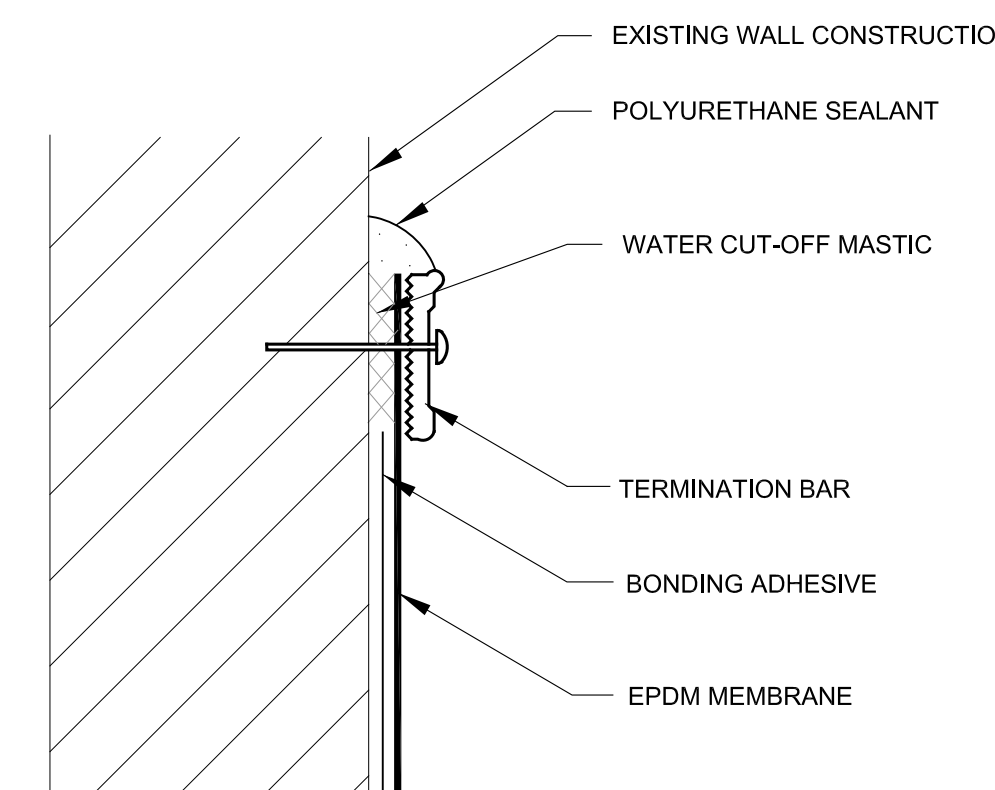
TOUCH-UP PAINT ON EXISTING SURFACES NEXT TO NEW WORK AS REQ'D.
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IN ORDER TO ACHIEVE MANUFACTURER'S WARRANTY, DETAILS MAY ALSO VARY BASED UPON MANUFACTURER'S SYSTEM AND DESIGN RECOMMENDATIONS.



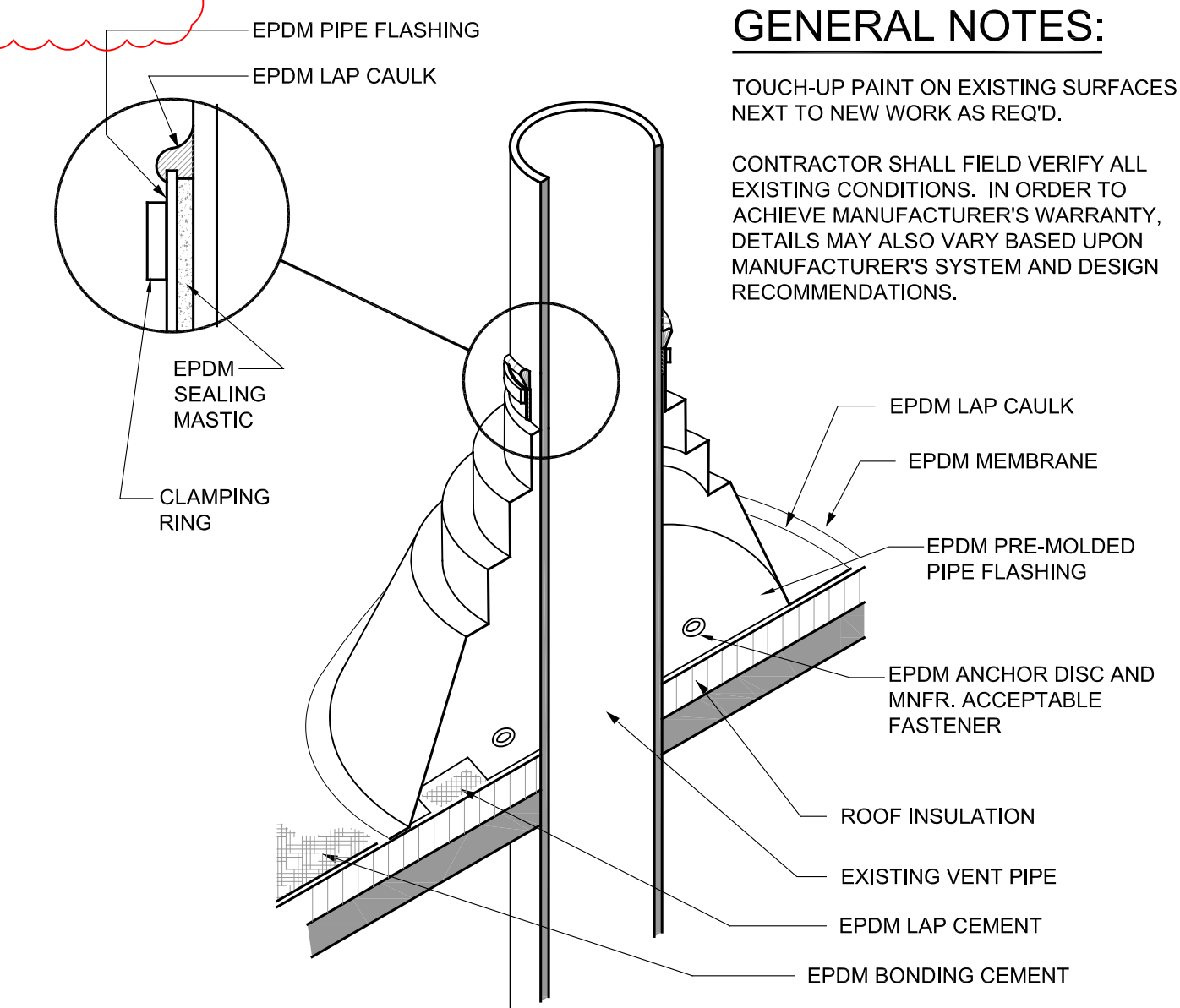
1 TYPICAL ROOFING DETAIL
SCALE: 1 1/2" = 1'-0"



