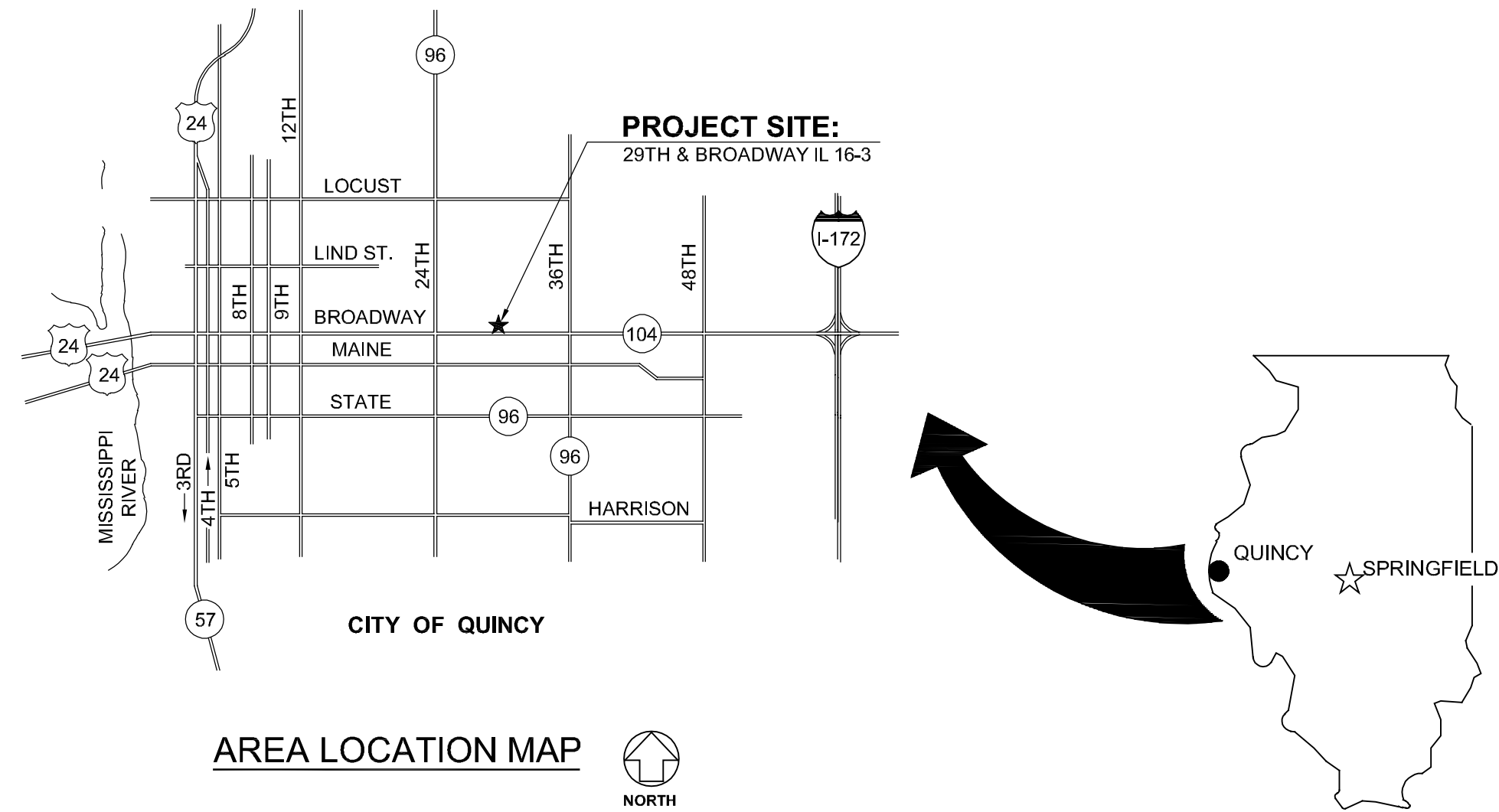


EXTERIOR IMPROVEMENTS AT: 29TH & BROADWAY (IL 16-3)

QUINCY HOUSING AUTHORITY

540 HARRISON STREET
QUINCY, ADAMS COUNTY, ILLINOIS

JERRY GILLE
EXECUTIVE DIRECTOR



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECTS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A. WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

