ARCHITECHNICS, INC. 510 MAINE STREET QUINCY, ILLINOIS 62301

PROJECT NO.: 6423

ADDENDUM NO.: 1

ISSUED: <u>7/28/2023</u>

Project: Phase II Renovations for:

The Knowledge Center - Chaddock

205 S. 24th Street Quincy, IL 62301

This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated July 21, 2023. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

ITEM DESCRIPTION		DESCRIPTIO	ON		
Clarify					
1.0	Site Plan		Asphalt paving is the base bid material for the new lot. Concrete paving is the alternate bid material (Alternate Bid A-4).		
<u>Specifications</u>					
1.0	Section 00 4322 Unit Prices Form	Replace	Replace with attached revised section.		
2.0	Section 01 1000 Summary	Clarify	01 1000.1.6.E - Criminal background checks are required for all contractors.		
3.0	Section 01 5000 Temp. Facilities	Revise	 Contractors will be permitted to use Owner's restroom Construction Fencing will not be required. Contractors will be permitted to park in the existing gravel lot prior to work on the new lot beginning. Contractors will be permitted to park on the new lot once complete. While parkign lot work is underway, contractors will be allowed to park near The Knowledge Center south of Wesley Cottage. Contractors will be responsible for repairing damaged grass areas if utilized for parking. 		
4.0	Section 07 5300 EPDM Roofing	Replace	Replace with attached revised section.		
5.0	Section 32 1216 Asphalt Paving	Replace	Replace with attached revised section.		
6.0	Section 32 1733 Parking Bumpers	Add	Add attached revised section.		
7.0	Section 32 1723 Pavement Markings	Add	Add attached revised section.		

Drawings

1.0	Sheet C100 Existing Site Plan	Replace	Replace with attached revised sheet.
2.0	Sheet C101 New Site Plan	Replace	Replace with attached revised sheet.
3.0	Sheet C102 Site Details	Replace	Replace with attached revised sheet.
4.0	Sheet C103 Site Notes	Replace	Replace with attached revised sheet.
5.0	Sheet D101 Demo Plans	Replace	Replace with attached revised sheet.
6.0	Sheet A101 Floor Plans	Replace	Replace with attached revised sheet.
7.0	Sheet A104 Roof Plans	Replace	Replace with attached revised sheet.
8.0	Sheet MEPD101 Roof Plans	Replace	Replace with attached revised sheet.
9.0	Sheet MP101 Roof Plans	Replace	Replace with attached revised sheet.
10.0	Sheet E101 Roof Plans	Replace	Replace with attached revised sheet.

Attachments: Current Plan Holder's List; Prebid Meeting Attendee List; Spec Section 00 4322; 07 5300; 32 1216; 32 1713; 32 1723; C100; C101; C102; C103; D101; A101; A104; MEPD101, MEP101, E101

RECORD OF PLANS AND SPECIFICATIONS

NAME OF PROJECT

Chaddock Knowledge Center Remodel

PROJECT NO. 6423 DATE BIDS DUE Tuesday, August 15, 2023 DEPOSIT \$50.00

TIME AND PLACE OF LETTING

2:00 PM Architechnics, Inc

510 Maine Street - Floor 10, Quincy, IL

	_		510 Maine Street -	Floor 10, Quincy, IL	
*** Indicates Potential Bidding Contra					
CONTRACTOR NAME	COPY	DATE	DATE	DEPOSIT	DEPOSIT
ADDRESS/PHONE/EMAIL	NO.	RECEIVED	RETURNED	RECEIVED	RETURNED
Architect	#1				
Owner	#2				
Argabright Electric					
3300 Lantern Lane					
Quincy, IL 62301	D	7/21/2023			
217-224-5557		772 172023			
Chad@argabrightelectric.com					
Rees Construction					
PO Box 646					
Quincy, IL 62306					
217-222-0748	D	7/21/2023			
Fax 217-222-2613					
info@reesconstructionco.com					
John Petty & Sons Construction					
105 N Madison St					
Pittsfield, IL 62363					
217-248-6196	D	7/21/2023			
jonashpetty@gmail.com					
Jansen Electric					
4421 N. 60th Street					
Quincy, IL 62305	D	7/21/2023			
217-223-4016	ן ט	112112023			
Fax 217-223-8046					
jansen@adams.net					
NMC General Contracting					
2303 North 1300th Place					
Camp Point, IL 62320	D	7/21/2023			
217-653-5167		112112023			
nolancramsey@hotmail.com					
Petty Construction Co	 				
	D	7/21/2023			
joe.petty@pettyconstructionco.com					
DP Construction					
123 N. 4th Street, Suite 101					
Quincy, IL, 62305	D	7/21/2023			
217-653-7357					
derek@dpquincy.com					
A.H. Kemner & Sons					
P.O.Box 16					
Quincy, IL 62301					
217 222-1559	D	7/24/2023			
Fax: 217 222-0131					
david.kemnerpainting@gmail.com					
uaviu.keiiiiiei paiiitiiiy@yiiiaii.com	1				

RECORD OF PLANS AND SPECIFICATIONS

PAGE NO. Two

Chaddock Knowledge Center Remodel

PROJECT NO. 6423 **DEPOSIT:** \$50.00 **CONTRACTOR NAME** COPY DATE DATE **DEPOSIT DEPOSIT** ADDRESS/PHONE/EMAIL **RETURNED RETURNED** NO. **RECEIVED** RECEIVED Tournear Roofing Co 2605 Spring Lake Rd Quincy, IL 62305 D 7/24/2023 217-222-5879 Fax: 217-222-8346 tourroof@adams.net Goerlich Roofing 4400 Harrison Quincy, IL 62301 D 7/24/2023 217 224-3954 Fax: 217 228-8937 goeroof@comcast.net Damon's Plumbing 625 N. Madison Street Pittsfield, IL D 7/24/2023 217-285-2856 damonsplumbingllc@gmail.com **Custom Glass & Glazing** 420 S 7th St Quincy, IL 62301 D 7/24/2023 217-223-4527 Fax: 217-221-0694 customgg@sbcglobal.net Laverdiere Construction 4055 W. Jackson Macomb, IL 61455 D 7/24/2023 309-837-1258 Fax 309-833-4993 mlynn@lavconinc.com Waterkotte Construction 2630 Wisman Lane Quincy, IL 62305 D 7/24/2023 217-222-5413 Fax 217-222-9155 Jterwelp@waterkotteconstinc.com Moore's Floors 2516 W. Schneidman DR Quincy, IL 62305 7/24/2023 D 217 223-9924 Fax: 217 223-9880 m.moore@mooresfloors.us Brinkman Plumbing Co. 2510 Ellington Rd. Quincy, IL 62301 D 7/25/2023 217 223-1962 Fax: 217 223-1972 janderson@brinkmanplumbing.com Sparrow Plumbing 313 Delaware Quincy, IL 62301 7/25/2023 D 217 223-9289 Fax: 217 223-9880 bird@adams.net **Adams County Glass** 2408 W. Schneidman Dr Quincy, IL 62305 D 7/25/2023 217-221-9840 Fax: 217-221-9841 acginc04@gmail.com

NAME OF PROJECT

RECORD OF PLANS AND SPECIFICATIONS

PAGE NO. Three

NAME OF PROJECT Chaddock Knowledge Center Remodel

PROJECT NO. 6423 **DEPOSIT:** \$50.00 COPY **DEPOSIT CONTRACTOR NAME** DATE DATE **DEPOSIT** ADDRESS/PHONE/EMAIL **RETURNED** NO. **RECEIVED** RETURNED RECEIVED Designed Roofing Systems, Inc. 4850 Jeffory Street Springfield, IL 62703 7/25/2023 D 217-585-1101 Charles.schmadeke-drs@comcast.ne **Construct Connect** 3825 Edwards Road, STE. 800 Cincinnati, OH 45209 D 7/26/2023 800-364-2059 content@constructconnect.com Dodge Data & Analytics 4300 Beltway Place, STE #180 Arlington, Texas D 7/27/2023 888-667-8198 elaine.wilson@construction.com Henson Robinson Co P.O. Box 13137 Springfield, IL 62791-3137 D 7/27/2023 217-544-8451 Fax: 217-544-0829 hrc@henson-robinson.com Marold Electric Co. 129 S 10th **Quincy, IL 62301** D 7/28/2023 217-222-6267 Fax: 217-222-6289 maroldelectric@comcast.net Fischer Builders, Inc. 814 Ohio Quincy, IL 62301 D 7/28/2023 217-222-4322 Fax 217-222-2393 ryan@fischerbuilders.com



ATTENDANCE RECORD

Client: Chaddoc	k
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Project Name: Phase II Renovations at The Knowledge Center

Project Number: 6423

Meeting Description:

Date: Time:

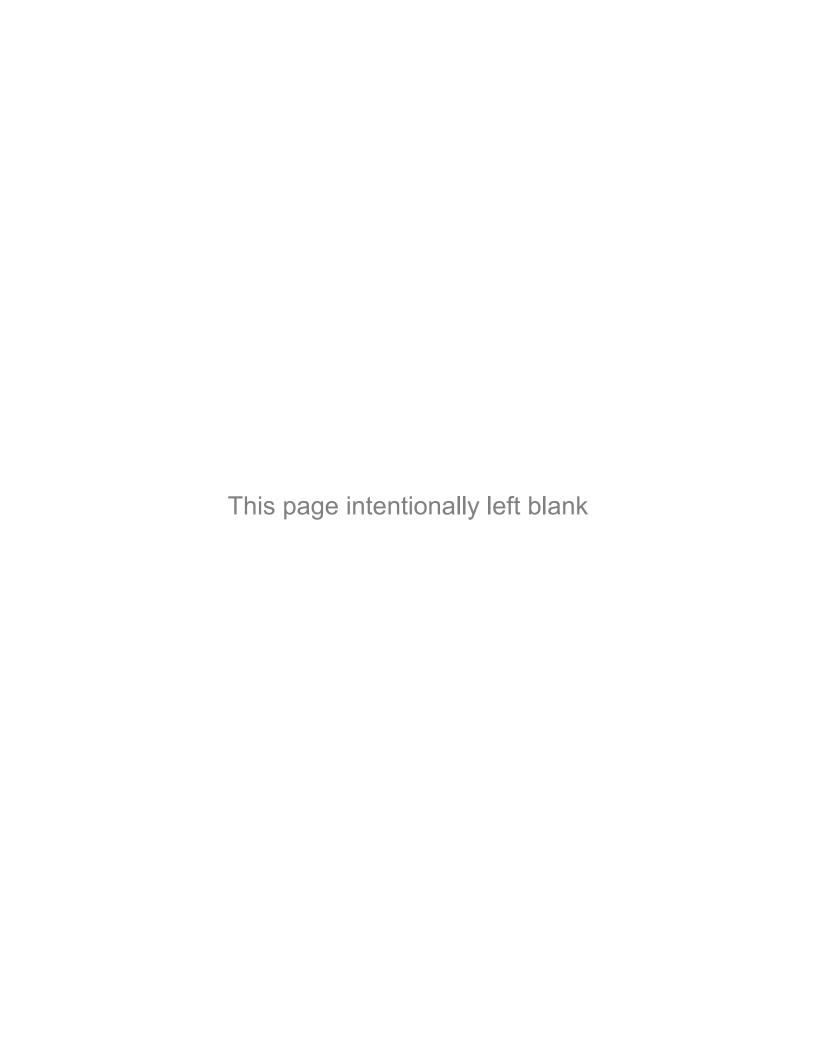
Attendants			
Name & Title	Representing	Email	Phone
ACABS ROLIVOUSS FSGAC Miller Todd Aschgunnus Jesen Hullson Bill Goerlich Robert Tournear Billy Crame Jack Terve p DE WADERROTTE Devel Price Seth Campbell Kevin Kill David Lunt MATT OBELOT	ARCHITECHNICS AK Elsetrical Brinkan Plunby Goarlich Rosping Tournear Roofing Lowerdiere Water Roffe WATERKOTTE DP Construction Moords Floors AH Kemner & Sons Chandoc	Goeros P Clared Fourvoit & you	217-223-9924

SECTION 00 4322 UNIT PRICES FORM

PAR	TICU	ILARS		
1.01	THE	E FOLLOWING IS THE LIST OF UNIT PRICES REFERENCED IN THE BID SUBMITTED BY		
1.02	(BII	DDER)		
1.03	то	(OWNER): CHADDOCK		
1.04	DA	TED AND WHICH IS AN INTEGRAL PART OF THE BID FORM.		
1.05	AN	E FOLLOWING ARE UNIT PRICES FOR SPECIFIC PORTIONS OF THE WORK AS LISTED DARE APPLICABLE TO AUTHORIZED VARIATIONS FROM THE CONTRACT CUMENTS.		
UNIT	PRI	CE LIST		
2.01	1 ITEM DESCRIPTION UNIT QUANTITY UNIT VALUE			
	A.	Replace areas of unsuitable fill under parking lot with engineered fill \$/CY		
	B.	Replace carpet if damaged in conference rooms 100 or 101. Existing carpet is discontinued, provide unit pricing based on carpet specified, cost listed per room \$/room		

END OF SECTION

Unit Prices Form 00 4322 - 1



SECTION 075300 ELASTOMERIC MEMBRANE ROOFING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Elastomeric roofing membrane application.
- B. Insulation, flat.
- C. Cover boards.
- D. Roofing cant strips and stack boots.

