

HVAC REPLACEMENT AT: LAMPE HI-RISE (IL 16-4)

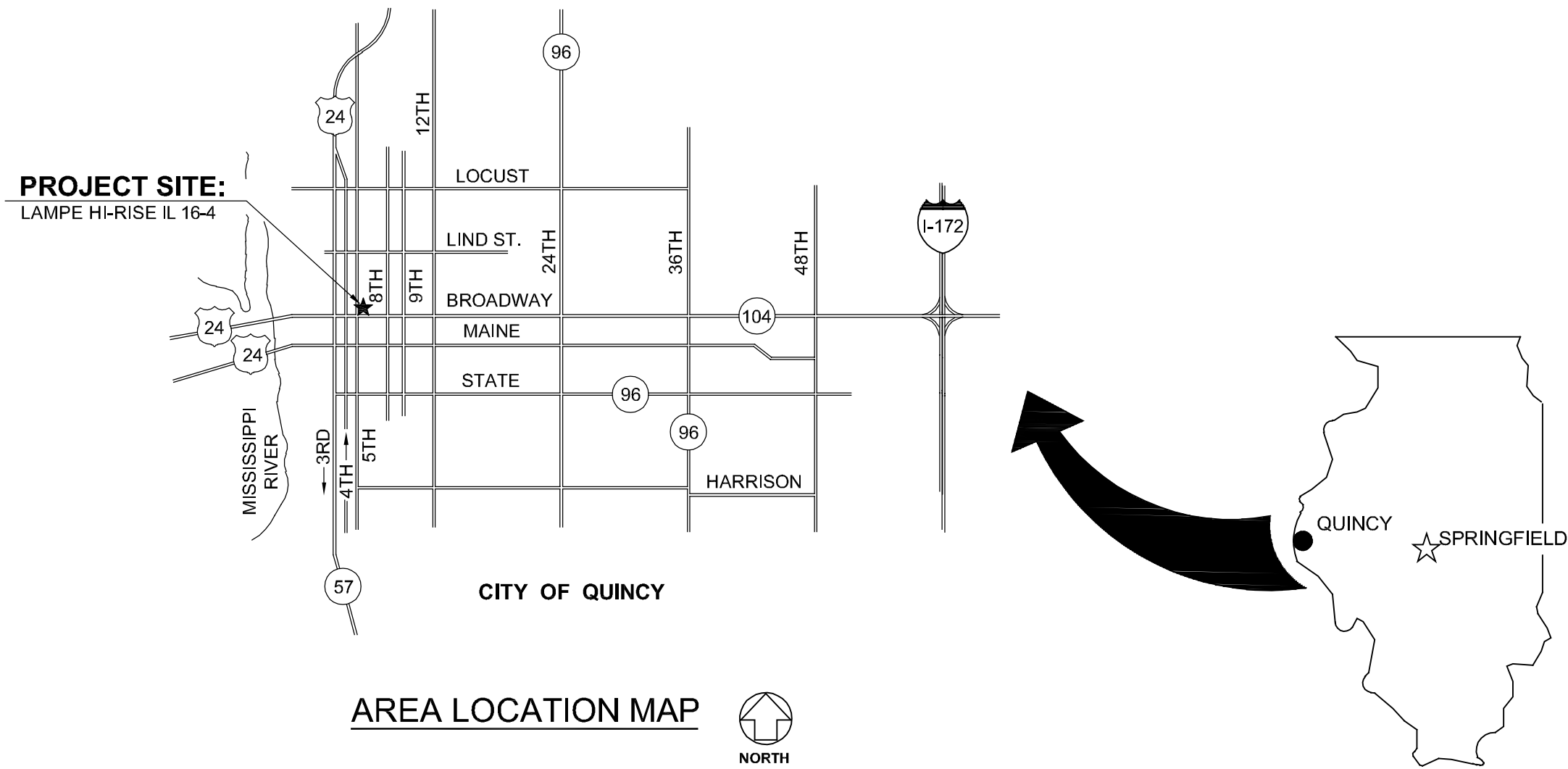
QUINCY HOUSING AUTHORITY

540 HARRISON STREET
QUINCY, ADAMS COUNTY, ILLINOIS

JERRY GILLE
EXECUTIVE DIRECTOR

INDEX OF DRAWINGS

- G001COVER SHEET
- M101LOWER LEVEL MECHANICAL PLAN AND DETAILS



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS.
- ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
- SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
- ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECTNICS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTNICS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A. WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

