

NEW ENTRANCES AT: LAMPE HI-RISE (IL 16-4)

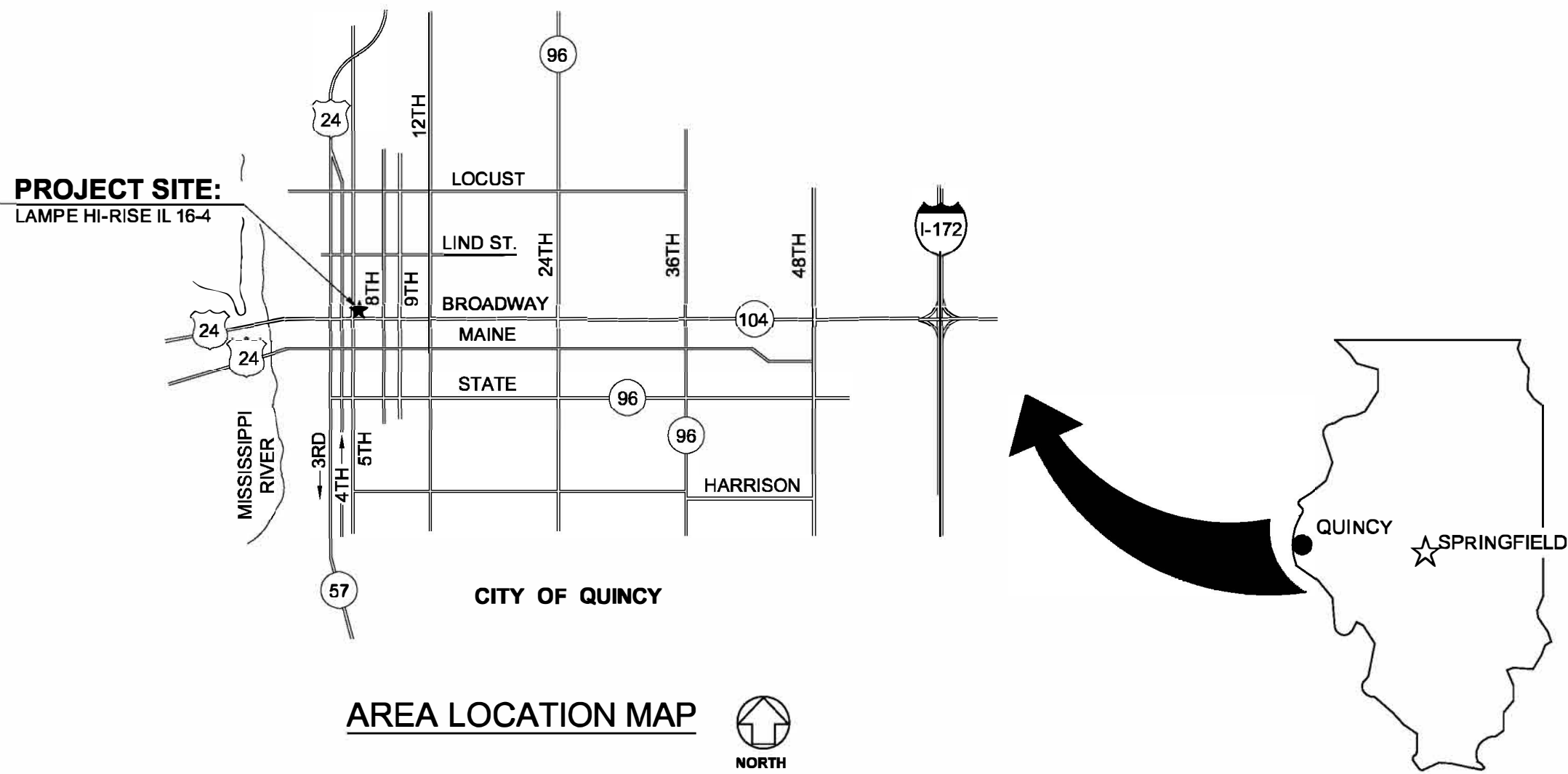
QUINCY HOUSING AUTHORITY

540 HARRISON STREET
QUINCY, ADAMS COUNTY, ILLINOIS

JERRY GILLE
EXECUTIVE DIRECTOR

INDEX OF DRAWINGS

G001	COVER SHEET
D101	PARTIAL DEMO PLANS
A101	PARTIAL FLOOR PLANS
A102	DOOR / FRAME DETAILS / INTERIOR ELEVATIONS



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECTONICS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT," AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTONICS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A., WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