2 ROOF CURB DETAIL
SCALE: N.T.S.



3 TERMINATION BAR DETAIL
SCALE: N.T.S.



- NOTES:
(1) DO NOT OVERLAP THE FLANGES FROM ADJACENT PIPE FLASHINGS.
(2) ANY SEAM UNDER BOOT FLANGE TO BE TREATED AS T-JOINT.

4 PIPE FLASHING DETAIL
SCALE: N.T.S.



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ROOF PLANS AND DETAILS

DWG. NO.

A104



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1 ADD. #1 07/28/2023

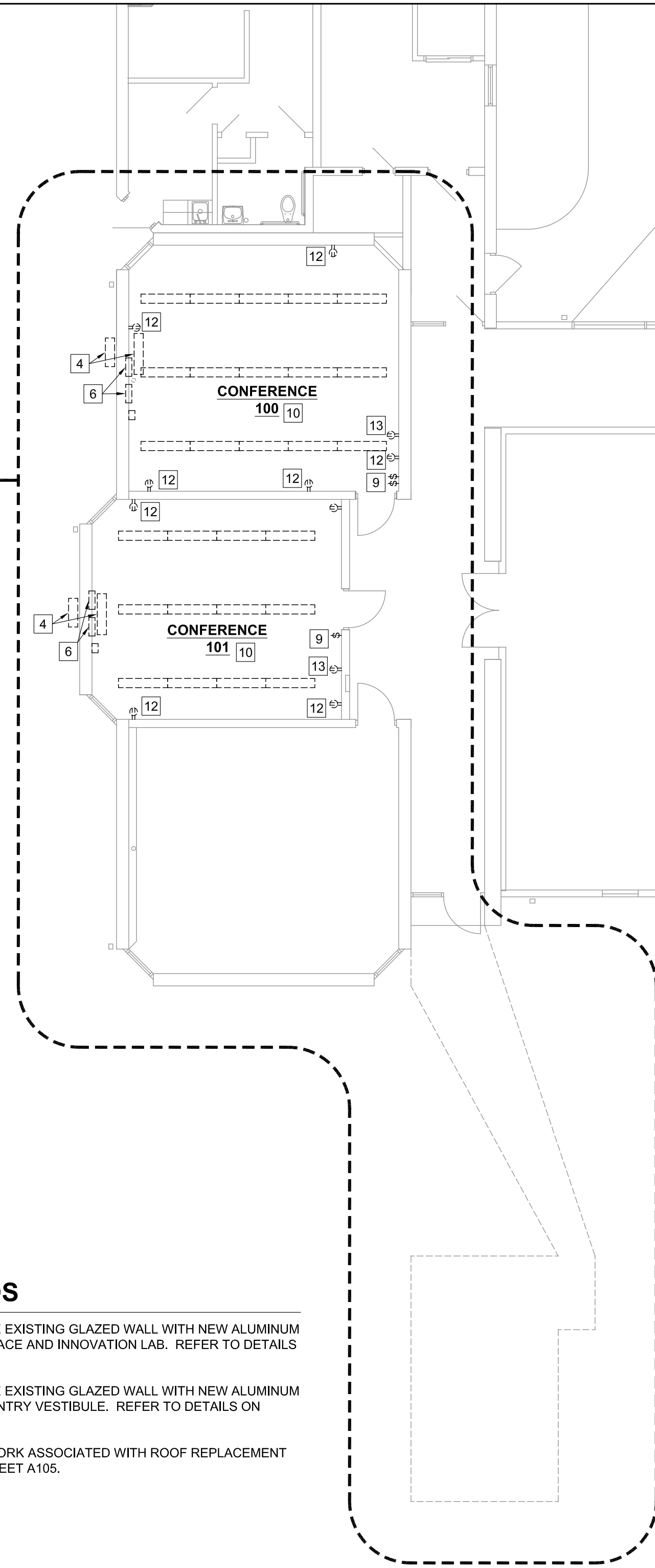
PROJECT NUMBER: 6423

MEP DEMO PLAN

DWG. NO.