INDEX OF DRAWINGS

G001	COVER SHEET
C101	OVERALL SITE PLAN
DC101	SITE DEMOLITION PLAN
C102	ENLARGED SITE PLAN
C103	SITE UTILITIES PLAN
C501	SITE DETAILS

PRE-BID MEETING: 10:00 AM FRIDAY, AUGUST 13, 2021
BIDS DUE: 2:00 PM THURSDAY, AUGUST 19, 2021

ABBREVIATIONS

ABV A.F.F. ADDN. A.C. A.H.U. ALT ALUM A.D.A. ANCS. AUTO. BM. BRG. BITUM. BLKG. BLDG BD. BTM. B.P. BULD. BUR CA. C.I. CAT CLG. C.T. C.W.B. C.B. C.C.S. C.O. CO. COMP. CONC C.M.U. COND CONN. CONST. C.J. CONT CONTR. CORD CORR. CNTR. C.R. C.F.M. DEMO DET DIA DIM. DISP. DIV. DR. DBL. D.S.	ABOVE ABOVE FINISHED FLOOR ADDITION AIR CONDITIONING AIR HANDLING UNIT ROOFING ALUMINUM AMERICANS WITH DISABILITIES ACT ANCHORS AUTOMATIC BEAM BEARING BITUMINOUS BLOCKING BUILDING BOARD BOTTOM BRICK PAVERS BUILDING BUILT-UP ROOF CARPET CAST IRON CATALOG CEILING CERAMIC TILE CERAMIC WALL BASE CHALK BOARD CLOSET CLEAN OUT COMPANY COMPOSITION CONCRETE CONCRETE MASONRY UNIT CONDENSATION CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CONTRACTOR CORRUGATED CORRIDOR COUNTER CRUSHED ROCK CUBIC FEET PER MINUTE DEMOLITION DETAIL DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOWNSPOUT	DWG D.F. EA. E.W. E.M.R. ELEC. E.P. EL. ELEV. ELEVATOR EXH. E.F. EXIST E.J. EXT E.I.F.S. F.W.C. OFC. FIN. F.E.C. FIX. FL. F.D. FLOOR. FTG. FND. G.P.M. GALV GA. G.W.T. G.B. G.F.B. GYP. BD. H.D. HC HR. HDWE. H.V.A.C. HT. H.C. H.M. HORIZ. INC. INSUL. INSUL.G. JAN. J.T. J.F. JST. J.B. LAM. LAV. L.H. L.G.	DRAWING DRINKING FOUNTAIN EACH EACH WAY ELASTOMERIC MEMBRANE ROOFING ELECTRIC ELECTRIC PANELBOARD ELEVATION ELEVATOR EXHAUST EXHAUST FAN EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSULATION FINISH SYSTEM FABRIC WALL COVERING FIELD VERIFY FINISH FIRE EXTINGUISHER CABINET FIXTURE FLOOR FLOOR DRAIN FLUORESCENT FOOTING FOUNDATION GALLONS PER MINUTE GALVANIZED GAUGE GLAZED WALL TILE GRAB BAR GROUND FACE BRICK GYPSUM WALLBOARD HAIR/HAND DRYER HANDICAPPED HANDRAIL HEATING, VENTILATING, & AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL INCORPORATED INSULATION INSULATED GLASS JANITOR JOINT JOINT FILLER JOIST JUNCTION BOX LAMINATE LAVATORY