ABBREVIATIONS

ABV A.F.F. ADDN. A.C. A.H.U. ALT ALUM A.D.A. ANC.S. AUTO. BM. BRG. BITUM. BLKG. BLDG BD. BTM. B.P. BLDG. BUR CA. C.I. CAT CLG. C.T. C.W.B. C.B. CLQS. C.O. CO. COMP. CONC C.M.U. COND CONN. CONST. C.J. CONT CONTR. CORD CORR. CNTR. C.R. C.F.M. DEMO DET DIA DIM. DISP. DIV. DR. DBL. D.S.	ABOVE ABOVE FINISHED FLOOR ADDITION AIR CONDITIONING AIR HANDLING UNIT ROOFING ALTERNATE ALUMINUM AMERICANS WITH DISABILITIES ACT ANCHORS AUTOMATIC BEAM BEARING BITUMINOUS BLOCKING BUILDING BOARD BOTTOM BRICK PAVERS BUILDING BUILT-UP ROOF CARPET CAST IRON CATALOG CEILING CERAMIC TILE CERAMIC WALL BASE CHALK BOARD CLOSET CLEAN OUT COMPANY COMPOSITION CONCRETE CONCRETE MASONRY UNIT CONDENSATION CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CONTRACTOR CORRUGATED CORRIDOR COUNTER CRUSHED ROCK CUBIC FEET PER MINUTE DEMOLITION DETAIL DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOWNSPOUT	DWG D.F. EA. EW. E.M.R. ELEC. E.P. ELEVATION ELEV. EL. ELEVATOR EXH. EXHAUST E.F. EXIST E.I. EXT E.I.F.S. F.W.C. OFC. FIN. F.E.C. FIX. FXTURE FL. F.D. FLOOR FLOOR DRAIN FLUORESCENT FTG. FND. FND. G.P.M. GALV GA. G.W.T. G.B. G.F.B. G.Y.P. BD. H.D. HC HR. HDWE. H.V.A.C. HT. H.C. H.M. HORIZ. INC. INSUL. INSUL.G. JAN. JT. J.F. JST. J.B. LAM. LAV. L.H. L.G.	DRAWING DRINKING FOUNTAIN EACH EACH WAY ELASTOMERIC MEMBRANE ROOFING ELECTRIC ELECTRIC PANELBOARD ELEVATION ELEVATOR EXHAUST EXHAUST FAN EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSULATION FINISH SYSTEM FABRIC WALL COVERING FIELD VERIFY FINISH FIRE EXTINGUISHER CABINET FIXTURE FLOOR FLOOR DRAIN FLUORESCENT FOOTING FOUNDATION GALLONS PER MINUTE GALVANIZED GAUGE GLAZED WALL TILE GRAB BAR GROUND FACE BRICK GYPSUM WALLBOARD HAIR/HAND DRYER HANDICAPPED HANDRAIL HARDWARE HEATING, VENTILATING, & AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL INCORPORATED INSULATION INSULATED GLASS JANITOR JOINT JOINT FILLER JOIST JUNCTION BOX LAMINATE LAVATORY LEFT HAND LONG	M.A.U. M.H. MFG. M.T. MK. M.O. MATL. MECH. MET. MIN. MISC. M.R. MTD. N.D. NAPKN DISPENSER N.I.C. NOM. NO. OFFC. O.C. ON CENTER OPG. OPP. HND. OH. PAINT PT. PAIR PARTN. PERF. P.D. PLAS. P.S. P.V. PLYWD. P.V.C. P.S.F. PREFIN. PROJ. MAN. QTY. Q.T. RAD. RECEP. REF. R.A. R.H. R. R.D. R.B. R.C.B. REQD. R.O.W. RM. R.I. R.O. R.S.T. SAN. SCHED.	MAKEUP AIR UNIT MANHOLE MANUFACTURER MARBLE TILE MARK MASONRY OPENING MATERIAL MECHANICAL METAL MINIMUM MISCELLANEOUS MOISTURE RESISTANT MOUNTED NAPKIN DISPENSER NOT IN CONTRACT NOMINAL NUMBER OFFICE ON CENTER OPENING OPPOSITE HAND OVERHEAD PAINT PAIR PARTITION PERFORATED PRESSURE DROP PLASTIC PLUMBING STACK PLUMBING VENT PLYWOOD POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT PREFINISHED PROJECT MANUAL QUANTITY QUARRY TILE RADIUS RECEPTACLE REFERENCE RETURN AIR RIGHT HAND RISERS ROOF DRAIN RUBBER BASE RUBBER COVE BASE REQUIRED RIGHT OF WAY ROOM ROUGH IN ROUGH OPENING RUBBER STAIR TREAD RUBBER TILE SANITARY (SEWER) SCHEDULE	SECT. SHT. SIM. S.C. SPEC. S.& V. S.S. STD. STL. STOR. ST. S. S.G.T. S.A.P. T.B. T. & S. T.D.D. T.G. T.R.G. TZ. T.T. THK. THOLD T.P. T. & G. T. & B. TRANS. T. TYP. U.L. U.N.O. U.P. V.P. VERT. VEST. V.C.T. V.W.C. V.C.P. W.C. W.W.F. W. WDW. W. W/O WD. T. TYP. U.L.	SECTION SHEET SIMILAR SOLID CORE SPECIFICATION STAIN AND VARNISH STAINLESS STEEL STANDARD STEEL STORAGE STORM SEWER STRUCTURAL GLAZED TILE SUSPENDED ACOUSTICAL PANELS TACK BOARD TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF TEMPERED GLASS TEMPERED REFLECTIVE GLASS TERRAZZO TERRAZZO TILE THICK/THICKNESS THRESHOLD TOILET PAPER TONGUE AND GROOVE TOP AND BOTTOM TRANSITION TREADS TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE UTILITY POLE VAPOR BARRIER VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET WELDED WIRE FABRIC WIDTH WINDOW WIRE GLASS WITH WITH OUT WOOD TREADS TYPICAL UNDERWRITERS
---	---	---	--	---	--	--	--