MEPD101

WORK AREA A

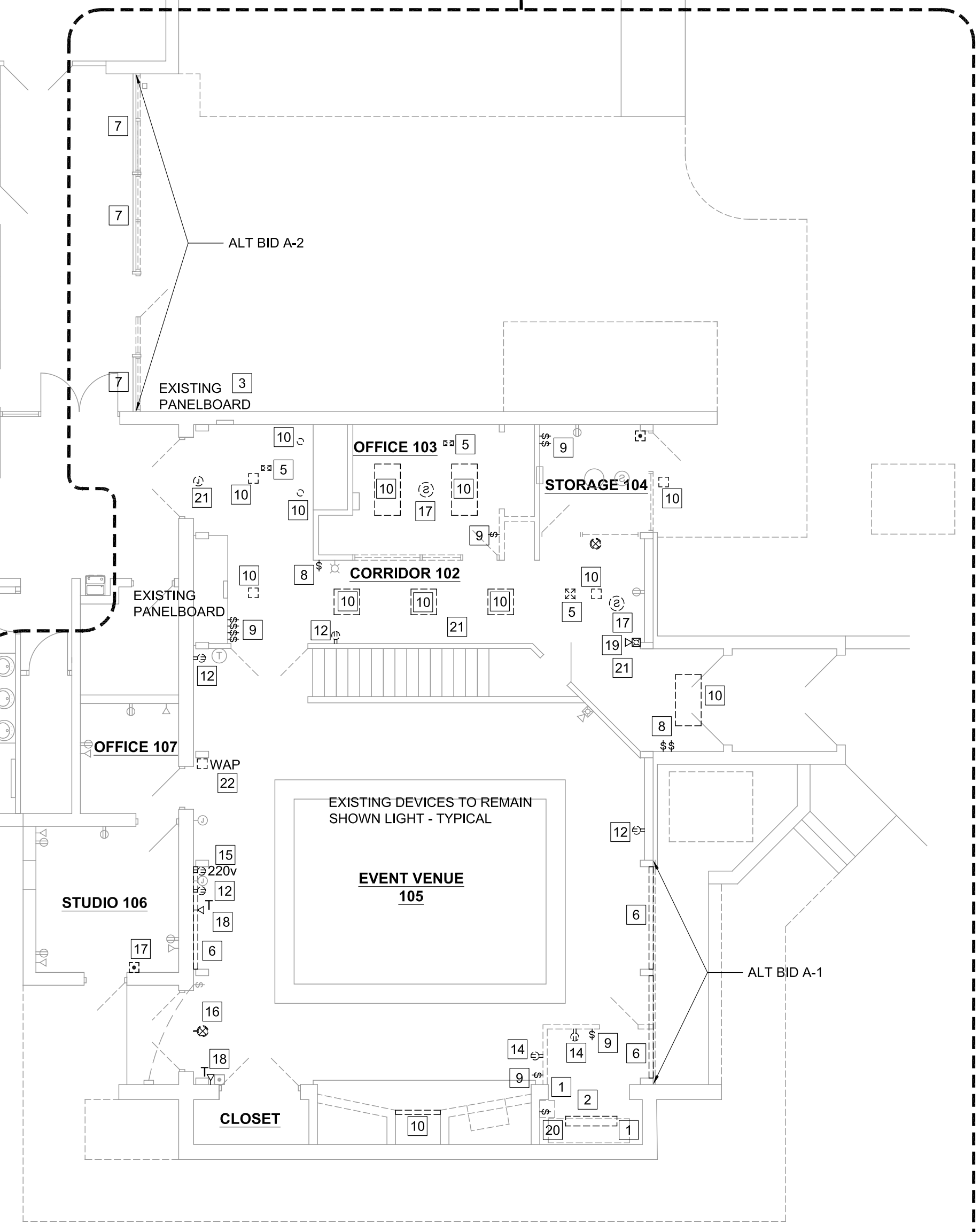


MAIN LEVEL MEP DEMO PLAN
SCALE: 1/8" = 1'-0"
NORTH

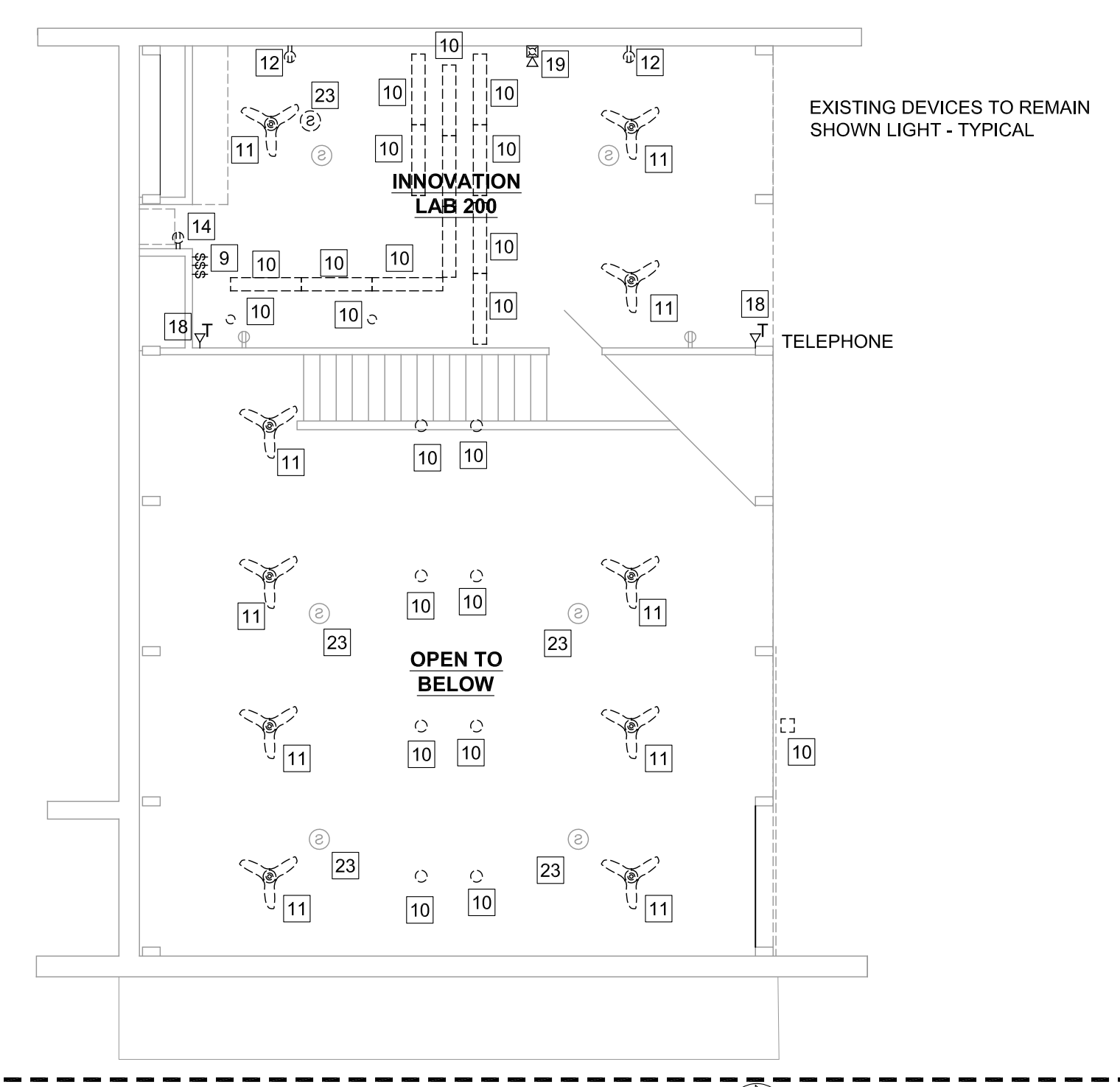
MEP DEMO PLAN NOTES

1. PLUMBING CONTRACTOR COMPLETELY REMOVE EXISTING SINK AND MODIFY PIPING AS REQUIRED FOR NEW WORK. SEE DWG. MEP101.
2. PLUMBING CONTRACTOR COMPLETELY REMOVE PUMP EXISTING GREASE INTERCEPTOR.
3. PLUMBING CONTRACTOR REPLACE EXISTING YARD CLEANOUT WITH NEW FLUSH BRONZE STYLE.
4. MECHANICAL AND ELECTRICAL CONTRACTOR REMOVE EXISTING MINI-SPLIT SYSTEM. MODIFY CIRCUIT AND WIRING AS REQUIRED FOR NEW WORK.
5. MECHANICAL CONTRACTOR MODIFY DUCTWORK AS REQUIRED AND RELOCATE EXISTING DIFFUSER TO NEW CEILING.
6. ELECTRICAL CONTRACTOR COMPLETELY REMOVE EXISTING WALL HEATER OR BASEBOARD HEAT INCLUDING CIRCUIT. IF ALT BID A-1 IS NOT ACCEPTED, HEATER ON NORTH WALLS REMAIN IN ROOM 105.
7. UNDER ALT. BID "A-2" ELECTRICAL CONTRACTOR REMOVE AND REINSTALL EXISTING BASEBOARD HEAT ON NEW WALL. COORDINATE WITH GENERAL CONTRACTOR.
8. ELECTRICAL CONTRACTOR REMOVE EXISTING SWITCH. MODIFY CIRCUIT TO CONTROL NEW LIGHT FIXTURES FROM CEILING OCCUPANCY DETECTOR. SEE DWG. E102.
9. ELECTRICAL CONTRACTOR REMOVE EXISTING SWITCH. MODIFY CIRCUIT AS REQUIRED BASED ON NEW LAYOUT. SEE DWG. E102.
10. ELECTRICAL CONTRACTOR REMOVE EXISTING LIGHT FIXTURES. MODIFY CIRCUITS AS REQUIRED BASED ON NEW LAYOUT. SEE DWG. E102.
11. ELECTRICAL CONTRACTOR REMOVE EXISTING CEILING FANS. MODIFY CIRCUITS AS REQUIRED BASED ON NEW LAYOUT. SEE DWG. E102.