LEFT HAND LONG	M.A.U. M.H. MFGR. M.T. MK. M.O. MATL. MECH. MET. MIN. MISC. M.R. MTD. N.D. NAPKN DISPENSER N.I.C. NOM. NO. NUMBER OFFICE O.C. ON CENTER OPG. OPP. HND. OH. PAINT PAIR PARTN. PERF. P.D. PLAS. P.S. P.V. PLYWD. P.V.C. P.S.F. PREFIN. PROJ. MAN. QTY. Q.T. RAD. RECEP. REF. R.A. R.H. R. R.D. R.B. R.C.B. REQD. R.O.W. RM. R.I. R.O. R.S.T. SAN. SCHED.	MAKEUP AIR UNIT MANHOLE MANUFACTURER MARBLE TILE MARK MASONRY OPENING MATERIAL MECHANICAL METAL MINIMUM MISCELLANEOUS MOISTURE RESISTANT MOUNTED NAPKIN DISPENSER NOT IN CONTRACT NOMINAL NUMBER OFFICE ON CENTER OPENING OPPOSITE HAND OVERHEAD PAINT PAIR PARTITION PERFORATED PRESSURE DROP PLASTIC PLUMBING STACK PLUMBING VENT PLYWOOD POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT PREFINISHED PROJECT MANUAL QUANTITY QUARRY TILE RADIUS RECEPTACLE REFERENCE RETURN AIR RIGHT HAND RISERS ROOF DRAIN RUBBER BASE RUBBER COVE BASE REQUIRED RIGHT OF WAY ROOM ROUGH IN ROUGH OPENING RUBBER STAIR TREAD RUBBER TILE SANITARY (SEWER) SCHEDULE	SECT. SHT. SIM. S.C. SPEC. S.& V. S.S. STD. STL. STOR. ST. S. S.G.T. S.A.P. T.B. T. & S. T.D.D. T.G. T.R.G. TZ. T.T. THK. THOLD T.P. T. & G. T. & B. TRANS. T. TYP. U.L. U.N.O. U.P. V.P. VERT. VEST. V.C.T. V.W.C. V.C.P. W.C. W.W.F. W. WDW. W.G. W. W/O WD. T. TYP. U.L.	SECTION SHEET SIMILAR SOLID CORE SPECIFICATION STAIN AND VARNISH STAINLESS STEEL STANDARD STEEL STORAGE STORM SEWER STRUCTURAL GLAZED TILE SUSPENDED ACOUSTICAL PANELS TACK BOARD TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF TEMPERED GLASS TEMPERED REFLECTIVE GLASS TERRAZZO TERRAZZO TILE THICK/THICKNESS THRESHOLD TOILET PAPER TONGUE AND GROOVE TOP AND BOTTOM TRANSITION TRANSITION TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE UTILITY POLE VAPOR BARRIER VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET WELDED WIRE FABRIC WIDTH WINDOW WIRE GLASS WITH WITH OUT WOOD WOOD TREADS TYPICAL UNDERWRITERS
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ARCHITECTNICS
architects • engineers • interior designers
510 Main Street, Quincy, IL 62301 • 217-292-0554 • info@architectnics.com
DESIGN FIRM NO. 184004061