CURRENT DATE: 9/3/2021



LICENSE EXPIRES: 11/30/22

NEW ENTRANCES AT: LAMPE HI-RISE (IL 16-4)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

**CONSTRUCTION
DOCUMENT
PHASE**

**ISSUED FOR
BIDDING**

ISSUE DATE: 9/3/2021

REVISIONS

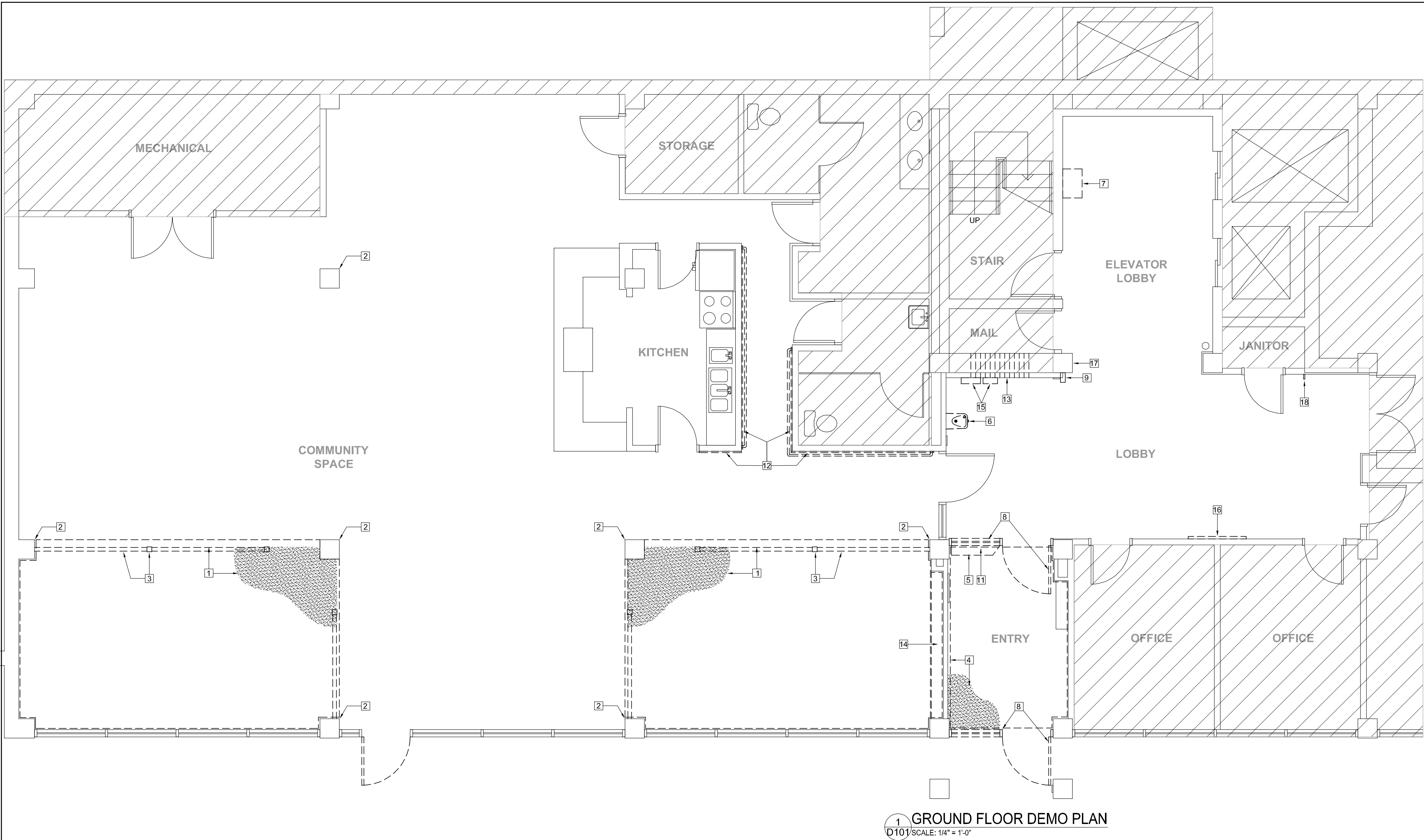
NO.	DESCRIPTION	DATE

PROJECT NUMBER: 6143

**COVER
SHEET**

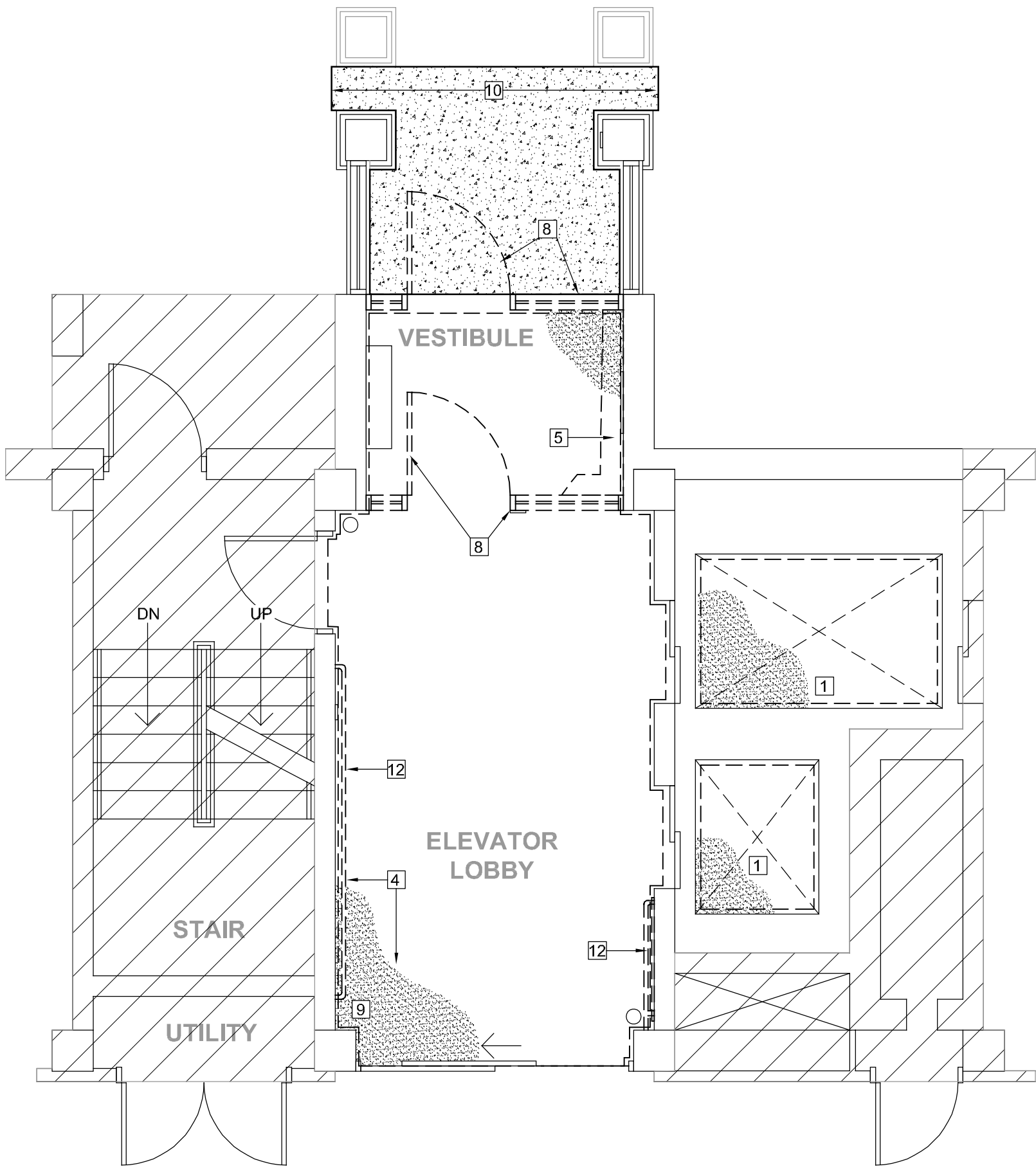
DWG. NO.