1.02 REFERENCE STANDARDS

- A. ASCE 7 Minimum Design Loads and Associated Criteria for Buildings and Other Structures Most Recent Edition Cited by Referring Code or Reference Standard.
- B. ASTM C1289 Standard Specification for Faced Rigid Cellular Polyisocyanurate Thermal Insulation Board 2023.
- C. ASTM D624 Standard Test Method for Tear Strength of Conventional Vulcanized Rubber and Thermoplastic Elastomers 2000 (Reapproved 2020).
- D. ASTM D4637/D4637M Standard Specification for EPDM Sheet Used in Single-Ply Roof Membrane 2015, with Editorial Revision (2022).
- E. ASTM D7877 Standard Guide for Electronic Methods for Detecting and Locating Leaks in Waterproof Membranes 2014.
- F. ASTM E84 Standard Test Method for Surface Burning Characteristics of Building Materials 2023.
- G. FM (AG) FM Approval Guide Current Edition.

1.03 SUBMITTALS

- A. See Section 013000 Administrative Requirements for submittal procedures.
- B. Product Data: Provide data indicating membrane materials, flashing materials, insulation, surfacing, and fasteners.
- C. Shop Drawings: Indicate joint or termination detail conditions, conditions of interface with other materials, and paver layout.
- Manufacturer's Installation Instructions: Indicate membrane seaming precautions and perimeter conditions requiring special attention.
- E. Installer's qualification statement.
- F. Warranty: Submit manufacturer warranty and ensure forms have been completed in Owner's name and registered with manufacturer.

1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum three years of documented experience.
- B. Installer Qualifications: Company specializing in performing the work of this section with minimum three years documented experience.

1.05 DELIVERY, STORAGE, AND HANDLING

- A. See Section 017419 Construction Waste Management and Disposal for packaging waste requirements.
- Deliver materials in manufacturer's original containers, dry and undamaged, with seals and labels intact.
- C. Store materials in weather protected environment, clear of ground and moisture.

- D. Ensure storage and staging of materials does not exceed static and dynamic load-bearing capacities of roof decking.
- E. Protect foam insulation from direct exposure to sunlight.

1.06 FIELD CONDITIONS

- A. Do not apply roofing membrane during unsuitable weather.
- B. Do not apply roofing membrane when ambient temperature is below 40 degrees F (5 degrees C) or above 95 degrees F (___ degrees C).
- C. Do not apply roofing membrane to damp or frozen deck surface or when precipitation is expected or occurring.
- D. Do not expose materials vulnerable to water or sun damage in quantities greater than can be weatherproofed the same day.
- E. Schedule applications so that no partially completed sections of roof are left exposed at end of workday.

1.07 WARRANTY

- A. See Section 017800 Closeout Submittals for additional warranty requirements.
- B. Correct defective work within a two year period after Date of Substantial Completion.
- C. Provide 20 year manufacturer's material and labor warranty to cover failure to prevent penetration of water.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. EPDM Membrane Materials:
 - 1. Carlisle SynTec Systems; Sure-Tough EPDM: www.carlisle-syntec.com/#sle.
 - 2. Elevate; Low Slope Fire Retardant (LSFR) RubberGard EPDM Membrane: www.holcimelevate.com/#sle.
 - 3. Johns Manville; JM EPDM: www.jm.com/#sle.
 - 4. Mule-Hide Products Co, Inc; Standard EPDM: www.mulehide.com/#sle.
 - 5. Versico Roofing Systems; VersiGard EPDM: www.versico.com/#sle.
 - 6. Substitutions: See Section 016000 Product Requirements.

B. Insulation:

- 1. Dow: www.dow.com/#sle.
- 2. GAF: www.gaf.com/#sle.
- 3. Owens Corning Corporation: www.owenscorning.com/#sle.
- 4. Versico Roofing Systems; SecurShield Insulation: www.versico.com/#sle.
- 5. Substitutions: See Section 016000 Product Requirements.

2.02 ROOFING MEMBRANE AND ASSOCIATED MATERIALS

- A. Membrane: Ethylene-propylene-diene-monomer (EPDM); non-reinforced; complying with minimum properties of ASTM D4637/D4637M.
 - 1. Thickness: 60 mil, 0.060 inch (1.5 mm), minimum.
 - 2. Sheet Width: 120 inches (3,048 mm), maximum; factory fabricate into widest possible sheets.
- B. Seaming Materials: As recommended by membrane manufacturer.
- C. Membrane Fasteners: As recommended by and approved by membrane manufacturer.
- D. Flexible Flashing Material: Same material as membrane.

2.03 COVER BOARDS

- A. Cover Boards: Faced and with high compressive strength polyisocyanurate (ISO) insulation complying with ASTM C1289.
 - 1. Classifications:

- a. Type II Faced with either cellulosic facers or glass fiber mat facers on both major surfaces of the core foam.
 - Class 4 Faced with coated or uncoated glass fiber mat facers on both major surfaces of the core foam. This product is used at a maximum thickness of 1/2 inch (12.7 mm).
 - (a) Compressive Strength: Grade 1, 80 psi (Grade 1, 551 kPa), minimum.
- 2. Board Size: 48 by 96 inches (1220 by 2440 mm).
- 3. Board Thickness: 1/2 inch (12.7 mm).
- 4. Thermal Resistance at 1/2 inch (12.7 mm) Thick, R-value (RSI-value): 2.0 (0.35).

2.04 INSULATION

- A. Polyisocyanurate (ISO) Board Insulation: Rigid cellular foam, complying with ASTM C1289.
 - 1. Classifications:
 - a. Type I: Faced with aluminum foil on both major surfaces of the core foam.
 - 1) Class 2 Glass fiber reinforced or non-reinforced core foam.
 - 2) Compressive Strength: 16 psi (110 kPa), minimum.
 - 3) Thermal Resistance, R-value (RSI-value): At 1-1/2 inch (38.1 mm) thick; 9.0 (1.59) at 75 degrees F (24 degrees C).
 - 2. Board Size: 48 by 96 inches (1220 by 2440 mm).
 - 3. Board Thickness: 2.0 inch (50 mm).
 - 4. Board Edges: Square.

2.05 ACCESSORIES

- A. Stack Boots: Prefabricated flexible boot and collar for pipe stacks through membrane; same material as membrane.
- B. Insulation Joint Tape: Glass fiber reinforced type as recommended by insulation manufacturer, compatible with roofing materials; 6 inches (152 mm) wide; self adhering.
- C. Insulation Fasteners: Appropriate for purpose intended.
 - 1. Length as required for thickness of insulation material and penetration of deck substrate, with metal washers.
- D. Membrane Adhesive: As recommended by membrane manufacturer.
- E. Thinners and Cleaners: As recommended by adhesive manufacturer, compatible with membrane.
- F. Sealants: As recommended by membrane manufacturer.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that surfaces and site conditions are ready to receive work.
- B. Verify deck is supported and secure.
- C. Verify deck is clean and smooth, flat, free of depressions, waves, or projections, properly sloped and suitable for installation of roof system.
- D. Verify deck surfaces are dry and free of snow or ice.
- E. Verify that roof openings, curbs, and penetrations through roof are solidly set, and cant strips are in place.

3.02 INSTALLATION - INSULATION, UNDER MEMBRANE

- A. Attachment of Insulation: Mechanically fasten insulation to deck in accordance with roofing manufacturer's instructions.
- B. Cover Boards: Mechanically fasten cover boards in accordance with roofing manufacturer's instructions and FM (AG) Factory Mutual requirements.
- C. Lay subsequent layers of insulation with joints staggered minimum 6 inches (152 mm) from joints of preceding layer.

- D. Lay boards with edges in moderate contact without forcing. Cut insulation to fit neatly to perimeter blocking and around penetrations through roof.
- E. Tape joints of insulation in accordance with roofing and insulation manufacturers' instructions.
- F. Do not apply more insulation than can be covered with membrane in same day.

3.03 INSTALLATION - MEMBRANE

- A. Roll out membrane, free from wrinkles or tears. Place sheet into place without stretching.
- B. Shingle joints on sloped substrate in direction of drainage.
- C. Overlap edges and ends and seal seams by contact adhesive, minimum 3 inches (76 mm). Seal permanently waterproof. Apply uniform bead of sealant to joint edge.
- D. Mechanical Attachment: Install membrane and mechanical attachment devices in accordance with manufacturer's instructions.
- E. At intersections with vertical surfaces:
 - 1. Extend membrane over cant strips and up a minimum of 4 inches (102 mm) onto vertical surfaces.
 - 2. Fully adhere flexible flashing over membrane and up to nailing strips.
- F. Around roof penetrations, seal flanges and flashings with flexible flashing.
- G. Coordinate installation of roof drains and sumps and related flashings.

3.04 CLEANING

- A. See Section 017000 Execution and Closeout Requirements for additional requirements.
- B. Remove bituminous markings from finished surfaces.
- C. In areas where finished surfaces are soiled by work of this section, consult manufacturer of surfaces for cleaning advice and comply with their documented instructions.
- D. Repair or replace defaced or damaged finishes caused by work of this section.

3.05 PROTECTION

- A. Protect installed roofing and flashings from construction operations.
- B. Where traffic must continue over finished roof membrane, protect surfaces using durable materials.

END OF SECTION

SECTION 321216 ASPHALT PAVING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Aggregate base course.
- B. Double course bituminous concrete paving.
- C. Surface sealer.

1.02 RELATED REQUIREMENTS

- A. Section 312200 Grading: Preparation of site for paving and base.
- B. Section 321123 Aggregate Base Courses: Aggregate base course.
- C. Section 321723 Pavement Markings.

1.03 REFERENCE STANDARDS

- A. Al MS-2 Asphalt Mix Design Methods 2015.
- B. Al MS-19 Basic Asphalt Emulsion Manual 2008.

1.04 QUALITY ASSURANCE

- A. Perform Work in accordance with State of Illinois Highways standard.
- B. Mixing Plant: Complying with State of Illinois Highways standard.
- C. Obtain materials from same source throughout.

PART 2 PRODUCTS

2.01 MATERIALS

- A. Aggregate for Base Course: In accordance with State of Illinois Highways standards.
- B. Aggregate for Binder Course: In accordance with State of Illinois Highways standards.
- C. Aggregate for Wearing Course: In accordance with State of Illinois Highways standards.
- D. Fine Aggregate: In accordance with State of Illinois Highways standards.

2.02 ASPHALT PAVING MIXES AND MIX DESIGN

- A. Asphalt Base Course: State of Illinois Highways standards.
- B. Asphalt Binder Course: State of Illinois Highways standards.
- C. Asphalt Wearing Course: State of Illinois Highways standards.

PART 3 EXECUTION

3.01 EXAMINATION

- Verify that compacted subgrade is dry and ready to support paving and imposed loads.
- B. Verify gradients and elevations of base are correct.

3.02 AGGREGATE BASE COURSE

A. Place and compact aggregate base course.

3.03 PREPARATION - PRIMER

- A. Apply primer in accordance with manufacturer's instructions.
- B. Apply primer on aggregate base or subbase at uniform rate of 1/3 gal/sq yd.

3.04 PLACING ASPHALT PAVEMENT - DOUBLE COURSE

- A. Place asphalt binder course within 24 hours of applying primer or tack coat.
- B. Place asphalt wearing course within 24 hours of placing and compacting binder course.

ASPHALT PAVING 32 1216 - 1

- C. Compact pavement by rolling to specified density. Do not displace or extrude pavement from position. Hand compact in areas inaccessible to rolling equipment.
- D. Perform rolling with consecutive passes to achieve even and smooth finish, without roller marks.

3.05 SEAL COAT

A. Apply seal coat to asphalt surface course and asphalt curbs in accordance with Al MS-19.

3.06 TOLERANCES

- A. Flatness: Maximum variation of 1/4 inch measured with 10 foot straight edge.
- B. Variation from True Elevation: Within 1/2 inch.

3.07 FIELD QUALITY CONTROL

- A. See Section 014000 Quality Requirements, for general requirements for quality control.
- B. Provide field inspection and testing. Take samples and perform tests in accordance with Al MS-2.

3.08 PROTECTION

A. Immediately after placement, protect pavement from mechanical injury for 7 days or until surface temperature is less than 140 degrees F.

3.09 SCHEDULE

A. Pavement at Parking Areas: Refer to drawings.

END OF SECTION

ASPHALT PAVING 32 1216 - 2

SECTION 321713 PARKING BUMPERS

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Precast concrete parking bumpers and anchorage.

1.02 RELATED REQUIREMENTS

A. Section 321723 - Pavement Markings.

1.03 REFERENCE STANDARDS

- A. ASTM A615/A615M Standard Specification for Deformed and Plain Carbon-Steel Bars for Concrete Reinforcement 2022.
- B. ASTM C150/C150M Standard Specification for Portland Cement 2022.
- C. ASTM C260/C260M Standard Specification for Air-Entraining Admixtures for Concrete 2010a (Reapproved 2016).
- D. ASTM C330/C330M Standard Specification for Lightweight Aggregates for Structural Concrete 2017a.

PART 2 PRODUCTS

2.01 MATERIALS

- A. Parking Bumpers: Precast concrete, complying with the following:
 - 1. Nominal Size: 6 inches high, 6 inches wide, 6 feet long.
 - 2. Cement: ASTM C150/C150M, Portland Type I Normal; white color.
 - 3. Concrete Materials: ASTM C330/C330M aggregate, water, and sand.
 - 4. Reinforcing Steel: ASTM A615/A615M, deformed steel bars; unfinished, strength and size commensurate with precast unit design.
 - 5. Air Entrainment Admixture: ASTM C260/C260M.
 - 6. Concrete Mix: Minimum 5,000 psi (34 MPa) compressive strength after 28 days, air entrained to 5 to 7 percent.
 - 7. Use rigid molds, constructed to maintain precast units uniform in shape, size and finish. Maintain consistent quality during manufacture.
 - 8. Embed reinforcing steel, and drill or sleeve for two dowels.
 - 9. Cure units to develop concrete quality, and to minimize appearance blemishes such as non-uniformity, staining, or surface cracking.
 - 10. Minor patching in plant is acceptable, providing appearance of units is not impaired.