12. ELECTRICAL CONTRACTOR MODIFY EXISTING JUNCTION BOX AS REQUIRED AND REPLACE EXISTING DUPLEX RECEPTACLE.
13. ELECTRICAL CONTRACTOR COMPLETELY REMOVE EXISTING RECEPTACLE, CIRCUIT AND JUNCTION BOX HIGH ON WALL.
14. ELECTRICAL CONTRACTOR COMPLETELY REMOVE EXISTING RECEPTACLE, CIRCUIT AND JUNCTION BOX IN WALL BEING DEMOLISHED.
15. ELECTRICAL CONTRACTOR COMPLETELY REMOVE EXISTING 220V RECEPTACLE, CIRCUIT AND JUNCTION BOX.
16. ELECTRICAL CONTRACTOR REMOVE EXISTING EXIT SIGN. MODIFY CIRCUIT AS REQUIRED FOR NEW WORK.
17. ELECTRICAL CONTRACTOR REMOVE EXISTING FIRE ALARM DEVICE. MODIFY WIRING AS REQUIRED FOR NEW WORK.
18. ELECTRICAL CONTRACTOR COMPLETELY REMOVE EXISTING ABANDONED TELEPHONE PORT AND WIRING.
19. ELECTRICAL CONTRACTOR MODIFY JUNCTION BOX AND WIRING AS REQUIRED AND RELOCATE FIRE ALARM DEVICE TO NEW WALL.
20. ELECTRICAL CONTRACTOR COMPLETELY MODIFY EXISTING CIRCUIT FOR GARBAGE DISPOSAL TO POWER NEW DISPOSAL IN NEW CASEWORK.
21. ELECTRICAL CONTRACTOR MODIFY/RELOCATE EXISTING CONDUIT, JUNCTION BOXES, DATA CABLING ETC ON WALL AND CEILING S BEING DEMOLISHED.
22. ELECTRICAL CONTRACTOR MODIFY EXISTING CABLING AS REQUIRED AND RELOCATE EXISTING WIRELESS ACCESS POINT TO NEW WALL.
23. EXISTING FIRE ALARM DEVICE TO REMAIN IN PLACE.

WORK AREA B



MEZZ LEVEL MEP DEMO PLAN
SCALE: 1/8" = 1'-0"
NORTH



ALTERNATE BIDS

ALT BID A-1: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A102 AND A105.

ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A102 AND A105.

ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

ALTERNATE BIDS

ALT BID A-1: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN EVENT SPACE AND INNOVATION LAB. REFER TO DETAILS ON SHEET A105.

ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A105.

ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

FLOOR PLAN NOTES

1. MODIFY EXISTING CW, HW, AND SANITARY/VENT PIPING AS REQUIRED AND CONNECT TO NEW SINK AND GARBAGE DISPOSAL.
2. REMOVE EXISTING SINK. MODIFY EXISTING CW, HW, AND SANITARY/VENT PIPING AS REQUIRED AND CONNECT TO NEW EWC.
3. EXTEND CONDENSATE PIPING OVER CONCEALED ABOVE CEILING AND OUT THROUGH EXTERIOR WALL AND DOWN TO 12" ABOVE GRADE.
4. MECHANICAL CONTRACTOR MODIFY DUCTWORK AS REQUIRED AND RELOCATE EXISTING DIFFUSER TO NEW CEILING.

PLUMBING FIXTURE SCHEDULE

EWC-1
ELKAY OR EQUAL LZS8WSLK SINGLE WATER COOLER WITH BOTTLE FILLER.

S-1
FRANKE OR EQUAL LBD7510P-1 WITH CHICAGO OR EQUAL 1102-GN8AE3-317AB FAUCET WITH SPRAY AND LEONARD TM 270 MIXING VALVE. COORDINATE SINK HOLES COMPATIBLE WITH FAUCET AND SIDE SPRAY.

GD-1
IN SINK ERATOR BADGER500 OR EQUAL GARBAGE DISPOSAL

MECHANICAL EQUIPMENT SCHEDULE

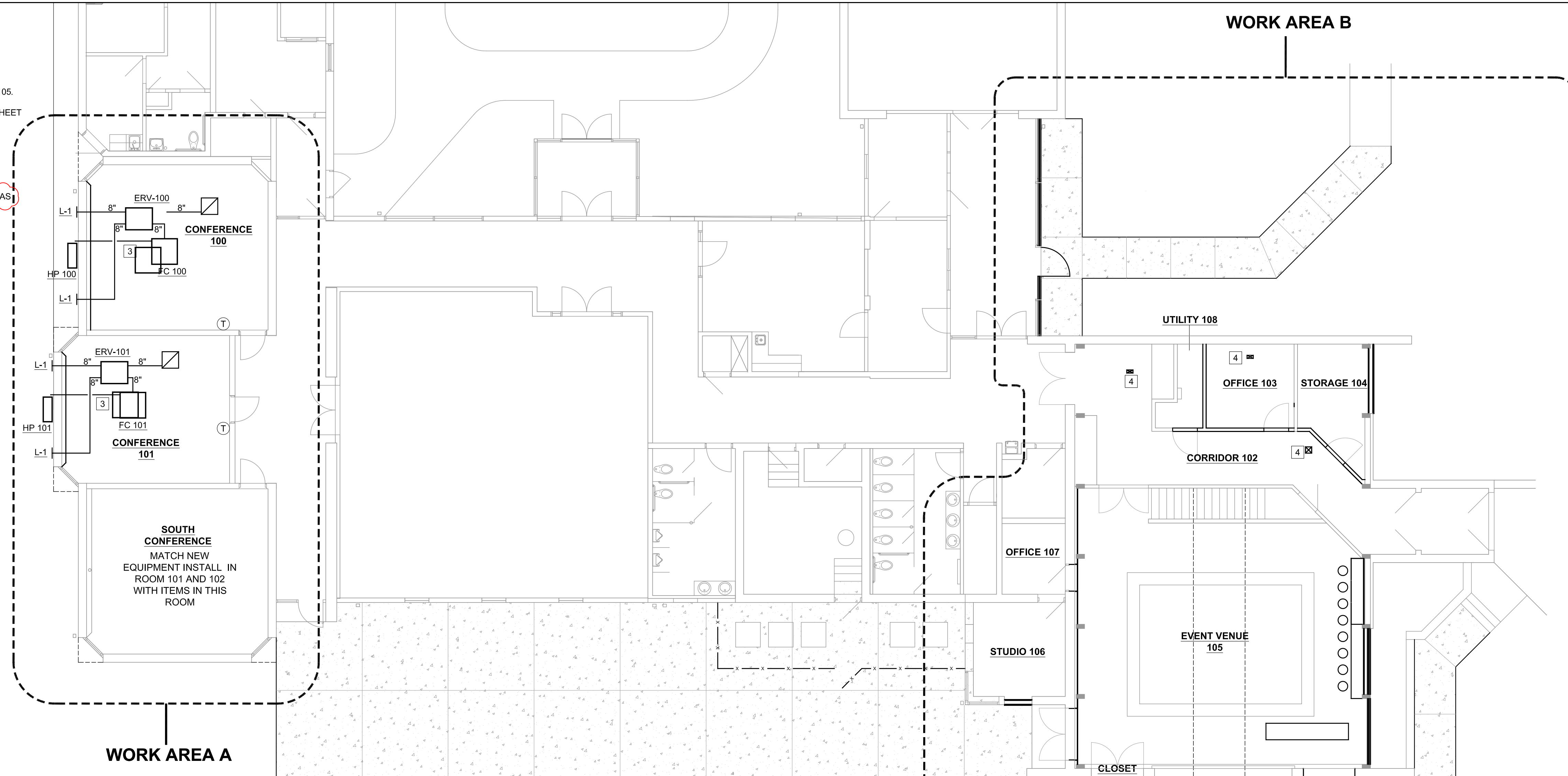
FC 100, 101
CARRIER OR EQUAL 40MBCQ36, 208/1 .8 MCA. EXTEND POWER FROM OUTDOOR UNIT. WITH WIRED THERMOSTAT. INTERCONNECT WITH HP FOR A COMPLETE WORKING SYSTEM. INSTALL AERISA AERBRUSH OR EQUAL IONIZER AT EACH UNIT.