G001



DEMOLITION PLAN NOTES

- EXISTING FLOOR MATERIAL TO BE REMOVED AND EXTENT OF AREA SHOWN DASHED, PREP FLOOR FOR SMOOTH SURFACE TO ACCOMMODATE THE NEW FLOOR MATERIAL
- EXISTING WOOD WAINSCOT ON COLUMNS TO BE REMOVED, PRIME AND PAINT ENTIRE COLUMN
- EXISTING WOOD RAILING AND POSTS TO BE REMOVED, PATCH AND REPAIR FLOOR AT POSTS FOR SMOOTH SURFACE TO ACCOMMODATE NEW FLOOR MATERIAL
- EXISTING FLOOR MATERIALS AND WALL BASE TO BE REMOVED AND EXTENT OF AREA SHOWN DASHED, PREP FLOOR FOR SMOOTH SURFACE TO ACCOMMODATE THE NEW FLOOR MATERIAL
- EXISTING WOOD SHELF TO BE REMOVED
- EXISTING DRINKING FOUNTAIN TO BE REMOVED, CAP SUPPLY/DRAIN LINES FLUSH WITH WALL, PATCH AND REPAIR WALL AS REQUIRED TO RECEIVE NEW PAINT FINISH
- EXISTING TELEPHONE STATION AND ASSOCIATED CONDUIT, WIRING, ETC. TO BE REMOVED, PATCH AND REPAIR MASONRY AS REQUIRED TO RECEIVE NEW PAINT FINISH
- EXISTING DOOR AND WINDOW ASSEMBLY TO BE REMOVED, PREP AREA FOR INSTALLATION OF NEW DOOR AND WINDOW ASSEMBLY
- EXISTING SECURITY CAMERA AND ASSOCIATED WIRING TO BE REMOVED - DOME CAMERA TO REMAIN
- EXISTING CONCRETE ENTRY SLAB SHOWN HATCHED TO BE SAWCUT FLUSH WITH COLUMN BASE AND REMOVED AS SHOWN
- EXISTING RESIDENT NOTICE SIGNAGE TO BE REMOVED
- EXISTING HANDRAIL AND WOOD TRIM TO BE REMOVED, PATCH AND REPAIR WALL TO RECEIVE NEW PAINT
- EXISTING MAILBOX UNIT, MAIL SLOT, LOUVER TO BE REMOVED, INFILL VOID WITH FRAMING AND GYP.BD. PATCH AND REPAIR ENTIRE FACE OF WALL TO RECEIVE NEW PAINT FINISH
- EXISTING BOOKCASE TO BE REMOVED, PATCH AND REPAIR GYP.BD. AS REQUIRED TO RECEIVE NEW PAINT FINISH AND NEW RCB
- EXISTING FIRE ALARM PANELS TO BE RELOCATED, REFER TO SHEET A101
- EXISTING CORKBOARD TO BE REMOVED AND RETURNED TO OWNER
- EXISTING MAILROOM FLAG AND WALL ATTACHMENT TO BE REMOVED, PATCH AND REPAIR WALL TO RECEIVE NEW PAINT
- EXISTING WALL HARDWARE TO BE REMOVED, PATCH AND REPAIR WALL TO RECEIVE NEW PAINT



CURRENT DATE: 9/3/2021



LICENSE EXPIRES: 11/30/22

NEW ENTRANCES AT: LAMPE HI-RISE (IL 16-4)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