ABBREVIATIONS

ABV A.F.F. ADDN. A.C. A.H.U. ALT ALUM A.D.A. ANCS. AUTO. BM. BRG. BITUM. BLKG. BLDG BD. BTM. B.P. BLDG. BUR CA. C.I. CAT CLG. C.T. C.W.B. C.B. C.C.S. C.O. CO. COMP. CONC C.M.U. COND CONN. CONST. C.J. CONT CONTR. CORD CORR. CNTR. C.R. C.F.M. DEMO DET DIA DIM. DISP. DIV. DR. DBL. D.S.	ABOVE ABOVE FINISHED FLOOR ADDITION AIR CONDITIONING AIR HANDLING UNIT ROOFING ALTERNATE ALUMINUM AMERICANS WITH DISABILITIES ACT ANCHORS AUTOMATIC BEAM BEARING BITUMINOUS BLOCKING BUILDING BOARD BOTTOM BRICK PAVERS BUILDING BUILT-UP ROOF CARPET CAST IRON CATALOG CEILING CERAMIC TILE CERAMIC WALL BASE CHALK BOARD CLOSET CLEAN OUT COMPANY COMPOSITION CONCRETE CONCRETE MASONRY UNIT CONDENSATION CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CONTRACTOR CORRUGATED CORRIDOR COUNTER CRUSHED ROCK CUBIC FEET PER MINUTE DEMOLITION DETAIL DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOWNSPOUT	DWG D.F. EA. E.W. E.M.R. ELEC. E.P. EL ELEV. ELEVATOR EXH. EXHAUST E.F. EXIST E.J. EXT E.I.F.S. F.W.C. FTG. FIN. F.E.C. FIX. FL. F.D. FLOUR. FTG. FND. G.P.M. GALV GA. G.W.T. G.B. G.F.B. GYP. BD. H.D. HC HR. HDWE. H.V.A.C. HT. H.C. H.M. HORIZ. INC. INSUL. INSUL.G. JAN. J.T. J.F. JST. J.B. LAM. LAV. L.H. LG.	DRAWING DRINKING FOUNTAIN EACH EACH WAY ELASTOMERIC MEMBRANE ROOFING ELECTRIC ELECTRIC PANELBOARD ELEVATION ELEVATOR EXHAUST EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSULATION FINISH SYSTEM FABRIC WALL COVERING FIELD VERIFY FINISH FIRE EXTINGUISHER CABINET FIXTURE FLOOR FLOOR DRAIN FLUORESCENT FOOTING FOUNDATION GALLONS PER MINUTE GALVANIZED GAUGE GLAZED WALL TILE GRAB BAR GROUND FACE BRICK GYPSUM WALLBOARD HAIR/HAND DRYER HANDICAPPED HANDRAIL HARDWARE HEATING, VENTILATING, & AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL INCORPORATED INSULATION INSULATED GLASS JANITOR JOINT JOINT FILLER JOIST JUNCTION BOX LAMINATE LAVATORY LEFT HAND LONG	M.A.U. M.H. MFGR. M.T. MK. M.O. MATL. MECH. MET. MIN. MISC. M.R. MTD. N.D. NAPKN DISPENSER N.I.C. NOM. NO. NUMBER OFFICE O.C. ON CENTER OPG. OPP. HND. OH. PAINT PAIR PARTN. PERF. P.D. PLAS. P.S. P.V. PLYWD. P.V.C. P.S.F. PREFIN. PROJ. MAN. QTY. Q.T. RAD. RECEP. REF. R.A. R.H. R. R.D. R.B. R.C.B. REQD. R.O.W. RM. R.I. R.O. R.S.T. SAN. SCHED.	MAKEUP AIR UNIT MANHOLE MANUFACTURER MARBLE TILE MARK MASONRY OPENING MATERIAL MECHANICAL METAL MINIMUM MISCELLANEOUS MOISTURE RESISTANT MOUNTED NAPKIN DISPENSER NOT IN CONTRACT NOMINAL NUMBER OFFICE ON CENTER OPENING OPPOSITE HAND OVERHEAD PAINT PAIR PARTITION PERFORATED PRESSURE DROP PLASTIC PLUMBING STACK PLUMBING VENT PLYWOOD POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT PREFINISHED PROJECT MANUAL QUANTITY QUARRY TILE RADIUS RECEPTACLE REFERENCE RETURN AIR RIGHT HAND RISERS ROOF DRAIN RUBBER BASE RUBBER COVE BASE REQUIRED RIGHT OF WAY ROOM ROUGH IN ROUGH OPENING RUBBER STAIR TREAD RUBBER TILE SANITARY (SEWER) SCHEDULE	SECT. SHT. SIM. S.C. SPEC. S.& V. S.S. STD. STL STOR. ST. S. S.G.T. S.A.P. T.B. T. & S. T.D.D. T.G. T.R.G. TZ. T.T. THK. THOLD T.P. T. & G. T. & B. TRANS. T. TYP. U.L. U.N.O. U.P. V.P. VERT. VEST. V.C.T. V.W.C. V.C.P. W.C. W.W.F. W. WDW. W/O W/O WD. T. TYP. U.L.	SECTION SHEET SIMILAR SOLID CORE SPECIFICATION STAIN AND VARNISH STAINLESS STEEL STANDARD STEEL STORAGE STORM SEWER STRUCTURAL GLAZED TILE SUSPENDED ACOUSTICAL PANELS TACK BOARD TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF TEMPERED GLASS TEMPERED REFLECTIVE GLASS TERRAZZO TERRAZZO TILE THICK/THICKNESS THRESHOLD TOILET PAPER TONGUE AND GROOVE TOP AND BOTTOM TRANSITION TRANS TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE UTILITY POLE VAPOR BARRIER VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET WELDED WIRE FABRIC WIDTH WINDOW WIRE GLASS WITH WITH OUT WOOD WOOD TYPICAL UNDERWRITERS
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CURRENT DATE: 9/3/2021