PART 3 EXECUTION

3.01 INSTALLATION

- A. Install units without damage to shape or finish. Replace or repair damaged units.
- B. Install units in alignment with adjacent work.

END OF SECTION

SECTION 321723 PAVEMENT MARKINGS

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Painted pavement markings - parking lot and basketball court.

1.02 RELATED REQUIREMENTS

- A. Section 321216 Asphalt Paving.
- B. Section 321313 Concrete Paving.
- C. Section 321713 Parking Bumpers.

1.03 REFERENCE STANDARDS

A. AASHTO MP 24 - Standard Specification for Waterborne White and Yellow Traffic Paints 2015 (Reapproved 2020).

1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than three years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of the type specified and with at least three years of documented experience and approved by manufacturer.

1.05 DELIVERY, STORAGE, AND HANDLING

A. Store products in manufacturer's unopened packaging until ready for installation.

1.06 FIELD CONDITIONS

A. Do not install products under environmental conditions outside manufacturer's absolute limits.

PART 2 PRODUCTS

2.01 PAINTED PAVEMENT MARKINGS

- A. Painted Pavement Markings: As indicated on drawings.
 - 1. Marking Paint: In accordance with AASHTO MP 24.
 - a. Parking Lots: Yellow.
 - b. Basketball Court: White
 - c. Symbols and Text: Yellow.
 - d. Wheelchair Symbols: Provide blue and white.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verification of Conditions: Verify that pavement is dry and ready for installation.
- B. Notify Architect of unsatisfactory conditions before proceeding.

3.02 PREPARATION

- A. Clean surfaces prior to installation.
 - 1. Remove dust, dirt, and other debris.
- B. Apply paint stencils by type and color at necessary intervals.

3.03 INSTALLATION

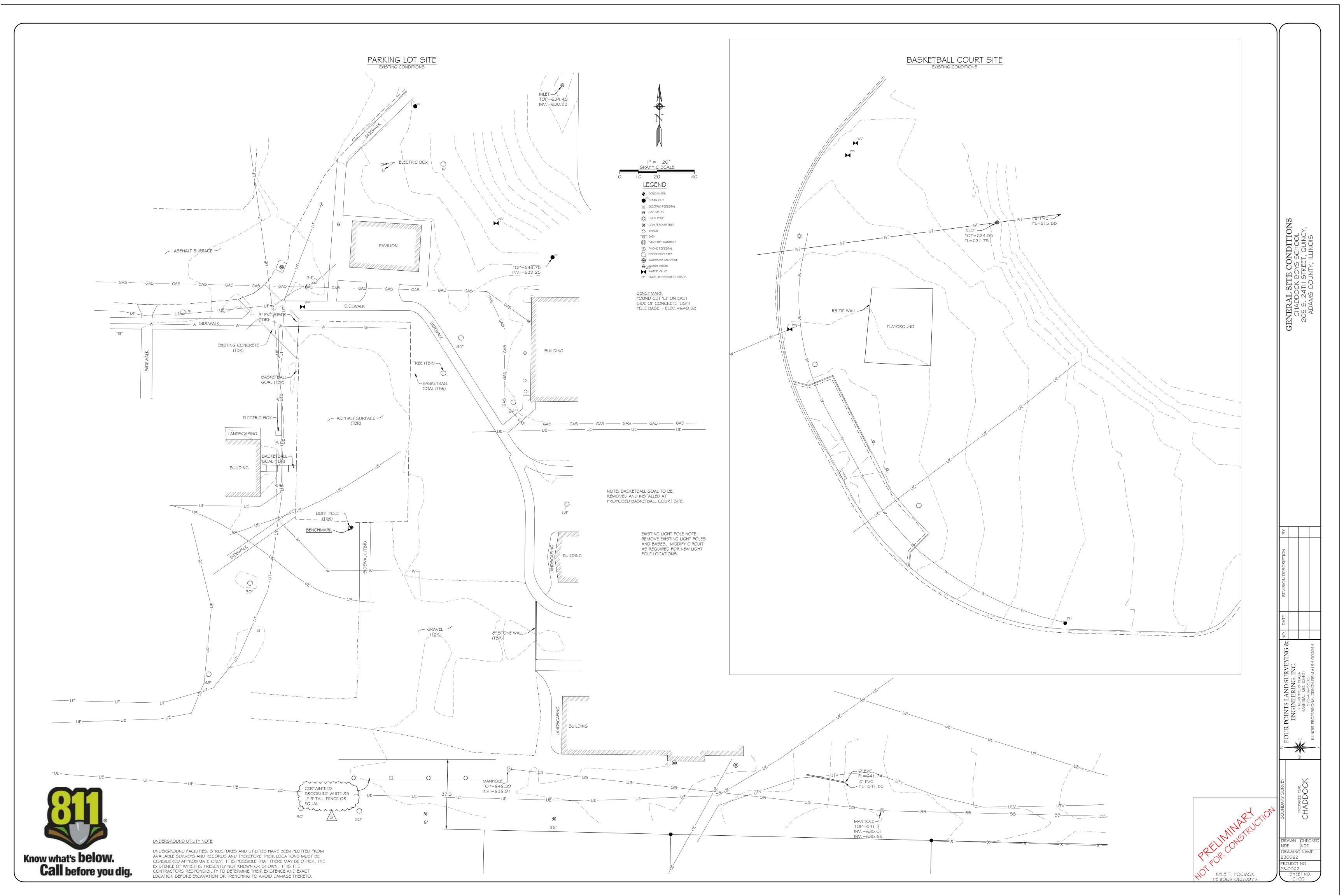
- A. General:
 - 1. Position pavement markings as indicated on drawings.
 - 2. Field location adjustments require approval of Architect.
- B. Painted Pavement Markings:
 - 1. Apply in accordance with manufacturer's instructions.
 - 2. Marking Paint: Apply uniformly, with sharp edges.

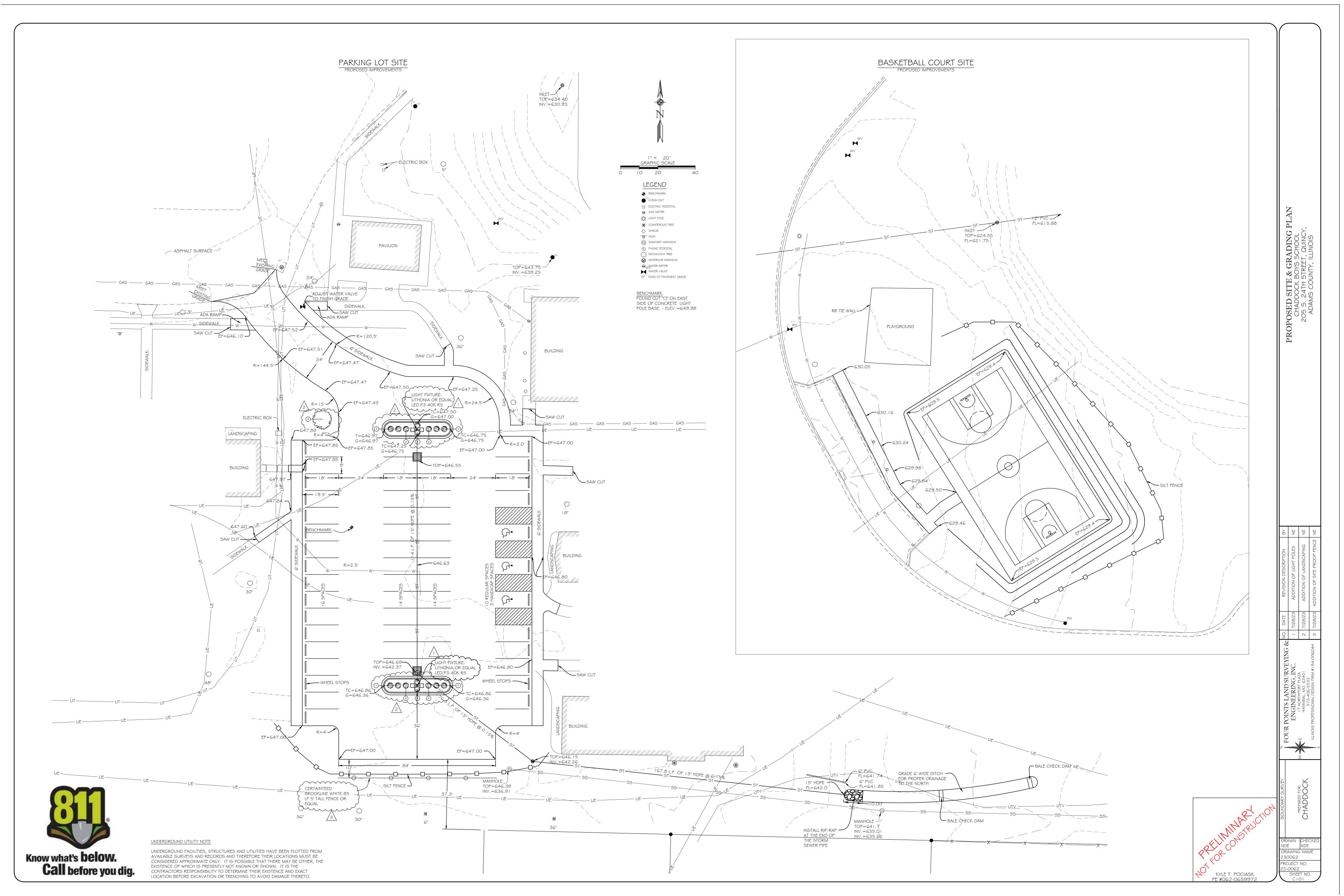
- a. Applications: One coat.
- b. Wet Film Thickness: 0.015 inch (0.4 mm), minimum.
- c. Stencils: Lay flat against pavement, align with striping, remove after application.

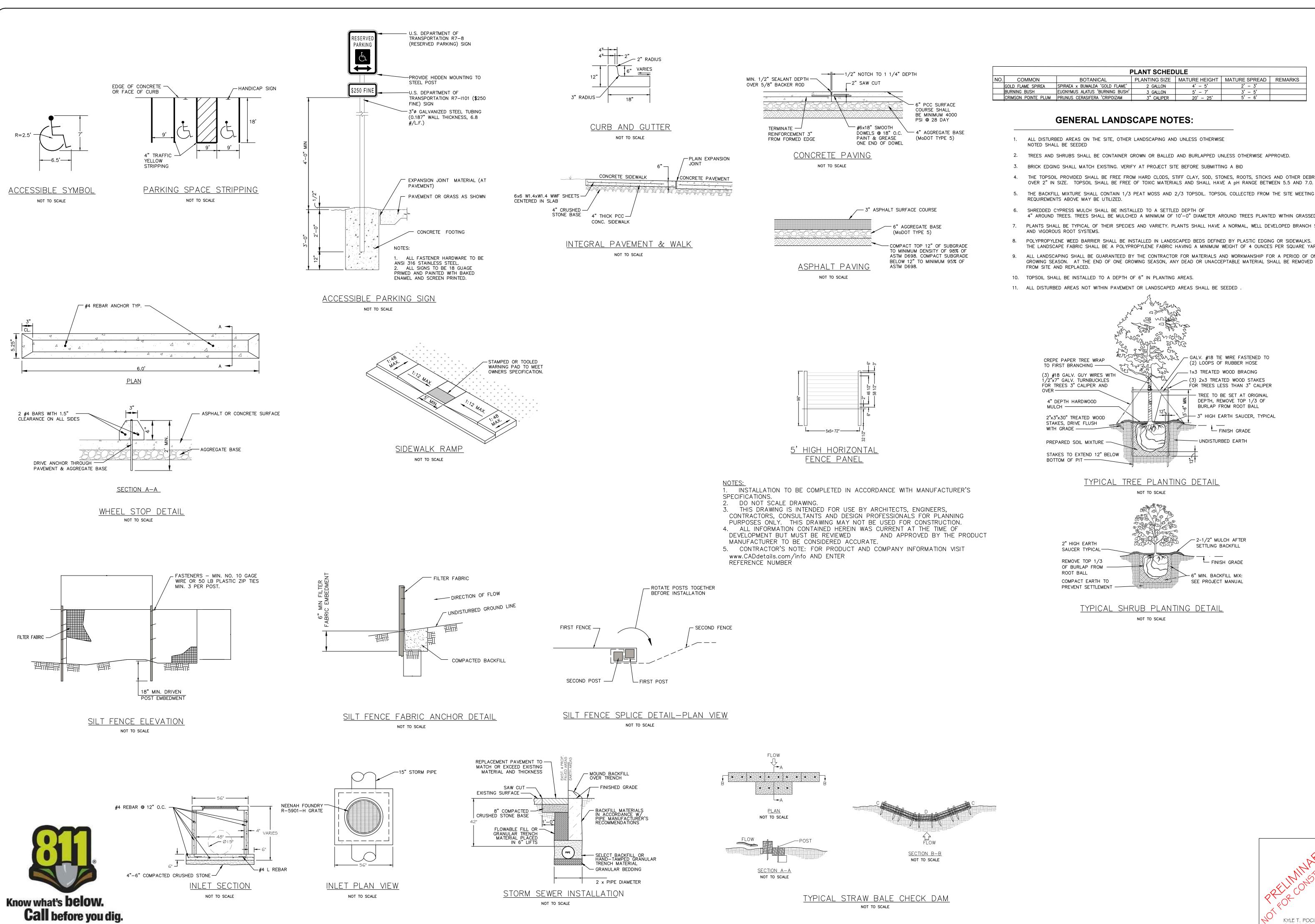
3.04 PROTECTION

- A. Prevent approaching traffic from crossing newly applied pavement markings.
- B. Replace damaged or removed markings at no additional cost to Owner.