CONSTRUCTION
DOCUMENT
PHASE

ISSUED FOR
BIDDING

ISSUE DATE: 9/3/2021

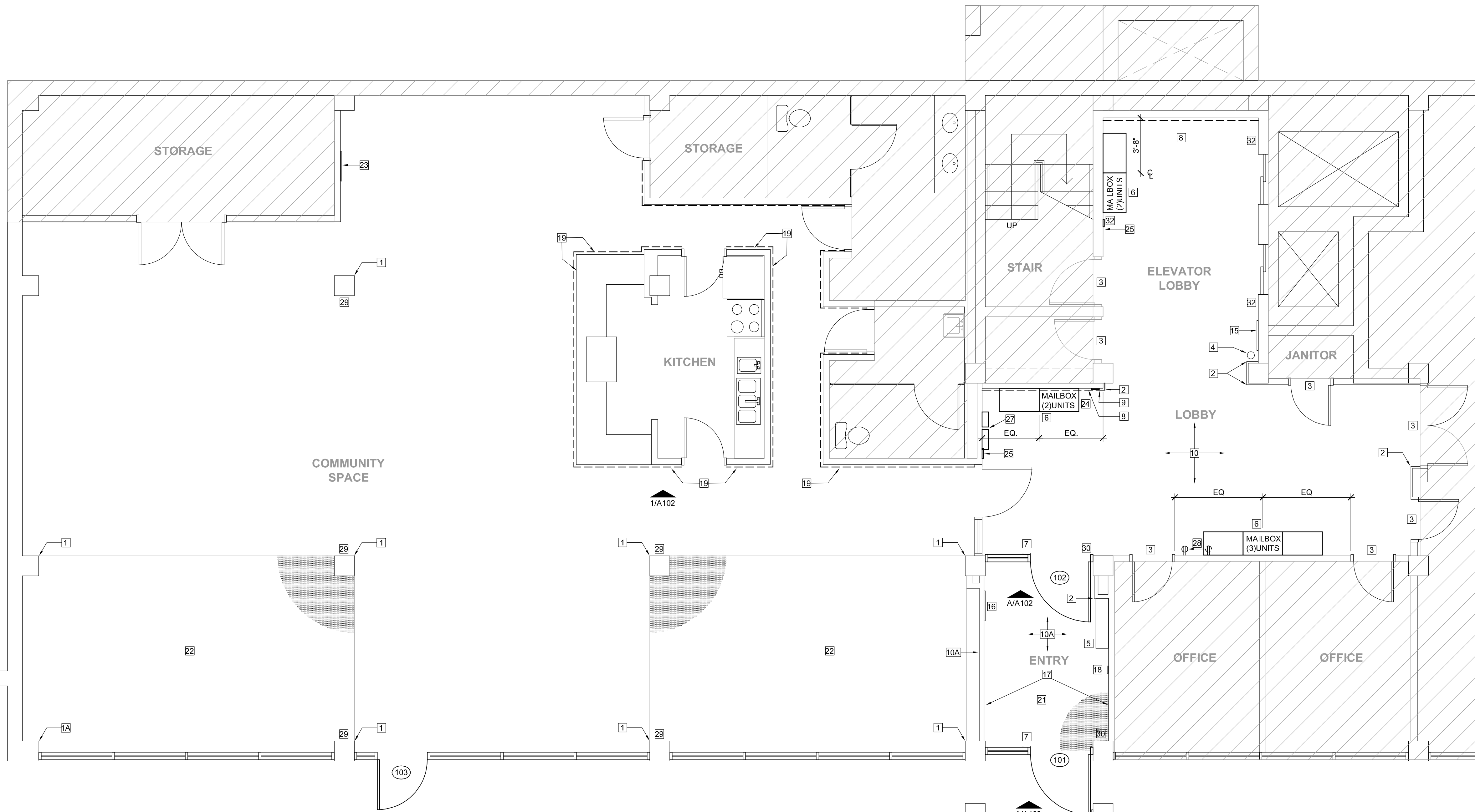
REVISIONS

PROJECT NUMBER: 6143

**PARTIAL
DEMO
PLANS**

DWG. NO.