LICENSE EXPIRES: 11/30/21

CONSTRUCTION
DOCUMENT
PHASE

ISSUED FOR
BIDDING

ISSUE DATE: 9/3/2021

REVISIONS

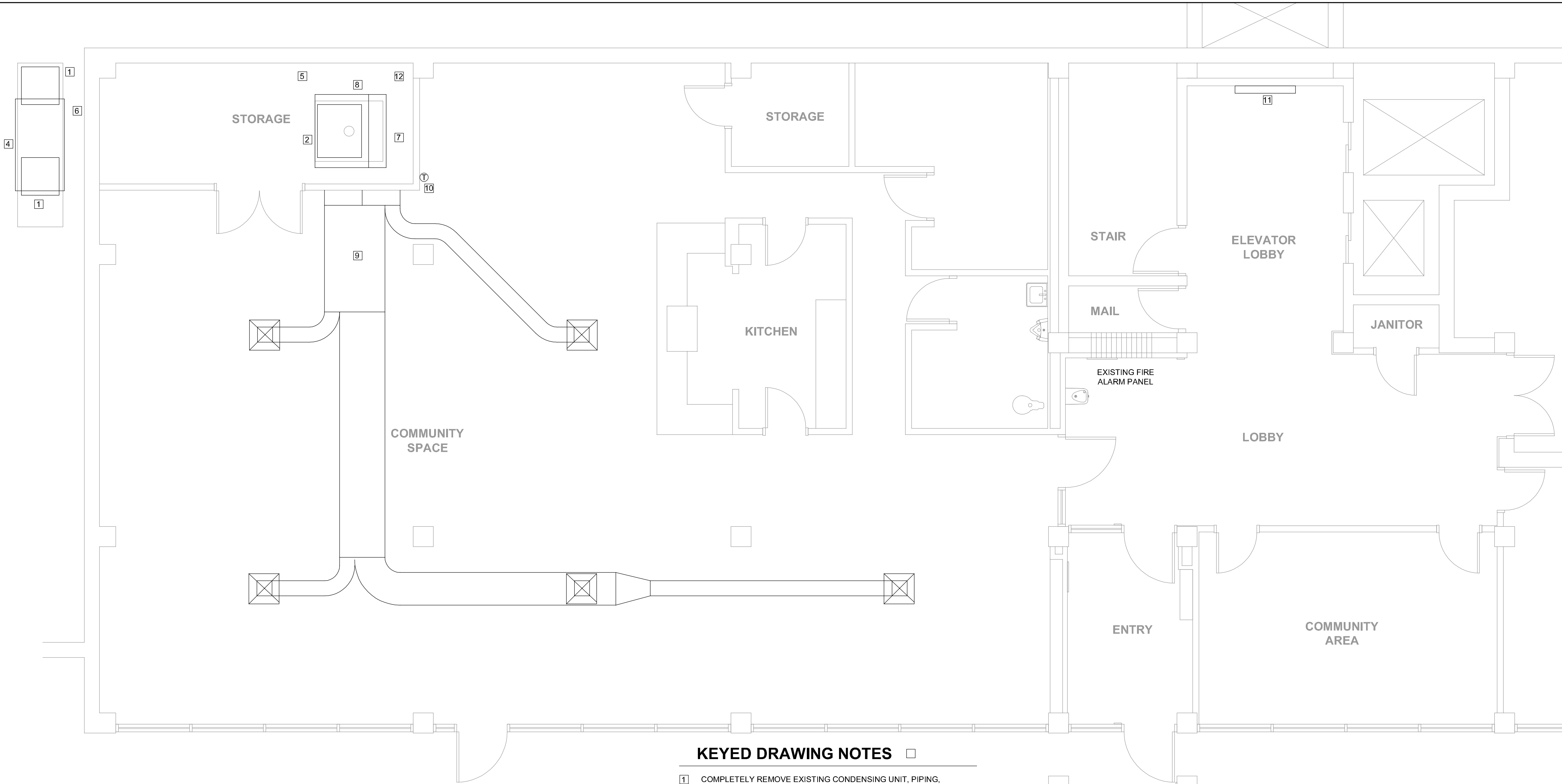
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PROJECT NUMBER: 6144

COVER
SHEET

DWG. NO.