HP 100, 101
CARRIER OR EQUAL 38MBRBO36AA3, 208/1 30 MCA. INSTALL ON WALL BRACKET AND INTERCONNECT WITH FC FOR A COMPLETE WORKING SYSTEM.

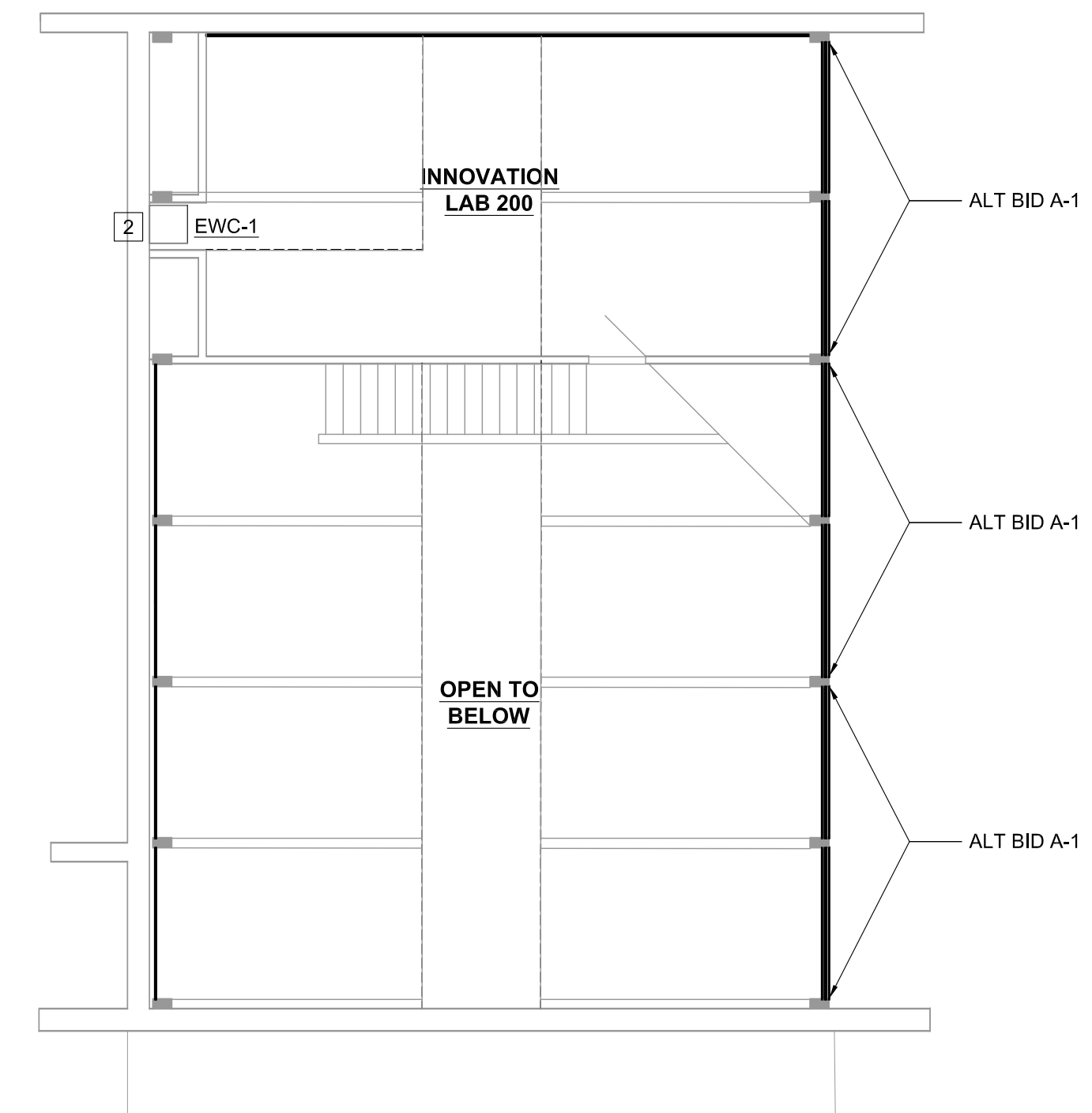
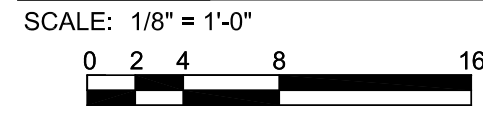
ERV 100, 101
MICROMETAL OR EQUAL FWVA11H79X0AH, 300 CFM. CONTROL UNIT BASED ON CO2 SENSOR. COORDINATE LOCATION.

L-1
GREENHECK OR EQUAL BVF 16X8 STATIONARY ALUMINUM LOUVER. MATCH EXISTING COLOR.

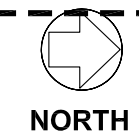
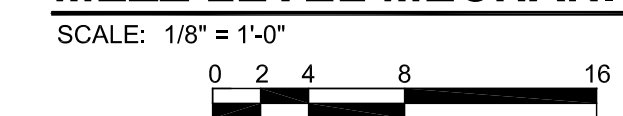
R-1
TITUS OR EQUAL 50F 24X24 ALUMINUM EGG CRATE RA GRILLE WITH 8X8 SQUARE TO ROUND CONNECTION.



OVERALL MAIN LEVEL MECHANICAL/PLUMBING PLAN



MEZZ LEVEL MECHANICAL/PLUMBING PLAN



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MAIN LEVEL MECHANICAL/PLUMBING PLAN

DWG. NO.