D101



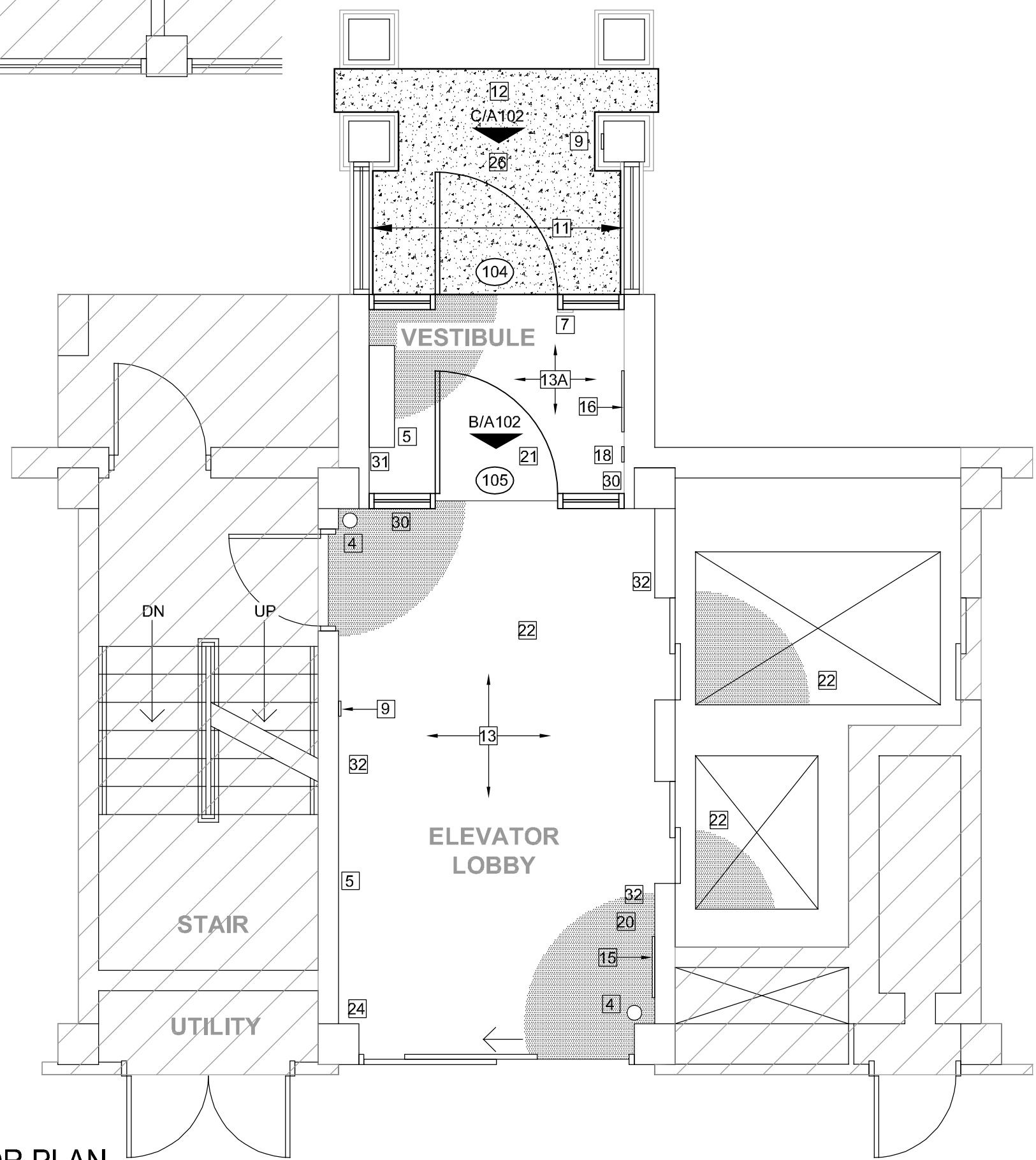
1 GROUND FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