G001



KEYED DRAWING NOTES

- 1 COMPLETELY REMOVE EXISTING CONDENSING UNIT, PIPING, CONTROLS, ETC. REMOVE DISCONNECT AND CIRCUIT BACK TO JUNCTION BOX ON EXTERIOR WALL.
- 2 COMPLETELY REMOVE EXISTING AIR HANDLING UNIT, PIPING, CIRCUIT BACK TO DISCONNECT, THERMOSTAT, CONTROLS, ETC. MODIFY EXISTING DUCTWORK AS REQUIRED FOR NEW WORK.
- 3 INSTALL NEW DAIKIN OR EQUAL LAH007A VERTICAL AIR HANDLER: 3200 CFM, 650 CFM OA, 1.5" ESP, WITH RA MIXING BOX (TOP OA, SIDE RA), CO2 SENSOR FOR DEMAND CONTROL VENTILATION, 147.5 MBH HOT WATER HEATING COIL @190°, 8.2 GPM, 135 MBH DX COOLING COIL, 5 HP ECM MOTOR WITH VFD, 208/3 PHASE 16.8 MCA. EXTEND HOT WATER PIPING TO HEATING COIL AND INTERCONNECT WITH CONDENSING UNIT FOR COMPLETE SYSTEM. INSTALL CONCRETE BLOCK AS REQUIRED TO BRIDGE GAP AT EXISTING HOUSEKEEPING PAD. EXTEND CONDENSATE PIPING TO FLOOR DRAIN UNDER UNIT.
- 4 INSTALL NEW DAIKIN OR EQUAL RCS12F150C CONDENSING UNIT; 183 MBH, 208/3 PHASE 64.0 MCA. EXTEND REFRIGERANT PIPING, CONTROL WIRING, ETC AND INTERCONNECT WITH AIR HANDLER FOR COMPLETE SYSTEM.
- 5 INSTALL NEW 25A FUSES IN EXISTING DISCONNECT AND EXTEND NEW (3) #10, #10G, 3/4" C CIRCUIT TO NEW AIR HANDLER.
- 6 REMOVE EXISTING JUNCTION BOX AND INSTALL NEW ~12X14 (VERIFY SIZE) LOCKABLE NEMA 4X ENCLOSURE. INSTALL NSI CONNECTOR ON EXISTING CONDUCTORS TO NEW 208/3 PHASE. 125A NEMA 3R DISCONNECT. INSTALL 80A FUSES IN DISCONNECT AND EXTEND (3) #4, #8G, 1-1/4" C CIRCUIT TO NEW CONDENSING UNIT. INTERCONNECT WITH NEW AIR HANDLING UNIT FOR COMPLETE SYSTEM.
- 7 INSTALL NEW RA DUCT SMOKE DETECTOR AND INTERCONNECT WITH EXISTING FIRE ALARM PANEL. CONTACT ALARM SYSTEMS KERRY DAVIS - KDAVIS@ALARMSYSTEMSINC.COM 217-222-2280
- 8 MODIFY EXISTING SUPPLY, RETURN, AND OUTDOOR AIR DUCT AS REQUIRED AND CONNECT TO NEW AIR HANDLING UNIT.
- 9 ALL EXISTING SUPPLY, RETURN, AND OUTDOOR AIR DUCTWORK, GRILLES, ETC SHALL BE PROFESSIONALLY CLEANED. CONTRACTOR VERIFY EXACT LAYOUT.
- 10 INSTALL NEW PROGRAMMABLE THERMOSTAT
- 11 REMOVE EXISTING HYDRONIC WALL HEATER. CAP PIPING FLUSH WITH WALL AND GROUT FOR PAINTING UNDER SEPARATE CONTRACT. MODIFY EXISTING PIPING ABOVE CEILING AS REQUIRED AND EXTEND DOWN EXPOSED ON WALL TO SERVE NEW VULCAN OR EQUAL JV3-ARS14, 48", WITH INTEGRAL THERMOSTAT. INSTALL NEW UNIT AT ~72" AFF.
- 12 VERIFY OPERATION OF EXISTING ELECTRONIC AUTO-DAMPER. EXTEND OA DUCT FROM EXISTING MANUAL BALANCE DAMPER AND CONNECT TO NEW FABRICATED RA PLENUM FROM AIR HANDLER.



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QUINCY HOUSING AUTHORITY

540 HARRISON STREET, QUINCY, ILLINOIS 62301

JERRY GILLE, EXECUTIVE DIRECTOR

CONSTRUCTION
DOCUMENT
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REVISIONS	

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MECHANICAL
PLAN

DWG. NO.
M101