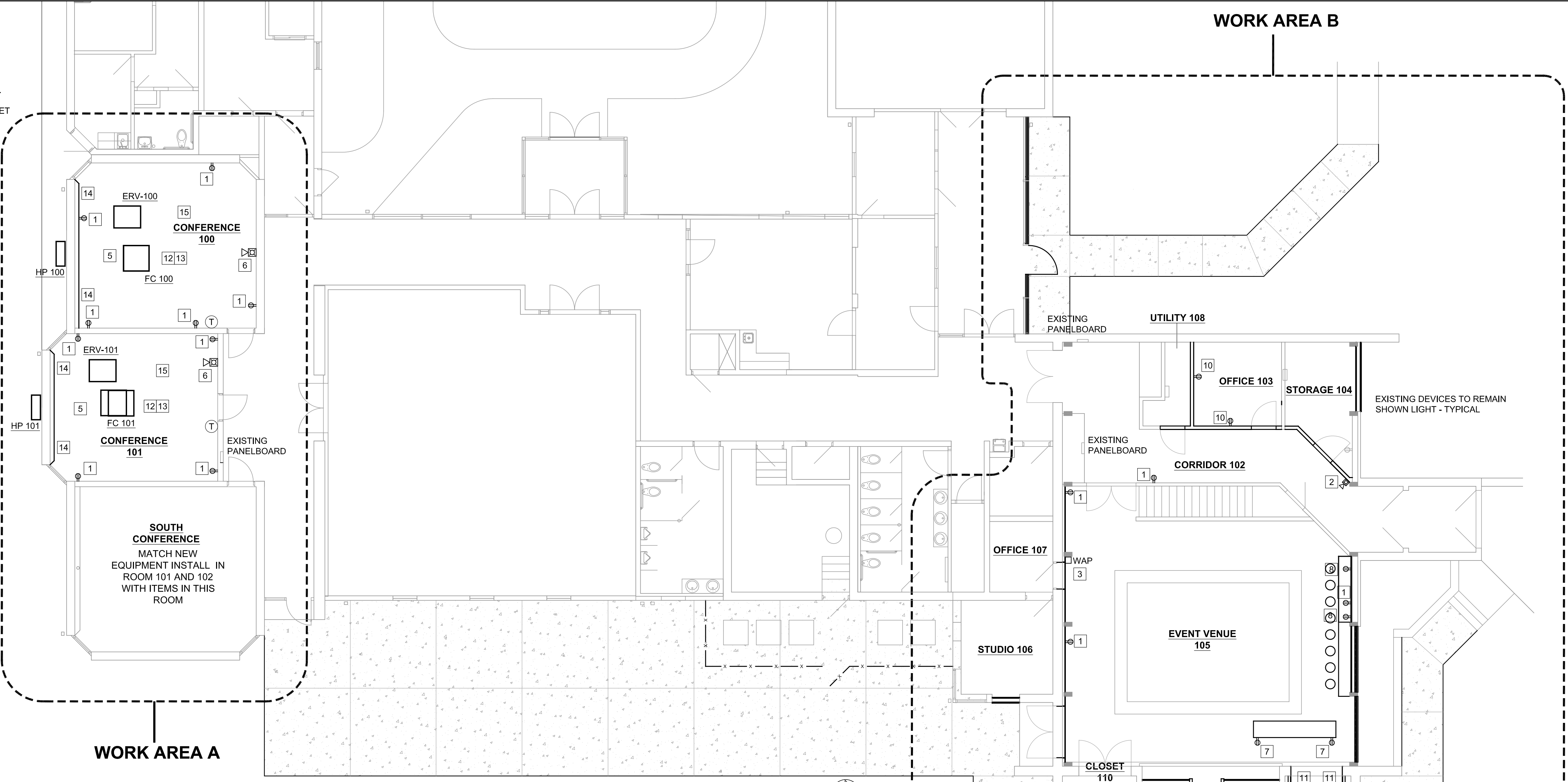
MP101

ALTERNATE BIDS

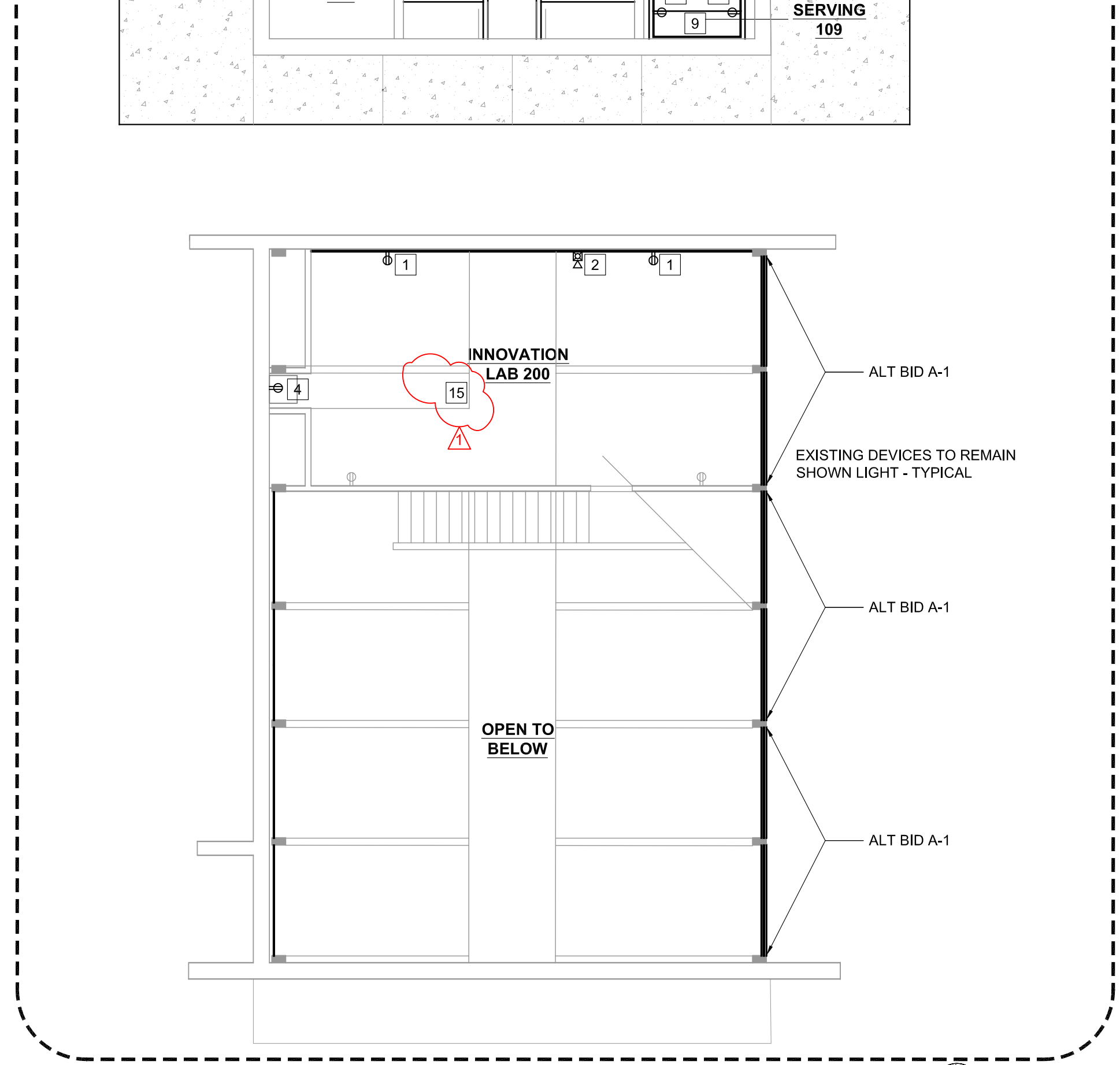
- ALT BID A-1: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN EVENT SPACE AND INNOVATION LAB. REFER TO DETAILS ON SHEET A105.
- ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A105.
- ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