KEYED PLAN NOTES

- 1 COLUMNS TO PATCHED AND PRIMED TO RECEIVE NEW PAINT WITH THE REMOVAL OF WOOD WAINSCOT. PAINT TO MATCH EXISTING ADJACENT WALLS
- 1A COLUMN TO BE PRIMED TO RECEIVE NEW PAINT. PAINT TO MATCH EXISTING ADJACENT WALLS
- 2 NEW CORNER GUARD, SEE SPEC. 10260
- 3 EXISTING DOORS AND FRAMES TO BE PREPPED AND PRIMED FOR NEW PAINT, LOBBY SIDE ONLY
- 4 EXISTING FIRE EXTINGUISHER TO REMAIN
- 5 EXISTING CABINET UNIT HEATER TO REMAIN - PAINT FINISH
- 6 NEW MAILBOX UNITS, REFER TO SPEC SECTION 10550
- 7 NEW HANDICAP PUSH PLATE OPERATORS MODIFY ELECTRIC CIRCUIT AS REQUIRED
- 8 NEW RUBBER COVE BASE SHOWN DASHED TO MATCH EXISTING
- 9 EXISTING HANDICAP PUSH PLATE OPERATOR TO REMAIN MODIFY ELECTRIC CIRCUIT AS REQUIRED
- 10 EXISTING WALLS TO BE PREPPED, PRIMED AND PAINTED TO RECEIVE NEW PAINT. EXISTING RUBBER COVE BASE TO REMAIN UNLESS NOTE OTHERWISE
- 10A EXISTING WALLS TO BE PREPPED, PRIMED AND PAINTED TO RECEIVE NEW PAINT. NEW RUBBER COVE TO MATCH EXISTING
- 11 EXISTING STEEL FRAMED WINDOW UNITS TO BE SCRAPPED, PRIMED AND PAINTED TO MATCH NEW DOOR / WINDOW ASSEMBLIES (BOTH SIDES OF FRAME)
- 12 NEW REINFORCED 4" CONCRETE SLAB AT ENTRY PROVIDE LEVEL TRANSITION AT ENTRY DOOR WITH SEALANT JOINT BETWEEN EXISTING AND NEW CONCRETE
- 13 EXISTING WALLS, COLUMNS, BEAMS AND CEILING TO BE PREPPED, PRIMED AND PAINTED TO RECEIVE NEW PAINT.
- 13A EXISTING WALLS, COLUMNS, BEAMS AND CEILING TO BE PREPPED, PRIMED AND PAINTED TO RECEIVE NEW PAINT. NEW RUBBER COVE BASE TO MATCH EXISTING
- 14 NOT USED
- 15 EXISTING LOUVER TO BE REMOVED, CLEANED AND RE-INSTALLED
- 16 EXISTING ENTRY ACCESS PANEL TO REMAIN BUT REMOVE WOOD BACKER AND RESIDENT LIST. RELOCATE ENTRY ACCESS PANEL TO BE FLUSH WITH DRYWALL AND MODIFY CIRCUIT / SURFACE RACEWAY AS REQUIRED
- 17 PATCH AND REPAIR EXISTING GYPSUM BOARD AT ENTRY TO RECEIVE NEW PAINT
- 18 ENTRY KEY BOX TO REMAIN
- 19 NEW METAL PANEL WAINSCOT PROVIDED BY OWNER INSTALLED BY G.C. SHOWN DASHED. REFER TO DTL. ELEVATION 1/A102 FOR ADDITIONAL INFORMATION
- 20 EXISTING CORKBOARD TO REMAIN
- 21 FLOOR FINISH #1 TO BE A WALK-OFF CARPET, SEE SPEC. 09680
- 22 FLOOR FINISH #2 TO BE AN EPOXY COATING, SEE SPEC. 09672
- 23 INSTALL NEW PRE-FINISHED TRIM CASING SIMILAR TO EXISTING (ALL FOUR SIDES)
- 24 EXISTING DOME SECURITY CAMERA TO REMAIN
- 25 EXISTING FIRE ALARM PULL STATION TO REMAIN
- 26 MODIFY CIRCUIT AS REQUIRED AND REPLACE EXISTING LIGHT FIXTURE WITH NEW ASCOTT BFP LED 14 OR EQUAL
- 27 RELOCATE EXISTING FIRE ALARM PANELS TO NEW LOCATION SHOWN. ALARM SYSTEMS KERRY DAVIS - KDAVIS@ALARMSYSTEMSINC.COM 217-222-2280
- 28 MODIFY EXISTING CIRCUIT AS REQUIRED AND RELOCATE EXISTING RECEPTACLE CLEAR OF NEW MAILBOXES. INSTALL NEW RECEPTACLE AND COVER PLATE TO MATCH EXISTING NEARBY DEVICES.
- 29 MODIFY EXISTING CIRCUIT AS REQUIRED AND RELOCATE EXISTING RECEPTACLE TO CONCRETE COLUMN FACE. INSTALL NEW RECEPTACLE AND COVER PLATE TO MATCH EXISTING NEARBY DEVICES.
- 30 REMOVE/MODIFY EXISTING CIRCUITS AS REQUIRED FOR DEMO OF EXISTING AND INSTALLATION OF NEW DOOR FRAME. INSTALL CIRCUIT IN NEW PAINTABLE METAL SURFACE RACEWAY.
- 31 REPLACE EXISTING PIPE INSULATION WITH NEW INSULATION WITH EXTERIOR RATED JACKET.
- 32 MODIFY CIRCUIT AS REQUIRED AND REPLACE EXISTING WALL LIGHT WITH NEW RP LIGHTING 8557WH-80-345 OR EQUAL

GENERAL NOTES

1. AREA OUTSIDE SCOPE OF WORK SHOWN HATCHED
2. ALL PAINT COLORS TO BE SELECTED BY OWNER AND/OR ARCHITECT



2 LOWER LEVEL FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