CURRENT DATE: 8/6/2021



LICENSE EXPIRES: 11/30/22

EXTERIOR IMPROVEMENTS AT: 29TH & BROADWAY (IL 16-3)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

CONSTRUCTION
DOCUMENT
PHASE

ISSUED FOR
BIDDING

ISSUE DATE: 8/6/2021

REVISIONS

PROJECT NUMBER: 6107

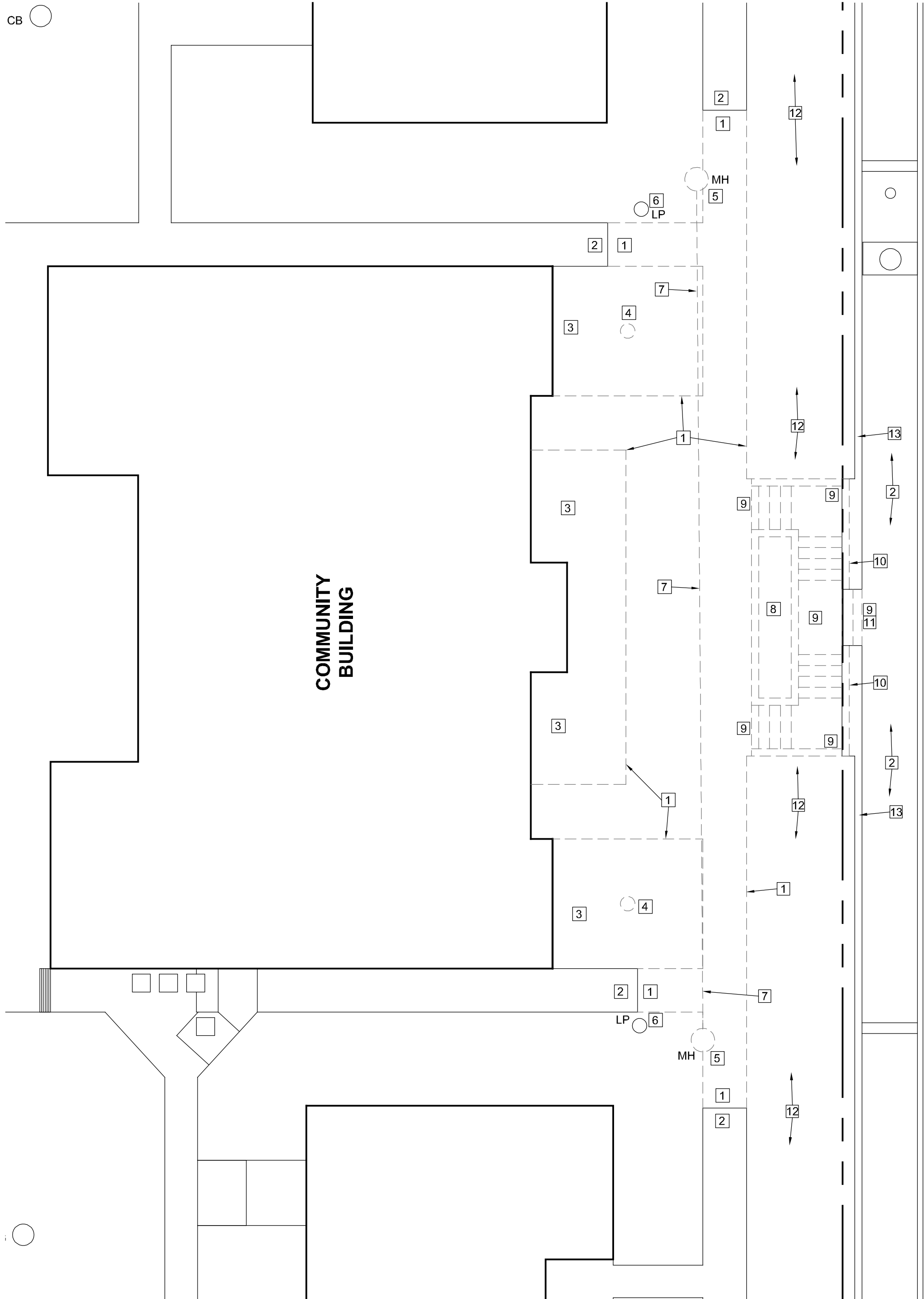
COVER
SHEET

DWG. NO.

G001

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. COORDINATE ALL WORK WITH ALL TRADES, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL.
3. AFTER DEMOLITION, THE CONTRACTOR SHALL CLEAN AREA FOR INSTALLATION OF NEW MATERIAL.
4. ARCHITECHNICS SHALL NOT BE RESPONSIBLE FOR NOR HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT, AND SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO CARRY OUT HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
5. ARCHITECHNICS SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OVER, THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, ANY OF THEIR AGENTS, OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. ALL SHORING AND BRACING MEMBERS AND CONNECTIONS SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE IMPOSED LOADS. TEMPORARY MEMBERS AND CONNECTIONS SHALL NOT BE REMOVED UNTIL PERMANENT MEMBERS ARE IN PLACE AND FINAL CONNECTIONS ARE MADE.
7. CONTRACTOR SHALL VERIFY IN FIELD ALL DIMENSIONS, ELEVATIONS, AND MEMBER SIZES AS SHOWN ON THE CONTRACT DRAWINGS FOR THE EXISTING CONSTRUCTION, PRIOR TO THE DETAILING OR FABRICATION OF ANY NEW STRUCTURAL ELEMENT. CONTRACTOR SHALL DOCUMENT ANY CONSTRUCTION-RELATED DISCREPANCIES. CONTRACTOR SHALL FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE ARCHITECT/STRUCTURAL ENGINEER FOR REVIEW.
8. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE NOTED.
9. PROTECT EXISTING CONSTRUCTION FROM DAMAGE AS REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.