END OF SECTION



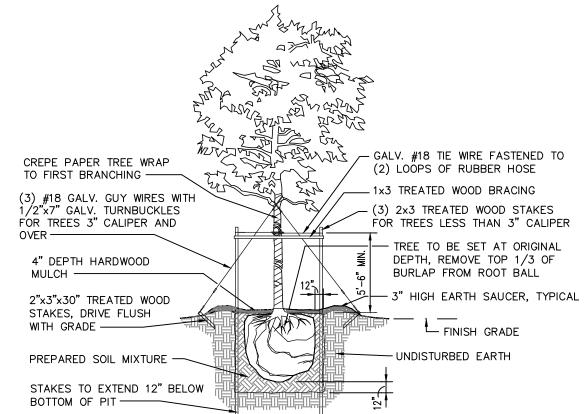




PLANT SCHEDULE SPIRAEA x BUMALDA 'GOLD FLAME' 2 GALLON BURNING BUSH EUONYMUS ALATUS 'BURNING BUSH' 3 GALLON CRIMSON POINTE PLUM PRUNUS CERASIFERA 'CRIPOIZAM 3" CALIPER

GENERAL LANDSCAPE NOTES:

- 1. ALL DISTURBED AREAS ON THE SITE, OTHER LANDSCAPING AND UNLESS OTHERWISE
- 2. TREES AND SHRUBS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED UNLESS OTHERWISE APPROVED.
- THE TOPSOIL PROVIDED SHALL BE FREE FROM HARD CLODS, STIFF CLAY, SOD, STONES, ROOTS, STICKS AND OTHER DEBRIS OVER 2" IN SIZE. TOPSOIL SHALL BE FREE OF TOXIC MATERIALS AND SHALL HAVE A pH RANGE BETWEEN 5.5 AND 7.0.
- THE BACKFILL MIXTURE SHALL CONTAIN 1/3 PEAT MOSS AND 2/3 TOPSOIL. TOPSOIL COLLECTED FROM THE SITE MEETING THE
- SHREDDED CYPRESS MULCH SHALL BE INSTALLED TO A SETTLED DEPTH OF
- 4" AROUND TREES. TREES SHALL BE MULCHED A MINIMUM OF 10'-0" DIAMETER AROUND TREES PLANTED WITHIN GRASSED AREAS.
- 7. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. PLANTS SHALL HAVE A NORMAL, WELL DEVELOPED BRANCH SYSTEM
- THE LANDSCAPE FABRIC SHALL BE A POLYPROPYLENE FABRIC HAVING A MINIMUM WEIGHT OF 4 OUNCES PER SQUARE YARD.
- ALL LANDSCAPING SHALL BE GUARANTEED BY THE CONTRACTOR FOR MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE GROWING SEASON. AT THE END OF ONE GROWING SEASON, ANY DEAD OR UNACCEPTABLE MATERIAL SHALL BE REMOVED
- 10. TOPSOIL SHALL BE INSTALLED TO A DEPTH OF 6" IN PLANTING AREAS.
- 11. ALL DISTURBED AREAS NOT WITHIN PAVEMENT OR LANDSCAPED AREAS SHALL BE SEEDED



TYPICAL TREE PLANTING DETAIL

NOT TO SCALE - 2-1/2" MULCH AFTER SETTLING BACKFILL FINISH GRADE 6" MIN. BACKFILL MIX: COMPACT EARTH TO SEE PROJECT MANUAL

TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE

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UR POINTS LAND SURVEYING ENGINEERING, INC.

- B. THE ESTIMATED AREA OF DISTURBANCE IS 0.9 ACRES. THE DISTURBED AREA WILL ALL BE ATTRIBUTED TO CLEARING AND GRUBBING, REMOVAL OF AN EXISTING ASPHALT PARKING LOT AND UNCLASSIFIED EXCAVATION, THE CONSTRUCTION OF GRAVEL AND ASPHALT OR CONCRETE PAVED AREAS, AND THE CONSTRUCTION OF A STORM SEWER.
- . THE SEQUENCE OF EVENTS SHALL BE: CONSTRUCTION OF SURROUNDING SAFETY FENCE.
- CLEARING AND GRUBBING III. EXCAVATION AND THE MOVING OF SOIL TO FORM AND SHAPE THE DEVELOPMENT AREA TO THE PROPOSED GRADES AND ELEVATIONS INCLUDING THE INSTALLATION OF TEMPORARY BMPS TO MANAGE STORMWATER DRAINAGE AND PREVENT RUNOFF OF SILT AND DEBRIS.
- IV. THE LAYOUT OF DRIVING SURFACES AND THE CONSTRUCTION OF THE STORM SEWER. V. PLACEMENT OF BORROWED GRANULAR MATERIAL. VI. CONSTRUCTION OF SITE PARKING LOT, ENTRANCE, BASKETBALL COURT AND STORM
- SEWER. SITE PLAN A THE PLAN SHOWS THE EXISTING PRE-DEVELOPMENT SITE AND THE PROPOSED SITE DEVELOPMENT. THE PLAN PROVIDES THE
 - FOLLOWING INFORMATION: THE SITE CONTOURS.
 - THE DIRECTIONS RUNOFF FLOV
 - THE EXISTING POINT OF FLOW DISCHARGE AS INDICATED BY THE CONTOURS. THE FROSION CONTROL PRACTICES THE AREAS TO BE DISTURBED (THE ENTIRE 0.9 ACRES IS TO BE DISTURBED).
- THE SITE WILL BE GRADED SO THAT ALL WATER RUNOFF WILL FLOW EAST IN THE PROPOSED STORM SEWER AND THEN TO THE DITCH ON THE SOUTHERLY SIDE OF THE PROPERTY. 3. TEMPORARY AND PERMANENT BMP'S INCLUDE:
- FERTILIZING, SEEDING AND MULCHING: SEEDING AND MULCHING WILL BE DONE ONCE ALL WORK IS COMPLETE AND AT THE
- EARLIEST POSSIBLE TIME II. THE SEEDING WILL BE APPLIED USING A BLEND OF SEED CONTAINING FAST GERMINATING ANNUAL GRASSES AND PERENNIAL GRASSES SUITABLE TO THE LOCATION. THE MIX SHALL BE SIMILAR TO THE FOLLOWING: 40% TURF TYPE FESCUE 20% CREEPING RED FESCUE 20% FAWN TALL FESCUE
- III. MULCHING SHALL BE DONE TO PROTECT SEEDED AREAS. VEGETATIVE MULCH SHALL BE STRAW FROM STALKS OF OATS, WHEAT, RYE, OR BARLEY, OR OTHER FOLIAGE FROM PLANTS. THE STRAW SHALL BE RELATIVELY FREE FROM NOXIOUS AND UNDESIRABLE SEEDS. THE STRAW SHALL BE CLEAN AND BRIGHT, RELATIVELY FREE OF FOREIGN MATERIAL, AND BE DRY ENOUGH TO SPREAD
- V. FERTILIZER SHALL BE COMMERCIAL GRADE WITH A CONSTITUENT MAKEUP OF 12-12-12 AND SHALL BE APPLIED AT A RATE OF 200 LBS PER ACRE. IF AGRICULTURAL LIME IS TO BE APPLIED, IT SHALL CONTAIN AT LEAST 40 PERCENT CALCIUM CARBONATE.
- SILT FENCE: SILT FENCE WILL BE INSTALLED AT ANY LOCATIONS AS MAY BE NEEDED DURING CONSTRUCTION. SILT FENCE WILL BE BURIED A MINIMUM OF 6" SO THAT NO WATER CAN PASS UNDER THE BARRIER. SILT FENCE WILL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. SILT FENCE WILL REMAIN IN PLACE UNTIL IT IS DETERMINED THAT SUFFICIENT PERMANENT BMP'S ARE IN PLACE. SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT REACHES ONE HALF THE HEIGHT OF THE BARRIER OR AS NFFDFD
- DITCH CHECKS (STRAW BALES): DITCH CHECKS SHALL BE PLACED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. DITCH CHECKS SHALL BE SUFFICIENT STAKED IN
- PLACE TO STABLE AND RESISTANT TO MOVEMENT. II. CONSTRUCT A 1'TO 1.5' HIGH BY 2.5' TO 3.0' WIDER BERM PARALLEL TO THE BASE OF THE SLOPE OR AROUND THE PERIMETER OF OTHER AFFECTED AREAS. III. DO NOT USE COMPOST BERMS IN ANY RUNOFF CHANNELS.
- 4 SEDIMENTATION BASINS: ONLY 0.9 ACRES WILL BE DISTURBED AT THE SITE THEREFORE A DEDICATED SEDIMENTATION BASIN WILL NOT BE REQUIRED.
- 5. POLLUTION PREVENTION MEASURES: IN ORDER TO PREVENT POLLUTING AREAS IMPACTED BY THE NATURAL FLOW OF WATER AWAY FROM THE SITE, ALL WASTE, TRASH, GARBAGE, OIL, GREASE, WILL BE REMOVED FROM THE WORK SITE AND DISPOSED OF IN A PROPER

MANNER IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAW

- EXCESS CONCRETE AND CONCRETE TRUCK WASHOUT SHALL OCCUR IN A DESIGNATED CONTAINED AREA FUEL AND OIL SHALL NOT BE STORED ON SITE DURING CONSTRUCTION. REFUELING SHALL OCCUR IN THE DESIGNATED REFUELING AREA. ALL REFUELING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE LOCAL
- STATE, AND FEDERAL RULES AND ANY SPILLS OR LEAKAGE SHALL CONTAINED AND PROPERLY ADDRESSED. ENGINEERED FILL AND SOIL IMPROVEMENT MATERIALS SHALL BE IMMEDIATELY INCORPORATED INTO THE SOIL AND PLACED AS NEEDED. EXTRA MATERIALS SHALL BE WORKED INTO THE SOIL OR REMOVED FROM THE SITE. THEY SHALL
- THE SITE IS CONNECTED TO SOUTH 24TH STREET VIA AN INTERNAL DRIVEWAY. THE CONTRACTOR SHALL TAKE CARE NOT TO DEPOSIT SEDIMENT AND SOIL ONTO THE ROADWAY OR DRIVEWAY.

NOT BE PERMITTED TO RUNOFF THE SITE.

- I. SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL ALL CONSTRUCTION MEANS AND METHODS AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ALL UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE INFORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- NAD 83 ILLINOIS STATE PLANE WEST COORDINATE SYSTEM USED. THE ABOVE SITE IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN IDENTIFIED FOR ADAMS COUNTY, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP PANEL NUMBER 17001C033GD, DATED JUNE 02, 2011
- TOPOGRAPHIC SURVEY PREPARED BY FOUR POINTS LAND SURVEYING AND ENGINEERING, INC. THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE OWNER, ARCHITECT AND ENGINEER IS NOT RESPONSIBLE FOR ANY MISCHARTED OR UNCHARTED UTILITIES OR OTHER DISCREPANCIES DETECTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS.

DUTY TO INDEMNIFY

OWNERS ARISING OUT OF THE DEFENSE OF SAID PARTIES.

THE CONTRACTOR SHALL DEFEND. INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER. AND ENGINEER. AND THEIR RESPECTIVE BOARD MEMBERS. REPRESENTATIVES. AGENTS AND EMPLOYEES. IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEYS FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO, THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REV. STAT. CH. 48, PAR.60 ET SEQ.). AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL.REV. STAT CH 17 1/2 PAR.51 ET SEQ). IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE

GENERAL NOTES AND CONDITIONS

- I. THE MUNICIPAL AUTHORITY GOVERNING THIS WORK IS THE CITY OF QUINCY, IL
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING SPECIFICATIONS. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THE THESE STANDARDS AND SPECIFICATIONS, THEN THE MOST RESTRICTIVE PROVISION(S) SHALL
- A. ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION. (STANDARD SPECIFICATIONS)
- B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS" AS PUBLISHED BY THE IEPA
- "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) LATEST EDITION. THE MUNICIPALITY'S CODES, REGULATIONS, ORDINANCES AND STANDARDS.
- DETAILS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL" LATEST EDITION. G. 2018 EDITION OF THE STATE OF ILLINOIS ACCESSIBILITY CODE AND/OR THE 2010 EDITION OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND ADA STANDARDS FOR ACCESSIBLE DESIGN.
- 3. THE PROJECT SPECIFICATIONS SHALL GOVERN THE CONSTRUCTION OF THIS DEVELOPMENT ALONG WITH THE ABOVE SPECIFICATIONS. WHERE ANY CONFLICT MAY OCCUR, THE CONTRACTOR SHALL SUBMIT IN WRITING A NOTICE OF SUCH CONFLICT TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR A WRITTEN DECISION ON WHICH MAY GOVERN
- 4. IN THE EVENT OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS CLIENT AND OR CONTRACTOR SHALL IMMEDIATELY, AND BEFORE ANY WORK HAS BEGUN OR COSTS INCURRED, REQUEST CLARIFICATION FROM THE ENGINEER WHOSE INTERPRETATION SHALL BE FINAL AND BINDING UPON ALL PARTIES CONCERNED. NEITHER CLIENT NOR CONTRACTOR SHALL TAKE ADVANTAGE OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. FAILING TO SECURE SUCH CLARIFICATION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND
- THE "STANDARD SPECIFICATIONS", CONSTRUCTION PLANS AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE
- 6. THE MUNICIPALITY OR AGENCY HAVING JURISDICTION (AHJ) SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS CONSTRUCTED UNDER THESE CONTRACT DOCUMENTS.
- 7. ANY QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE CONDITIONS. THE PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS SUM FOR THE COMPLETE PROJECT, THE BIDDER SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, VISIT THE PROJECT SITE AND FULLY INFORM THEMSELVES AS TO ALL CONDITIONS AND MATTERS WHICH CAN AFFECT THEIR WORK AND THE COST THEREOF. ANY DISCREPANCIES, OMISSIONS OR DOUBTS IN INTENT OF THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND OBTAIN CLARIFICATION PRIOR TO SUBMITTING OF ANY BID. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED, UNLESS ORDERED IN WRITING BY THE OWNER.
- THE IMPROVEMENTS SHOWN ON THE ENGINEERING PLANS SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL AND EQUIPMENT, ETC., AS NECESSARY TO PERFORM THE WORK INDICATED.
- 9. NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION".
- IO. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS AND MUNICIPALITY REGULATIONS AND STANDARDS AND SHALL CONFORM IN ALL RESPECTS TO ALL STATE AND FEDERAL LAWS.
- II. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR MUST CALL 811 OR J.U.L.I.E AT 800.892-0123 AT LEAST 72 HOURS BEFORE THE START OF ANY CONSTRUCTION WORK. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT LOCAL UTILITY LOCATION SERVICE FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. IF ANY EXISTING UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THEIR RESPECTIVE OWNER'S CRITERIA.
- 12. THE MUNICIPALITY AND UTILITY OWNERS SHALL BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF ANY APPROVED CONSTRUCTION ACTIVITY IN ORDER TO SCHEDULE ALL REQUIRED INSPECTIONS.
- 13. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORD.
- 14. EXCAVATIONS SHOULD COMPLY WITH THE REQUIREMENTS OF OSHA (STANDARDS 29 CFR), PART 1926, SUBPART P. "EXCAVATIONS" AND ITS APPENDICES, AS WELL AS OTHER APPLICABLE CODES. THIS DOCUMENT STATES THAT THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF STABLE, TEMPORARY EXCAVATIONS. THE EXCAVATIONS SHOULD NOT ONLY BE IN ACCORDANCE WITH CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS BUT ALSO WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR SHOULD SHORE, SLOPE OR BENCH THE EXCAVATION SIDES WHEN APPROPRIATE. SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL ALSO BE RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCING OF CONSTRUCTION OPERATIONS.
- 15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, EXCESS MATERIALS, DEBRIS, ETC. SHALL BE LEGALLY DISPOSED OF AT OFF-SITE LOCATIONS PROVIDED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ION SITE SAFETY IS SOLE RESPONSIBILITY OF THE CONTRACTOR WHO CONTROLS THE MEANS METHODS. AND SEQUENCING OF CONSTRUCTION OPERATIONS. UNDER NO CIRCUMSTANCES SHALL THE INFORMATION PROVIDED HEREIN BE INTERPRETED TO MEAN THE ENGINEER IS ASSUMING RESPONSIBILITY FOR CONSTRUCTION SITE SAFETY, OR THE CONTRACTOR'S ACTIVITIES: SUCH RESPONSIBILITY SHALL NEITHER BE IMPLIED NOR INFERRED.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AND PUBLIC AT ALL TIMES. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH ARTICLE 700 OF THE STANDARD SPECIFICATIONS.
- 18. SITE ACCESS CONTROL INCLUDING SAFETY FENCES, AND ALL CONSTRUCTION MEANS AND METHODS AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 19. ALL EXISTING TRAFFIC SIGNS, STREET SIGNS, ETC., WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR REMOVAL OR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT LOCATIONS AS DESIGNATED BY THE MUNICPALITY OR AHJ. THIS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DAMAGE TO THESE ITEMS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. ALL SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE MUNICIPALITY OR AHJ AS APPROPRIATE.
- 20. ALL PERMANENT TYPE PAVEMENTS OR PERMANENT IMPROVEMENTS WHICH ABUT THE PROPOSED IMPROVEMENT AND MUST BE REMOVED, SHALL BE FULL DEPTH SAW-CUT PRIOR TO REMOVAL. ALL ITEMS SO REMOVED SHALL BE REPLACED WITH SIMILAR CONSTRUCTION MATERIALS TO THEIR ORIGINAL CONDITION OR BETTER. PAYMENT FOR SAWING SHALL BE INCLUDED IN THE COST FOR REMOVAL OF EACH ITEM AND REPLACEMENT WILL BE PAID UNDER THE RESPECTIVE ITEMS IN THE CONTRACT, UNLESS OTHERWISE INDICATED
- WHERE OVERHANGING BRANCHES INTERFERE WITH OPERATIONS OF CONSTRUCTION, SAID BRANCHES SHALL BE TRIMMED AND SEALED IN ACCORDANCE WITH ARTICLE 253.09 OF THE STANDARD SPECIFICATIONS, AND THE COST OF SAME SHALL BE INCIDENTAL TO THE CONTRACT. IF TREES OR SHRUBS MUST BE REMOVED, THEY WILL BE PAID FOR IN ACCORDANCE WITH THE SPECIFICATIONS.
- WHENEVER THE PERFORMANCE OF WORK IS INDICATED ON THE PLANS, AND NO ITEM IS INCLUDED IN THE CONTRACT FOR PAYMENT, THE WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- 23. CONTRACTOR SHALL RETAIN THE SERVICES OF AN ILLINOIS PROFESSIONAL ENGINEER OR A PROFESSIONAL ILLINOIS LAND SURVEYOR TO PREPARE RECORD DRAWINGS SHOWING THE ELEVATION OF ALL RIMS AND INVERTS OF ALL PIPES AND STRUCTURES. PIPES, LOCATION OF ALL VALVES, STRUCTURES, FIRE HYDRANTS, UNDERGROUND PIPES, AND RECORD THE INFORMATION ON THE RECORD DRAWINGS AT THE JOB SITE AS THE WORK PROGRESSES. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL FURNISH A COMPLETE SET OF REPRODUCIBLE RECORD DRAWINGS SIGNED AND SEALED BY AN ILLINOIS PROFESSIONAL ENGINEER OR A PROFESSIONAL LAND SURVEYOR.
- 24. CONTRACTOR SHALL RETAIN THE SERVICES OF AN ILLINOIS PROFESSIONAL SURVEYOR TO STAKE OUT THE GRADE AND HORIZONTAL LAYOUT OF THE NEW WORK. THIS WORK SHALL NOT BE PAID FOR SEPARATELY AND SHALL BE INCIDENTAL TO THE CONTRACT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROTECT AND PRESERVE ANY ESTABLISHED REFERENCE POINTS AND STAKES AND SHALL MAKE NO CHANGES OR RELOCATIONS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER. CONTRACTOR SHALL REPORT TO ENGINEER WHENEVER ANY REFERENCE POINT IS LOST OR DESTROYED OR REQUIRES RELOCATION BECAUSE OF NECESSARY CHANGES IN GRADES OR LOCATIONS, AND SHALL BE RESPONSIBLE FOR THE ACCURATE REPLACEMENT OR RELOCATION OF SUCH REFERENCE POINTS BY PROFESSIONALLY QUALIFIED PERSONNEL AT HIS OR HER OWN EXPENSE.
- 25. SPECIAL ATTENTION IS DRAWN TO THE FACT THAT ARTICLE 105.0G OF THE "STANDARD SPECIFICATIONS" REQUIRES THE CONTRACTOR TO HAVE A COMPETENT SUPERINTENDENT ON THE PROJECT SITE AT ALL TIMES IRRESPECTIVE OF THE AMOUNT OF WORK SUBLET. THE SUPERINTENDENT SHALL BE CAPABLE OF READING AND UNDERSTANDING THE PLANS AND SPECIFICATIONS, SHALL HAVE FULL AUTHORITY TO EXECUTE ORDERS TO EXPEDITE THE PROJECT, AND SHALL BE RESPONSIBLE FOR SCHEDULING AND HAVE CONTROL OF ALL WORK AS THE AGENT OF THE GENERAL CONTRACTOR. FAILURE TO COMPLY WITH THIS PROVISION WILL RESULT IN A SUSPENSION OF WORK AS PROVIDED IN ARTICLE 108.07.
- 26. ALL EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED AND/OR CONNECTED TO THE STORM SEWER SYSTEM. CONNECTIONS SHALL BE MADE AT STRUCTURES; PREFERABLY CATCH BASINS ONLY. NO BLIND TAPS ARE ALLOWED. AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE
- 27. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER THE CITY AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE
- AT ALL TIMES. 29. IF ANY EXISTING UNDERGROUND UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED

PROPERLY PER THEIR RESPECTIVE OWNER'S CRITERIA.

28. ALL ROADS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS

30. CONTRACTOR SHALL PURCHASE AND MAINTAIN FOR THE DURATION OF THE WORK INSURANCE TO PROTECT ENGINEER, OWNER, ALL OF THEIR AGENTS, EMPLOYEES, SUCCESSORS, AND ASSIGNS FROM ANY AND ALL CLAIMS ARISING OUT OF THE CONSTRUCTION OF THE WORK INCLUDING NAMING THEM AS ADDITIONAL INSURED ON THE CONTRACTOR'S GENERAL LIABILITY POLICY, WHICH SHALL STATE THAT IT IS PRIMARY IN COVERAGE TO ANY INSURANCE CARRIED BY AGENTS, EMPLOYEES, SUCCESSORS, OR ASSIGNS.

31. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE, OR AS SPECIFIED IN THE PROJECT MANUAL. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.

EARTHWORK AND GRADING

- I. THE GEOTECHNICAL REPORT FOR THE PROJECT WAS PREPARED BY ECS, MIDWEST AND SHALL BE FOLLOWED. THE GEOTECHNICAL INVESTIGATION REPORT WILL BE PROVIDED.
- 2. SOIL EROSION CONTROL SPECIFICATIONS SHALL BE CONSIDERED AS PART OF THIS SECTION. ALL SOIL EROSION CONTROLS SHALL
- 3. SOIL EROSION AND DUST CONTROL MEASURES IN ACCORDANCE WITH THE "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS" SHALL BE FOLLOWED. ADDITIONAL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE AHJ OR OWNER.
- ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO
- 5. STOCKPILING OF SOIL SHALL BE AT LOCATIONS APPROVED BY THE OWNER.
- PROPOSED PAVEMENT AREAS AND WHEN APPLICABLE, BUILDING PADS, DRIVEWAYS AND SIDEWALKS SHALL BE EXCAVATED OR FILLED TO PLUS OR MINUS O. I FOOT OF DESIGN SUBGRADE ELEVATIONS BY THE CONTRACTOR. PRIOR TO PLACEMENT OF ANY PAVEMENTS, CURBS, WALK, ETC., THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK, MINIMUM OF FIFTEEN (15) TONS. PROOF-ROLLING SHALL BE WITNESSED THE GEOTECHNICAL ENGINEER, PROVIDED BY THE OWNER, AND THE MUNICIPAL REPRESENTATIVE. THE DENSITY OF IN-PLACE BASE, SUBGRADE AND ASPHALT PAVEMENT MATERIALS SHALL BE TESTED BY THE GEOTECHNICAL ENGINEER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE OWNER AND OWNER'S ENGINEER.
- THE SUBGRADE SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95) PERCENT OF MODIFIED PROCTOR DENSITY, PER ASTM D-1557. CONTRACTOR TO COORDINATE TESTING FOR COMPACTION WITH THE GEOTECHNICAL ENGINEER, PROVIDED BY THE OWNER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE OWNER AND OWNER'S
- 8. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR ANY OTHER METHOD ACCEPTABLE TO THE ENGINEER. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.
- 9. UPON COMPLETION OF THE SURFACE IMPROVEMENTS, THE CONTRACTOR SHALL RE-SPREAD A MINIMUM OF A 6" LAYER OF TOPSOIL ON ALL DISTURBED PARKWAY AND LANDSCAPED/LAWN AREAS AND RESTORE WITH SOD.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SPOILS MATERIAL AS NECESSARY, PREPARING THE PAVEMENT SUBGRADE, PLACING REQUIRED DEPTH OF TOPSOIL TO FINISH GRADE, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS MAY BE DIRECTED BY THE OWNER OR OWNER'S ENGINEER.

PRIOR TO PAVING OPERATIONS, THE CONTRACTOR SHALL PROOF-ROLL THE SUBGRADE PRIOR TO PLACING AGGREGATE BASE, AS WITNESSED BY THE GEOTECHNICAL ENGINEER. COMPLETELY PROOF-ROLL SUBGRADE WITH A FULLY LOADED, TANDEM-AXLE, DUMP TRUCK WEIGHING NOT LESS THAN FIFTEEN (15) TONS. UNDERCUTTING AND/OR OTHER ACCEPTABLE SUBGRADE REPAIRS SHALL BE COMPLETED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER, OWNER, AND OWNER'S ENGINEER. PAYMENT FOR THE CORRECTION OF THE SUBGRADE WILL BE PAID ACCORDING TO THE CONTRACT.