FLOOR PLAN NOTES

1. MODIFY EXISTING JUNCTION BOX AS REQUIRED AND INSTALL NEW WHITE DUPLEX RECEPTACLE AND COVER PLATE ON NEW WALL.
2. MODIFY EXISTING JUNCTION BOX AS REQUIRED AND RELOCATE EXISTING FIRE ALARM DEVICE TO NEW WALL.
3. MODIFY EXISTING CABLING AS REQUIRED AND RELOCATE EXISTING WIRELESS ACCESS POINT TO NEW WALL.
4. MODIFY/EXTEND EXISTING NEARBY CIRCUIT AND INSTALL NEW DUPLEX RECEPTACLE FOR ELECTRIC WATER COOLER. COORDINATE WITH PLUMBING CONTRACTOR.
5. REPLACE EXISTING 60A, 3 POLE BREAKER WITH NEW 50A, 3 POLE BREAKER AND EXTEND NEW CIRCUIT IN EXISTING CONDUIT AT DEMOLISHED PANEL AT SOUTH WALL. EXTEND NEW CONDUIT AND CIRCUIT UP TO NEW JUNCTION BOX ABOVE NEW CEILING. EXTEND WIRING AS REQUIRED TO FEED NEW DISCONNECTS AT NEW MINI SPLIT SYSTEM AND ERV. MATCH EXISTING INSTALLATION IN SOUTH CONFERENCE ROOM.
6. MODIFY/EXTEND EXISTING WIRING AS REQUIRED AND INSTALL NEW FIRE ALARM HORN STROBE ON WALL OR CEILING.
7. MODIFY EXISTING/EXTEND NEW CIRCUIT AS REQUIRED UNDER FLOOR AND UP TO SERVE 2 RECEPTACLES IN NEW ISLAND CASEWORK. SEE DETAIL 5/A102. FEED EACH RECEPTACLE FROM SEPARATE CIRCUIT. COORDINATE FLOOR REMOVAL AND PATCHING WITH GC.
8. MODIFY EXISTING/EXTEND NEW CIRCUIT AS REQUIRED TO SERVE NEW RECEPTACLES AT 42" ABOVE FLOOR.
9. MODIFY EXISTING CIRCUIT AND POWER NEW SWITCH BY ELECTRICAL CONTRACTOR AND GARBAGE DISPOSAL PROVIDED BY PLUMBING CONTRACTOR.
10. NEW CIRCUIT AS REQUIRED FOR NEW JUNCTION BOX WITH NEW DUPLEX RECEPTACLE AND COVER PLATE ON NEW WALL.
11. NEW CIRCUIT AS REQUIRED FOR NEW JUNCTION BOX WITH NEW GFCI DUPLEX RECEPTACLE AND COVER PLATE ON NEW WALL 42" AFF.
12. MODIFY EXISTING NEARBY CIRCUIT OR PROVIDE NEW CIRCUIT FOR NEW CEILING PROJECTOR PROVIDED AND INSTALLED BY OWNER'S VENDOR. COORDINATE WITH VENDOR.
13. MODIFY EXISTING NEARBY CIRCUIT OR PROVIDE NEW CIRCUIT FOR NEW CEILING AV EQUIPMENT ENCLOSURE PROVIDED AND INSTALLED BY OWNER'S VENDOR. COORDINATE WITH VENDOR.
14. INSTALL QUADPLEX JUNCTION BOX AND EMPTY CONDUIT TO ABOVE CEILING FOR AV CONNECTIONS. CABLING AND CONNECTIONS BY OWNER'S VENDOR. COORDINATE WITH VENDOR.
15. PROVIDE (2) CAT 6 CABLES WITH 10 FOOT OF ADDITIONAL LENGTH ABOVE THE CEILING AT THIS LOCATION. WIFI ROUTER WILL BE PROVIDED AND INSTALLED BY THE OWNER.



OVERALL MAIN LEVEL ELECTRICAL POWER PLAN
 SCALE: 1/8" = 1'-0"
 0 2 4 8 16
 NORTH



MEZZ LEVEL ELECTRICAL POWER PLAN
 SCALE: 1/8" = 1'-0"
 0 2 4 8 16
 NORTH

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ELECTRICAL POWER PLAN

DWG. NO.

E101