LEGEND

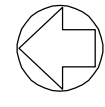
- LP LIGHT POLE
PP POWER POLE
MH MANHOLE
FH FIRE HYDRANT
CB CATCH BASIN
YCO YARD CLEANOUT
— — — PROPERTY LINE

SITE DEMOLITION NOTES

- 1 EXISTING CONCRETE SIDEWALK CONSTRUCTION TO BE REMOVED
- 2 EXISTING CONCRETE SIDEWALK TO REMAIN
- 3 EXISTING LANDSCAPING IN THIS AREA TO BE REMOVED
- 4 EXISTING PLANTER TO BE REMOVED
- 5 EXISTING MANHOLE TO BE REMOVED, SEE DWG. C103
- 6 EXISTING LIGHT POLE TO REMAIN
- 7 EXISTING SANITARY SEWER PIPING BETWEEN MANHOLES TO BE REMOVED, SEE DWG. C103
- 8 EXISTING PLANTER BOX TO BE REMOVED IN ITS ENTIRETY
- 9 EXISTING CONCRETE STAIRWAY, BRICK WALLS, STEEL HANDRAILS, AND CONCRETE FOUNDATIONS BELOW TO BE REMOVED
- 10 EXISTING BRICK WALLS ATOP CONCRETE GRADE BEAM TO BE REMOVED, EXISTING GRADE BEAM TO REMAIN
- 11 REMOVE EXISTING CONCRETE SIDEWALK IN THIS AREA AS REQUIRED FOR NEW INFILL WALL CONSTRUCTION, SEE DRAWING C102
- 12 EXISTING LANDSCAPING IN THIS AREA TO REMAIN
- 13 EXISTING CONCRETE WALL CONSTRUCTION TO REMAIN

DEMOLITION SITE PLAN

SCALE: 1/8" = 1'-0"



NORTH

CURRENT DATE: 8/6/2021



LICENSE EXPIRES: 11/30/22

EXTERIOR IMPROVEMENTS AT: 29TH & BROADWAY (IL 16-3)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

CONSTRUCTION
DOCUMENT
PHASE

ISSUED FOR
BIDDING

ISSUE DATE: 8/6/2021

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 6107

DEMOLITION
SITE PLAN

DWG. NO.

DC101

LP	LIGHT POLE
PP	POWER POLE
MH	MANHOLE
FH	FIRE HYDRANT
CB	CATCH BASIN
YCO	YARD CLEANOUT
— — —	PROPERTY LINE

- 1 NEW CONCRETE SIDEWALK, SEE DETAIL 1/C501
- 2 INSTALL NEW EVERGREEN GROUND COVER TO MATCH EXISTING, VERIFY AT PROJECT SITE
- 3 SLOPE NEW GRADE IN THIS AREA TO MATCH EXISTING, VERIFY AT PROJECT SITE
- 4 GRADE AND RESEED IN THIS AREA AS REQUIRED
- 5 NEW CONCRETE WALL INFILL CONSTRUCTION, SEE DETAIL 6/C501
- 6 PATCH AND REPAIR EXISTING CONCRETE SIDEWALK AS REQUIRED
- 7 MATCH EXISTING ELEVATIONS WHERE NEW CONCRETE SIDEWALKS MEET EXISTING (TYPICAL)
- 8 NEW SANITARY SEWER MANHOLE. SEE DWG. C103
- 9 SEE DRAWING C103 FOR DRAINAGE BEHIND NEW CONCRETE WALL
- 10 REMOVE AND REPLACE DEAD EVERGREEN GROUND COVER TO MATCH EXISTING IN THIS AREA, VERIFY AT PROJECT SITE
- 11 PROVIDE NEW SOIL INFILL TO REDUCE STEEP SLOPE AT EXISTING CONCRETE WALL - REMOVE EXISTING LAWN AREA AND INSTALL NEW EVERGREEN GROUND COVER TO MATCH EXISTING, VERIFY AT PROJECT SITE

0	2	4	8	16
Black	White	Black	White	Black
White	Black	White	Black	White



CURRENT DATE: 8/6/2021



CENSE EXPIRES: 11/30/22

EXTERIOR IMPROVEMENTS AT: 29TH & BROADWAY (IL 16-3)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