- THE PROPOSED ASPHALT PAVEMENT SHALL CONSIST OF THE SUBGRADE COURSE (AS SPECIFIED) BASE COURSE, BITUMINOUS CONCRETE BINDER COURSE, AND BITUMINOUS CONCRETE SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS. PRIME COAT MATERIAL SHALL BE BITUMINOUS M.C. - 30. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" AND SUPPLEMENTAL SPECIFICATIONS, LATEST EDITIONS.
- ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND MUNICIPALITY PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER NECESSARY INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE ENGINEER TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER FOR CLEANING SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT FOR THE BINDER COURSE SHALL ALSO BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.3 GALLONS PER SQUARE YARD.
- A. ALL CURB AND GUTTER SHALL BE CONSTRUCTED WITH IDOT CLASS "SI" CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 14 DAYS. ALL CONCRETE SHALL HAVE A MINIMUM FLEXURAL STRENGTH OF 650 PSI. ALL CONCRETE SHALL
- B. CONTRACTION JOINTS SHALL BE SAW-CUT AT 20 FOOT INTERVALS AND CAULKED WITH JOINT SEALANT.
- C. PREFORMED FIBER BOARD EXPANSION JOINTS, 3/4 INCH THICK, SHALL BE PLACED FIVE FEET EITHER SIDE OF STORM AND EXISTING CURB AND GUTTER, AND AT 40 FOOT INTERVALS ON TANGENTS.
- D. 2-#5 DOWELS, 2 FEET LONG, SHALL BE PROVIDED AT ALL EXPANSION JOINTS AND AT CONNECTIONS BETWEEN EXISTING AND NEW CURB AND GUTTER. DOWELS SHALL BE CENTERED ON THE JOINT, (DRILLED INTO EXISTING CURB AND GUTTER), AND SHALL BE INSTALLED WITH GREASE CAPS ON ONE SIDE.
- E. THE PROPOSED CURB AND GUTTER AND PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THESE DRAWINGS, AND CONSTRUCTED IN CONFORMANCE WITH THE "STANDARD SPECIFICATIONS" PREVIOUSLY REFERENCED AND THE REQUIREMENTS OF THE AHJ.
- F. DEPRESSED CURB SHALL BE PROVIDED FOR HANDICAPPED RAMPS LOCATIONS.
- G. ALL JOINTS SHALL BE SEALED WITH CONCRETE JOINT SEALANT PER NOTE & BELOW.
- 5. CONCRETE SIDEWALK (INCLUDING CURB RAMPS):
- A. ALL SIDEWALK SHALL BE CONSTRUCTED WITH IDOT CLASS "SI" CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS. ALL CONCRETE SHALL HAVE A MINIMUM FLEXURAL STRENGTH OF 650 PSI. ALL CONCRETE SHALL BE
- B. TOOLED CONTRACTION JOINTS SHALL BE CONSTRUCTED AT EVERY ±FIVE (5) FEET, OR AS SHOWN ON PLANS, TOOLED CONTRACTION JOINTS SHALL EXTEND TO 1/4 THE DEPTH OF THE SIDEWALK AND SHALL BE 1/4 INCH IN WIDTH.
- C. PREFORMED FIBER BOARD EXPANSION JOINTS, 3/4" THICK, SHALL BE PLACED EVERY I 00' AND AT ALL ABUTTING DRIVEWAYS AND CURB AND GUTTER. FOR SIDEWALK ADJACENT TO CURB, EXPANSION JOINT SPACING SHALL MATCH CURB EXPANSION JOINTS AS PRACTICAL. FIBER BOARDS SHALL BE PLACED 1/2 INCH BELOW THE FINISHED SURFACE OF THE SIDEWALK AND CAULKED WITH JOINT SEALANT, MATCHING THE COLOR OF THE SIDEWALK.
- D. PREFORMED EXPANSION JOINTS, 1/2" THICK, SHALL BE PLACED BETWEEN BUILDINGS, LIGHT POLES, TRAFFIC SIGNALS, AND OTHER RIGID STRUCTURES AND CAULKED WITH JOINT SEALANT, MATCHING THE COLOR OF THE SIDEWALK.
- E. ALL SIDEWALKS CROSSING UTILITY TRENCHES SHALL HAVE TWO #4 REINFORCING BARS, 10 FOOT LONG, CENTERED OVER
- F. DETECTIBLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES MEETING THE REQUIREMENTS OF THE ADA AND INSTALLED AT LOCATIONS SHOWN ON PLAN AND WHERE PEDESTRIANS ARE REQUIRED TO CROSS A HAZARDOUS VEHICULAR WAY. DETECTIBLE WARNINGS SHALL BE AN APPROVED COLOR CONTRASTING TO THE CURB RAMP MATERIAL AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- 6. CONCRETE PAVEMENT AND DRIVE APRONS:
- A. CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH IDOT CLASS "PV" CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3.500 PSI AT 14 DAYS. IF A HIGH EARLY CONCRETE MIX IS REQUIRED TO REDUCE TRAFFIC CLOSURES. IDOT CLASS "PP" WITH PRIOR APPROVAL OF THE ENGINEER. ALL CONCRETE SHALL HAVE A MINIMUM FLEXURAL STRENGTH OF 650 PSI. ALL CONCRETE SHALL BE BROOM FINISHED.
- B. ADEQUATE CONSTRUCTION JOINTS, CONTRACTION JOINTS FOR ISOLATION JOINTS SHOULD BE PROVIDED IN THE AREAS OF RIGID PAVEMENT TO REDUCE THE IMPACTS OF CRACKING AND SHRINKAGE. PLEASE REFER TO ACI 330R-01 GUIDE FOR DESIGN OF CONCRETE PARKING LOTS.
- C. CONCRETE PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ARTICLE 420 OF THE "STANDARD SPECIFICATIONS"
- D. ALL JOINTS, WITH THE EXCEPTION OF SAWED JOINTS, SHALL BE SEALED WITH CONCRETE JOINT SEALANT PER NOTE 8 BELOW.
- CURING AND PROTECTION OF ALL CONCRETE SHALL BE IN CONFORMANCE WITH SECTION 1020.13 OF THE "STANDARD SPECIFICATIONS", PREVIOUSLY REFERENCED.
- 8. CONCRETE JOINT SEALANT SHALL BE POURTHANE SL, SIKAFLEX IC SL OR APPROVED EQUAL, MATCHING THE COLOR OF THE
- 9. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATIONS. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CORING, TESTING, AND PAVEMENT EVALUATION AS REQUIRED BY

THE MUNICIPALITY FOR ACCEPTANCE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL INCLUDE THIS AS A SEPARATE BID ITEM OR

ELSE IT WILL BE ASSUMED THAT THIS COST HAS BEEN FIGURED INTO THE UNIT PRICES FOR THE PAVING ITEMS. ALL TESTING

RESULTS SHALL BE MADE AVAILABLE TO THE MUNICIPALITY OR AUTHORITY HAVING JURISDICTION FOR REVIEW II. IDOT APPROVED, RECYCLED CONCRETE CA-6, MAY BE SUBSTITUTED FOR CA-6 CRUSHED STONE AGGREGATE FOR PAVEMENT AND SIDEWALK SUBBASE MATERIALS.

- 1. CRACK-FILLER SHALL BE SEALMASTER CRACKMASTER 6690 TYPE 1, OR APPROVED EQUAL.
- 2. CRACK ROUTING # FILLING SHALL BE PER IDOT STANDARD SPECIFICATION SECTION 451 CRACK SEALING HOT-MIX ASPHALT
- 4. CRACKS DEEPER THAN I" SHALL USE A BACK ROD MAINTAINING A MINIMUM DEPTH OF ½" BELOW THE SURFACE FOR CRACK-FILLING
- BE IN PLACE BEFORE THE START OF ANY SITE WORK, PER THE APPROVED EROSION CONTROL PLANS AND STORM WATER POLLUTION 5. THE BACKER ROD SHALL BE A CLOSED-CELL, PLASTIC FOAM ROD COMPATIBLE WITH THE SEALANT AND THE ELEVATED

SPECIFICATIONS FOR TWO-COAT SEAL COATING

- A. AN ASPHALT EMULSION CONTAINING LESS THAN № (< 10%) OF POLYCYCLIC AROMATIC HYDROCARBONS AND IS COAL TAR FREE WILL BE USED AND SHALL COMPLY WITH THE MANUFACTURER'S SPECIFICATIONS. SEALMASTER POLYMER-MODIFIED MASTERSEAL (PMM) ULTRA PAVEMENT SEALER OR APPROVED EQUAL.
- B. SILICA SAND: THIS WILL BE USED TO PRODUCE A SLURRY MIX, AND SHALL BE CLEAN, HARD, DURABLE, FREE FROM CLAY. SALT, AND ORGANIC MATTER, AT A RATE OF 3 TO 5 LBS. PER GALLON OF SEALER OR COMPLY WITH MANUFACTURER'S
- . POLYMER LATEX RESIN EMULSION ADDITIVE: TOPTUFF OR EQUAL TO COMPLY WITH THE SEALERS MANUFACTURER'S SPECIFICATIONS WILL BE USED AT A MINIMUM OF 2% FOR EVERY GALLON OF ASPHALT EMULSION. THIS WILL BE USED FOR BOTH COATS. WATER USED SHALL BE POTABLE AND ITS TEMPERATURE SHALL BE ABOVE 50° F. NO MORE THAN A MAXIMUM OF 25% WATER MAY BE ADDED TO ANY APPLICATION.

PREPARATION OF PAVEMENT

- A. OIL OR GREASE, GENERALLY FROM PARKED VEHICLES, SHALL BE SCRAPED, BURNED, OR CLEANED OFF THE PAVEMENT WITH A DETERGENT SOLUTION AND FLUSHED AWAY WITH CLEAR WATER. IF OIL IS STILL DEEPLY IMPREGNATED IN THE ASPHALT SURFACE, BUT PAVEMENT IS PHYSICALLY SOUND, SUCH AREAS SHALL BE SEALED WITH SHELLAC OR OTHER SUITABLE MATERIALS BEFORE APPLYING SEAL COAT.
- APPLICATION OF MATERIALS
- A. GENERAL: OVER THE PREPARED PAVEMENT SURFACE, MAKE THE FIRST APPLICATION BY THE USE OF THE SQUEEGEE TYPE MACHINE OR BY HAND. NO SPRAY UNITS WILL BE ALLOWED. THE SECOND COAT MAY BE APPLIED WHEN THE FIRST COAT HAS DRIED EVENLY AND WILL ALLOW FOOT TRAFFIC WITHOUT SCUFFING. THE SECOND COAT SHALL BE APPLIED WITHOUT SILICA SAND AND WITH 2% POLY ADDITIVE. THIS SECOND COAT MAY BE SPRAYED AT A RATE APPROVED BY THE MANUFACTURER.
- B. HAND APPLICATION: TO BE USED WHEN NECESSARY. A NYLON BRISTLE BROOM WILL BE USED FOR APPLICATIONS.
- C. WEATHER: SEAL COATING WORK SHALL NOT BE APPLIED OUTSIDE WHEN WEATHER IS FOGGY, RAINY, OR TEMPERATURES ARE BELOW 50° F OR ABOVE 95° F. NOR SHALL SEAL COATING BE APPLIED IF SUCH CONDITIONS AS LISTED ABOVE ARE ANTICIPATED DURING TWENTY-FOUR (24) HOURS BEFORE COMMENCING WORK.
- D. CURING: THE FIRST COAT MUST BE DRIED A MINIMUM OF TWO HOURS BEFORE APPLYING THE SECOND COAT. ALLOW THE COMPLETED TREATMENT OF SEALED AREAS TO CURE AT LEAST TWENTY-FOUR (24) HOURS UNDER GOOD DRYING CONDITIONS BEFORE OPENING TO TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BARRICADING ALL AREAS TO BE SEALED AND SHALL NOTIFY OWNER TWENTY-FOUR (24) HOURS BEFORE COMMENCING WORK.

STANDARD UTILITY PROVISIONS

- ALL UTILITY CONSTRUCTION WORK SHALL GOVERNED BY:
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION. (WATER AND
 - SEWER STANDARD SPECIFICATIONS) • TITLE 35 ILLINOIS EPA REQUIREMENTS
- PART 890 ILLINOIS PLUMBING CODE REQUIREMENTS
- SANITARY DISTRICT REQUIREMENTS MUNICIPAL/LOCAL REQUIREMENTS
- ROADWAY AUTHORITIES REQUIREMENTS
- 2. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH CA-6 CRUSHED STONE (GRADE 8 OR 9), COMPACTED IN 8" LIFTS TO 95% OF MODIFIED PROCTOR, PER ASTM D-1557.
- UTILITY CONNECTIONS WITHIN THE STREET RIGHT OF WAY SHALL BE ACCOMPLISHED BY SAW CUTTING AND REMOVING EXISTING PAVEMENT. BACKFILL AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STREET JURISDICTIONAL AUTHORITY.
- 4. THE UNDERGROUND CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL REMOVE AND LEGALLY DISPOSE OF OFFSITE ANY
- "BAND/SEAL" OR SIMILAR FLEXIBLE-TYPE NON-SHEAR COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OR DISSIMILAR MATERIALS
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES. AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN THE FOLLOWING METHOD MUST ALSO BE CONSTRUCTED:
 - A. THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- B. FOR A STORM SEWER CROSSING, THE RCP STORM SEWER(ASTM C-361) SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (C-443) FOR A DISTANCE OF TEN (10') FEET EITHER SIDE OF A CROSSING.
- 7. ALL CAST AND DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN A 8-MIL POLYETHYLENE TUBING. THE TUBING SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD FOR POLYETHYLENE ENCASEMENT FOR GRAY AND DUCTILE IRON PIPING ANSI/AWWA C105/72/A21.5 OR AS REVISED. INSTALLATION PROCEDURES SHALL BE THOSE AS RECOMMENDED BY THE CAST IRON PIPE RESEARCH ASSOCIATION.
- 8. ALL MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE RING CONSTRUCTION WITH TONGUE AND GROOVE JOINTS IN CONFORMANCE WITH THE LATEST REVISION OF ASTM C-478. ALL STRUCTURE SECTIONS AND ADJUSTING RINGS SHALL BE SECURELY SEALED TO EACH OTHER AND TO CASTING USING RESILIENT FLEXIBLE NON-HARDENING PREFORMED BITUMINOUS MASTIC (REM-NEK OR APPROVED EQUAL) OR BUTYL RUBBER JOINT SEALER (EASY STICK OR APPROVED EQUAL). CONTRACTOR SHALL REMOVE EXCESS MASTIC INSIDE STRUCTURE AND BUTTER JOINTS WITH MORTAR. ALL STORM AND SANITARY STRUCTURES SHALL HAVE OFFSET CONES, EXCEPT WHERE HEIGHT RESTRICTIONS REQUIRE A REINFORCED CONCRETE FLAT TOP, VALVE VAULTS SHALL HAVE CONCENTRIC CONES, A MAXIMUM OF 2 PRECAST CONCRETE ADJUSTMENT RINGS LIMITED TO 8 INCHES TOTAL HEIGHT SHALL BE PERMITTED. MOLDED PLASTIC, REINFORCED, MANHOLE STEPS
- 9. SEE DETAIL SHEETS THIS SET FOR FURTHER INFORMATION REGARDING THE STORM, SANITARY AND WATERMAIN REQUIREMENTS,

INCLUDING BUT NOT LIMITED TO BEDDING AND BACKFILL MATERIALS.

SHALL BE PROVIDED. CONTRACTOR SHALL ADJUST STRUCTURES TO FINISHED GRADE AS NEEDED.

- STANDARD STORM SEWER PROVISIONS
- STORM SEWER SHALL BE CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS: A. REINFORCED CONCRETE PIPE PER ASTM C-76, PER THE "STANDARD SPECIFICATIONS", WALL B OR C, IN ACCORDANCE WITH ASTM C-36 I, WITH FLEXIBLE O-RING GASKETED JOINTS, IN ACCORDANCE WITH ASTM C-443 (WATERMAIN QUALITY PIPE AND
- B. POLYVINYLCHLORIDE PLASTIC GRAVITY SEWER PIPE (PVC) SDR-26 (ASTM D-3034 WITH GASKETED JOINTS PER ASTM D-3212)
- C. DUCTILE IRON PIPE CLASS 52 (ANSI A21.51 WITH ANSI A21.11 JOINTS)
- D. ADS HP-STORM HDPE HIGH PERFORMANCE PIPE, PER ASTM F-2881, WITH JOINTS PER ASTM D-3212, INSTALLED AND BACKFILLED PER MANUFACTURERS RECOMMENDATIONS. A MINIMUM OF 1 00% OF THE INSTALLED PIPE SHALL BE DEFLECTION TESTED PER THE "WATER AND SEWER STANDARD SPECIFICATIONS", AFTER A MINIMUM OF 30 DAYS.
- 2. STORM MANHOLES SHALL HAVE IN ADDITION TO THE GENERAL MANHOLE REQUIREMENTS.
- A. ALL STORM STRUCTURE CASTINGS SHALL HAVE "DRAINS TO RIVER" AND "DUMP NO WASTE" CAST IN LID.
- B. ALL STORM STRUCTURES SHALL HAVE OPEN GRATES.
- C. STORM CATCH BASINS, INLETS AND MANHOLES, IN <u>CURB LINES</u>, SHALL HAVE E.J.I.W. 7210 CASTINGS WITH TYPE MI GRATES, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- D. STORM CATCH BASINS, INLETS IN OPEN PAVED AREAS, AND ALL MANHOLES, SHALL HAVE NEENAH R-2504-D CASTINGS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- E. STORM CATCH BASINS AND INLETS IN LANDSCAPED AREAS, SHALL HAVE NEENAH R-4340-B CASTINGS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- ALL ROOF DRAINS, DOWNSPOUTS, FOOTING DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM. 4. MINIMUM SIZE OF STORM SEWER SHALL NOT BE LESS THAN 4 INCHES.
- 5. ALL STORM SEWERS SHALL BE INSPECTED AND TESTED IN KEEPING WITH ALL GOVERNING AGENCY REQUIREMENTS

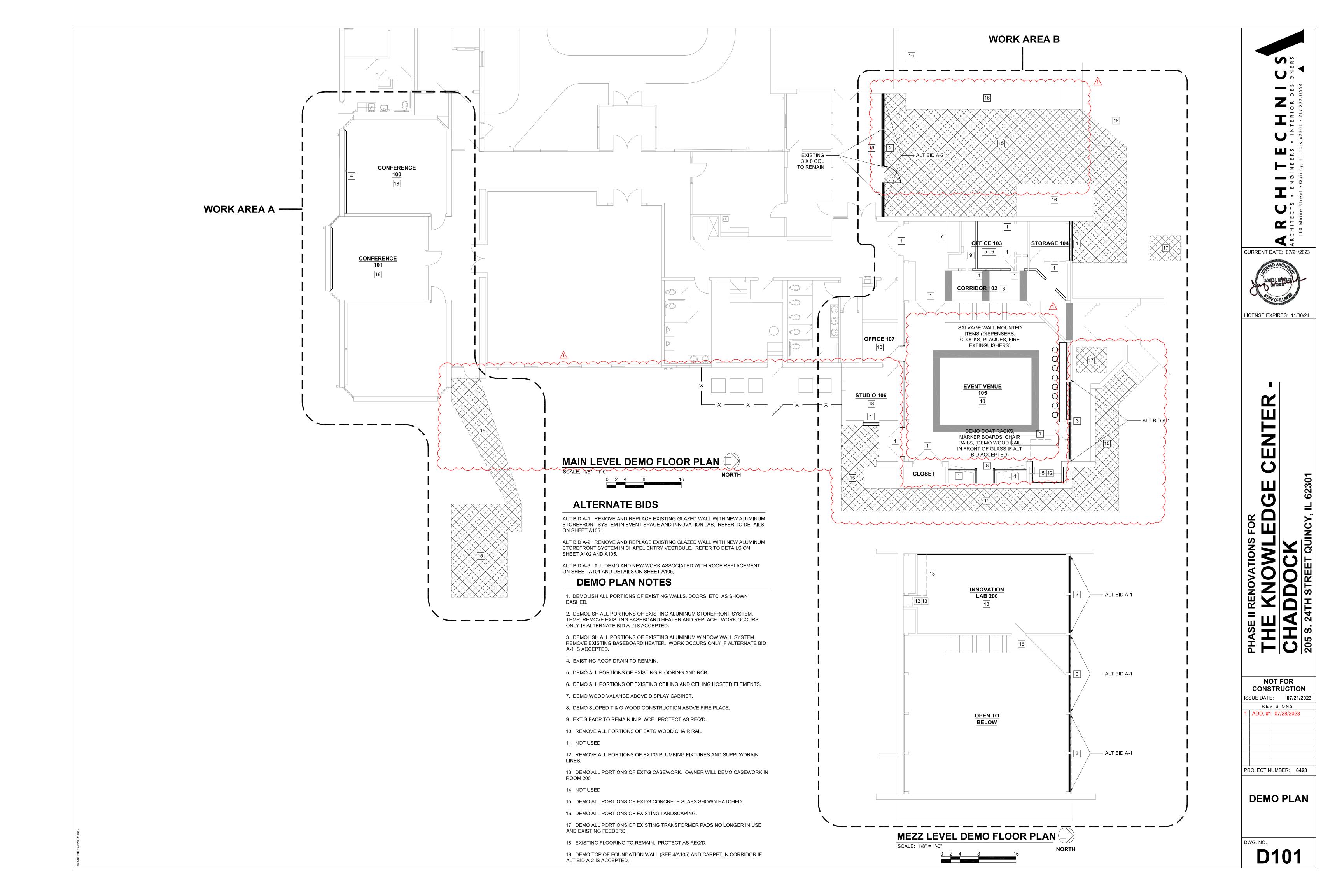
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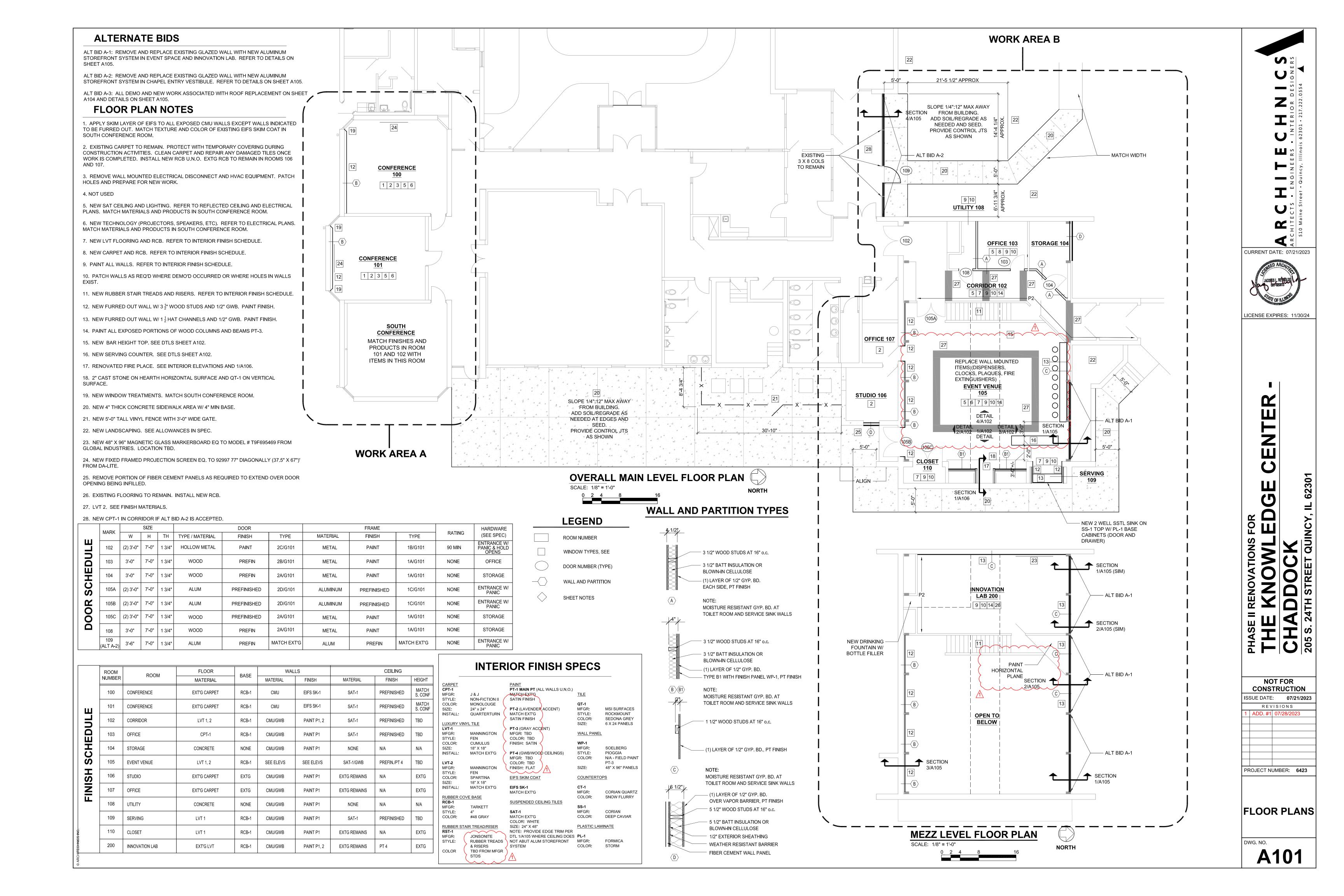
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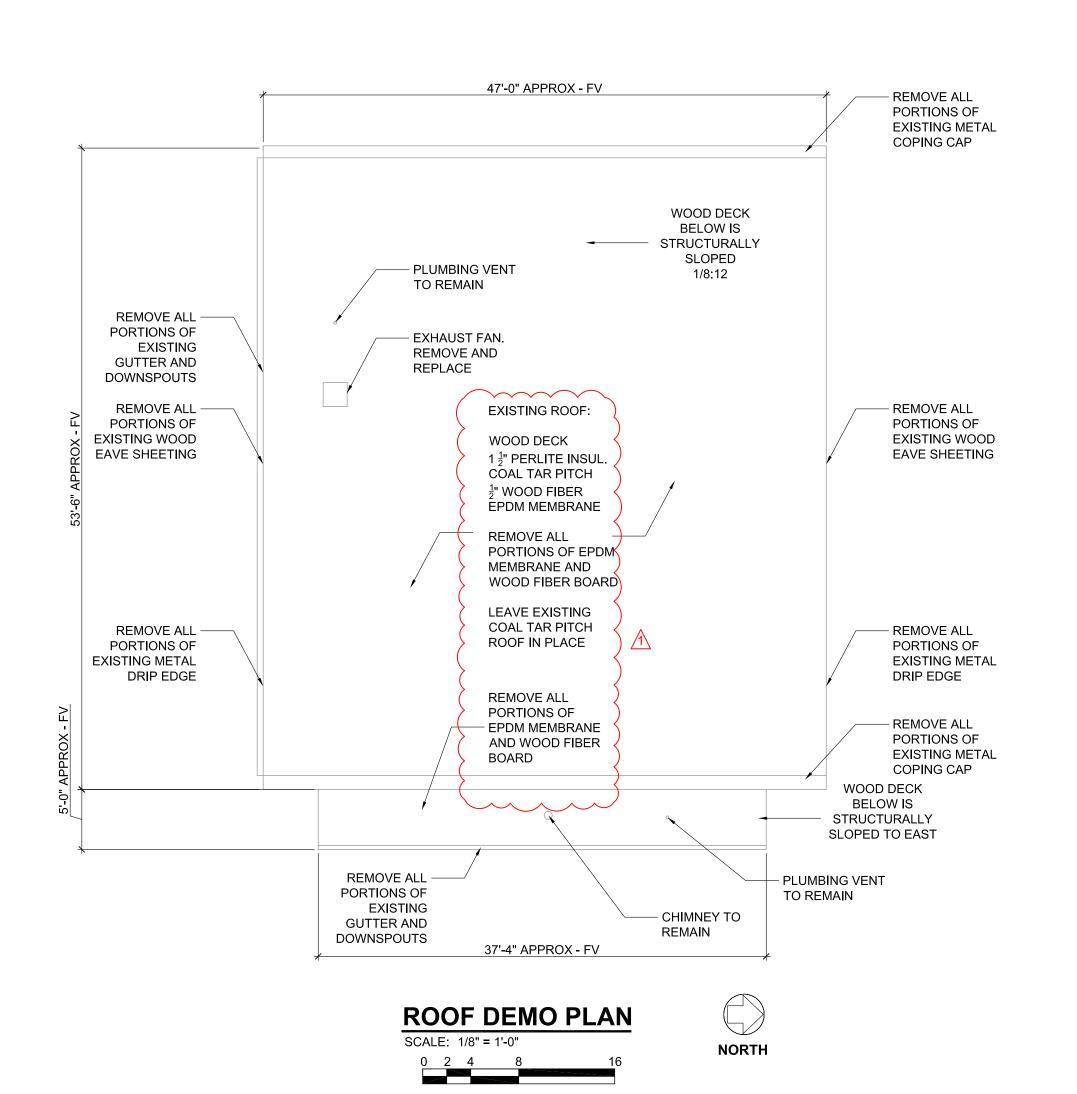
CRACK-FILLING SPECIFICATIONS