**CONSTRUCTION
DOCUMENT
PHASE**

**ISSUED FOR
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SUE DATE: 8/6/202

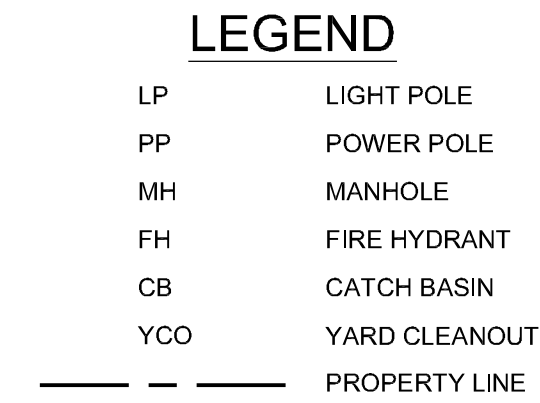
REVISIONS

PROJECT NUMBER: 610

ENLARGED SITE PLAN

WG. NO.

C102



- 1 NEW MANHOLE - SEE DETAIL C501-5. VERIFY/COORDINATE DEPTH AND PIPE INFLOW/OUTFLOW ELEVATIONS PRIOR TO ORDERING.
- 2 VERIFY LOCATION OF EXISTING RETAINING WALL UNDER DRAIN AND INSTALL NEW 4" PIPING WITH ROCK COVER TO MATCH EXISTING.
- 3 VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK AND INSTALL NEW 6" PVC SANITARY PIPING BETWEEN NEW MANHOLES.

CURRENT DATE: 8/6/2021



CONSTRUCTION
DOCUMENT
PHASE

ISSUE DATE: 8/6/202

[illegible]

PROJECT NUMBER: 610

DWG. NO.

C103



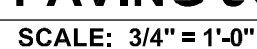
1. SAW CUTS WHERE REQUIRED SHALL BE 2" MINIMUM DEPTH.
2. AT LOCATIONS WHERE NEW PAVEMENT INTERSECTS EXISTING



1 SCALE: 3/4" = 1'-0"



4 SCALE: 1/2" = 1'-0"



SCALE: N.T.S.

CONCRETE PAVING JOINT NOTES:

1. AT INLETS, MANHOLES AND OTHER STRUCTURES, TRANSVERSE JOINTS SHALL BE SHORTENED ONE OR MORE PANELS EITHER SIDE OF THE STRUCTURE TO PERMIT JOINTS TO FALL AT THE CORNERS OF THE BOX-OUT. ONE OR BOTH "L" DIMENSIONS OF THE BOX-OUT MAY BE ADJUSTED TO PROVIDE FOR INTERSECTION OF LONGITUDINAL JOINTS AT BOX-OUT CORNERS.
2. TRANSVERSE JOINTS SHALL BE CONSTRUCTED IN THE PAVEMENT, NOT IN THE CURB OR GUTTER, AND SHALL BE ACROSS PAVEMENT, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS. EXPANSION JOINTS WILL BE REQUIRED AS SHOWN ON PLANS.
3. MAXIMUM TRANSVERSE JOINT SPACING SHALL BE 15 FEET, UNLESS OTHERWISE SPECIFIED.
4. PAVEMENT JOINTS SHALL BE SEALED WITH HOT PUT MATERIAL MEETING THE REQUIREMENTS OF ASTM D3405.
5. TRANSVERSE JOINTS CONFORMING TO THE REQUIREMENTS OF THIS SECTION SHALL BE SEALED WITH HOT PUT AND SHALL BE USED FOR THE TIE BARS.
6. TYPE B JOINTS WHICH ARE TO BE COATED SHALL RECEIVE TWO COATS OF ASPHALTIC EMULSION PRIOR TO PLACEMENT OF THE ADJACENT PAVEMENT.
7. TYPE D JOINTS MAY BE USED IN LIEU OF TYPES B OR C JOINTS WHEN SLABS ON BOTH SIDES OF THE JOINT ARE POURED INTEGRALLY.
8. TYPE E JOINTS SHALL BE TIE BARS, WHEN REQUIRED, SHALL BE OF SIZE AND STRENGTH SUFFICIENT TO FIRMLY HOLD THE BAR IN PLACE.
9. THE ALTERNATE CONSTRUCTION OF INTEGRAL OR SEPARATE COMBINATION CURB AND GUTTER IS AT THE CONTRACTOR'S OPTION.

SCALE: 3/4" = 1'-0"