3. CRACK-FILLER SHALL BE APPLIED TO ALL CRACKS 3/8" WIDE AND GREATER.

TEMPERATURES OF THE JOINT SEALANT APPLICATION.





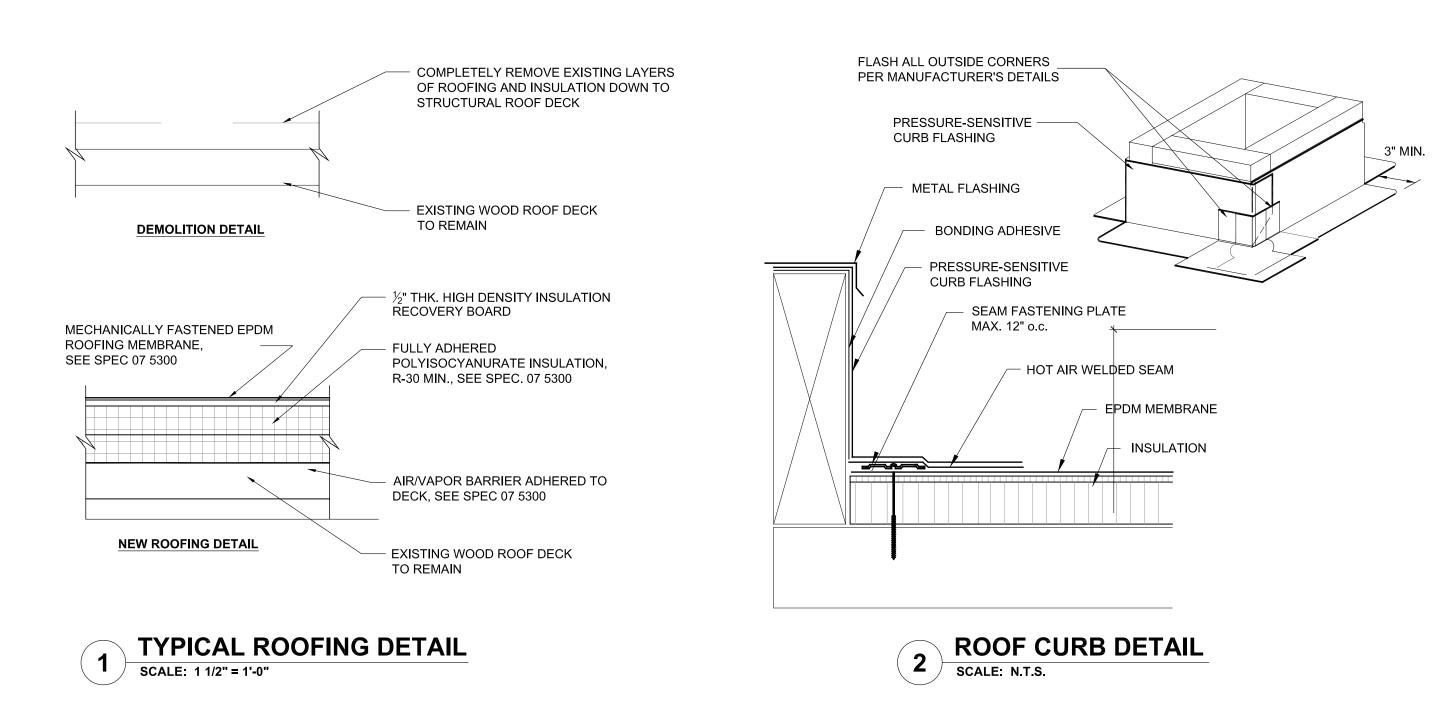


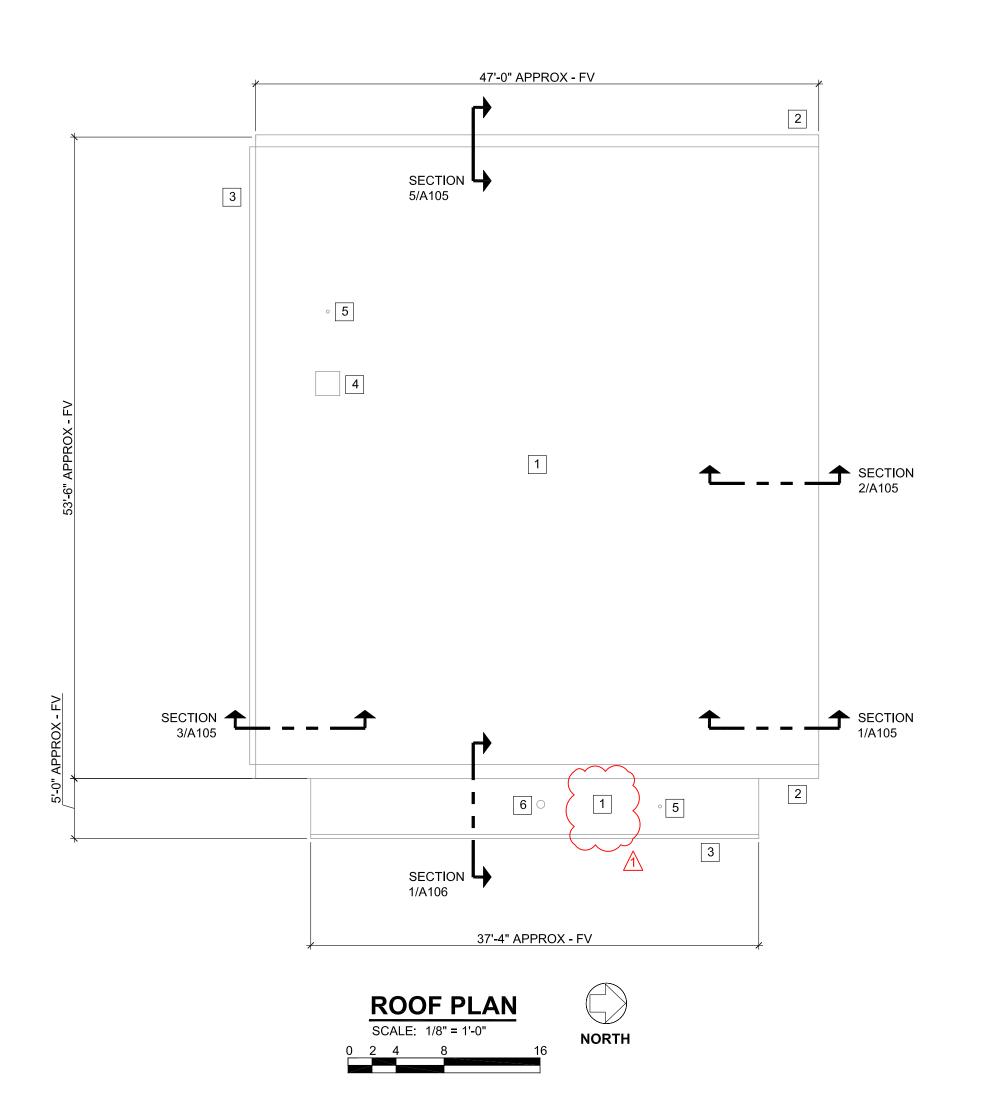
ALTERNATE BIDS

ALT BID A-1: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN EVENT SPACE AND INNOVATION LAB. REFER TO DETAILS ON SHEET A105.

ALT BID A-2: REMOVE AND REPLACE EXISTING GLAZED WALL WITH NEW ALUMINUM STOREFRONT SYSTEM IN CHAPEL ENTRY VESTIBULE. REFER TO DETAILS ON SHEET A102 AND A105.

ALT BID A-3: ALL DEMO AND NEW WORK ASSOCIATED WITH ROOF REPLACEMENT ON SHEET A104 AND DETAILS ON SHEET A105.

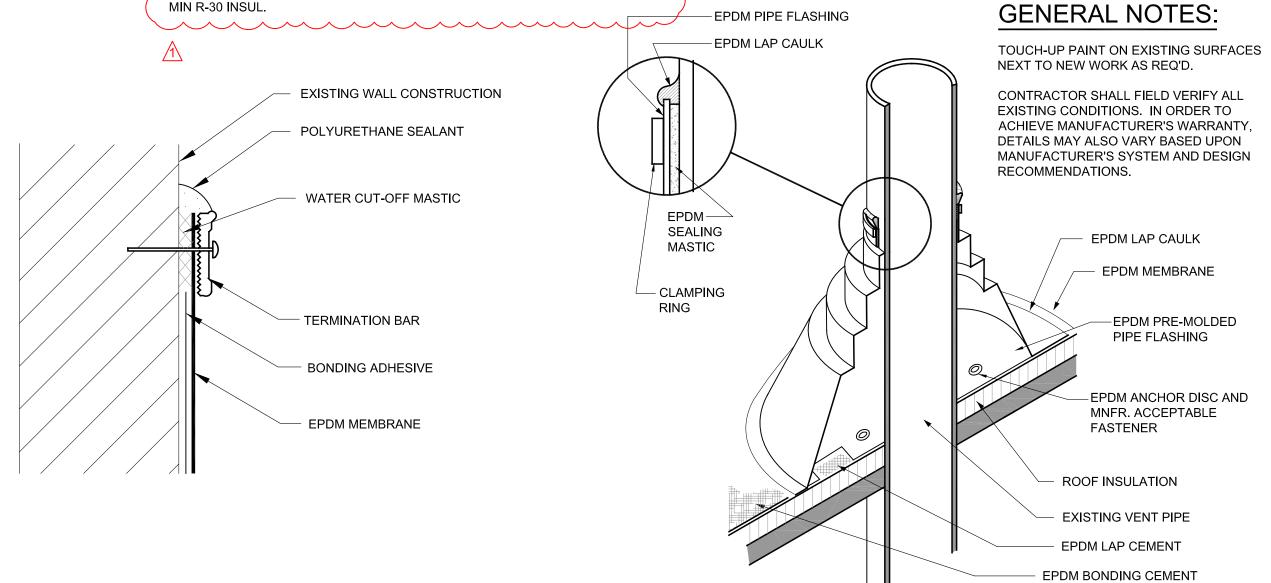




ROOF PLAN NOTES

- 1. NEW FULLY ADHERED EPDM ROOF MEMBRANE WITH RIGID INSULATION (R-30
- MIN). DECK IS STRUCTURALLY SLOPED. SEE SPEC.
- 2. NEW METAL COPING CAP. SEE SPEC.
- 3. NEW PREFIN ALUM OR STEEL GUTTER WITH DOWNSPOUTS. VERIFY DOWNSPOUT LOCATIONS WITH EXT'G. SEE SPEC.
- 4. EXT'G EXHAUST FAN REMOVED AND REPLACED.
- 5. EXTG PLUMBING VENT. SEE DTL 4/A104
- 6. EXTG CHIMNEY.

 7. NEW EPDM ROOF WITH ½" HIGH DENSITY POLYSIO. ROOF DOES NOT REQUIRE



3 TERMINATION BAR DETAIL
SCALE: N.T.S.

(1) DO NOT OVERLAP THE FLANGES FROM ADJACENT PIPE FLASHINGS.
(2) ANY SEAM UNDER BOOT FLANGE TO BE TREATED AS T-JOINT.

4 PIPE FLASHING DETAIL
SCALE: N.T.S



CURRENT DATE: 07/21/2023

SED ARCHITECTURE

JACOUES L. REPUDDS:
109/1020815

LICENSE EXPIRES: 11/30/24

ENTER.

HE KNOWLEDGE CE HADDOCK

NOT FOR CONSTRUCTION

ISSUE DATE: 07/21/2023

REVISIONS

1 ADD. #1 07/28/2023

PROJECT NUMBER: 6423

ROOF PLANS AND DETAILS

DWG. NO.
A104

