

QUINCY HOUSING AUTHORITY

JERRY GILLE
EXECUTIVE DIRECTOR



1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

ARCHITECTNCS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTNCS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A. WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

G001	COVER SHEET
C101	SITE PLAN
A101	ROOF PLANS AND DETAILS

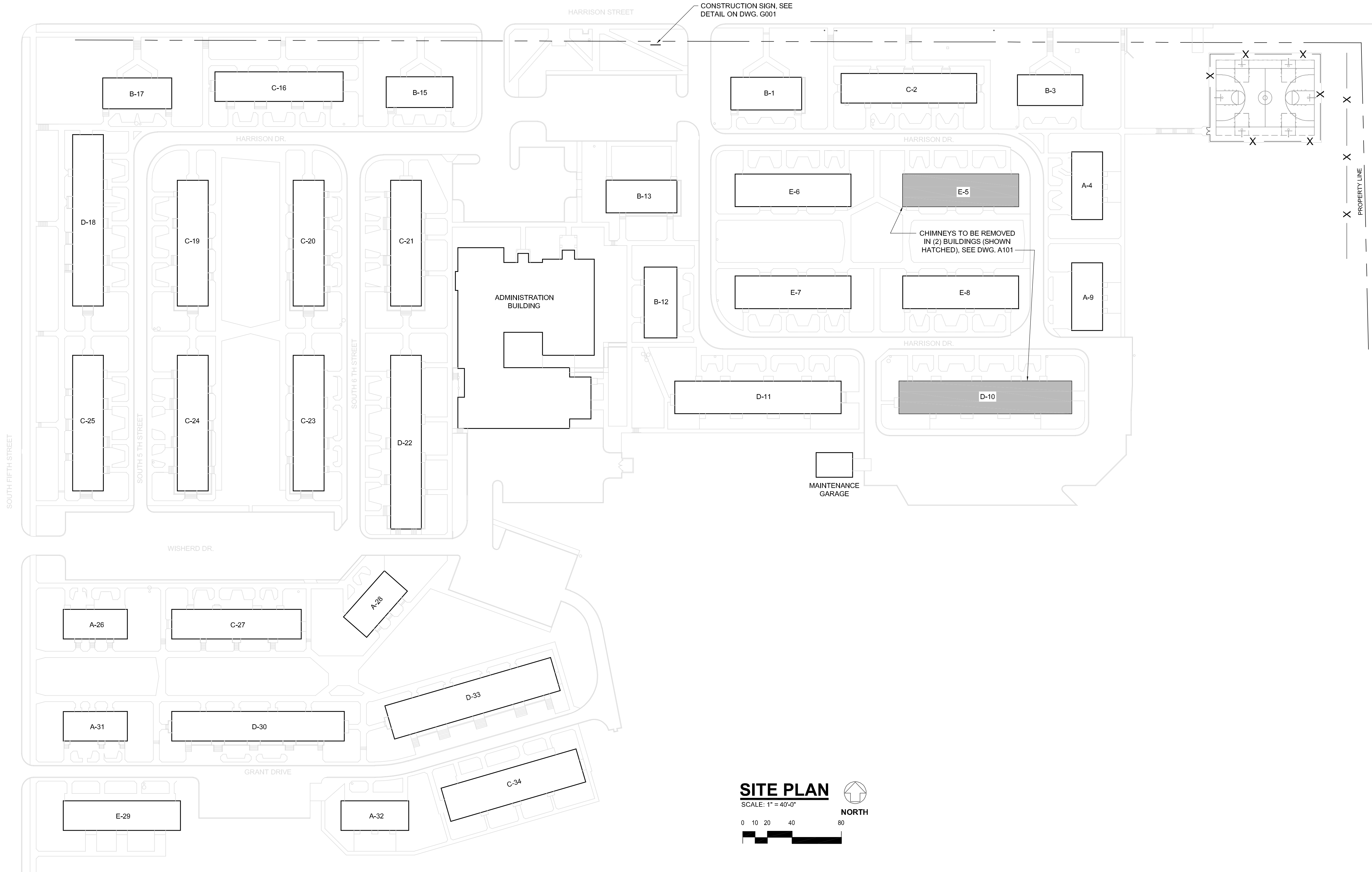
ABV	ABOVE	DWG	DRAWING	M.A.U.	MAKEUP AIR UNIT	SECT.	SECTION
A.F.F.	ABOVE FINISHED FLOOR	D.F.	DRINKING FOUNTAIN	M.H.	MANHOLE	SHEET	SHEET
ADDN.	ADDITION	EA.	EACH	MGR.	MANUFACTURER	SIM.	SIMILAR
A.C.	AIR CONDITIONING	E.W.	EACH WAY	M.T.	MARBLE TILE	S.C.	SOLID CORE
A.H.U.	AIR HANDLING UNIT	E.M.R.	ELASTOMERIC MEMBRANE	M.K.	MARK	SPEC.	SPECIFICATION
ALT	ALTERNATE	ELC.	ELECTRIC	N.O.	NAPKIN OPENING	S.A.V.	STAIN AND VARNISH
ALUM	ALUMINUM	E.P.	ELECTRIC PANELBOARD	MATL.	MATERIAL	S.S.	STAINLESS STEEL
A.D.A.	AMERICANS WITH DISABILITIES ACT	E.E.	ELEVATION	MECH.	MECHANICAL	STD.	STANDARD
		E.L.	ELEVATOR	MET.	METAL	STL.	STEEL
ANC.S.	ANCHORS	ELEV.	ELEVATOR	MIN.	MINIMUM	STOR.	STORAGE
AUTO.	AUTOMATIC	EXH.	EXHAUST	MISC.	MISCELLANEOUS	ST. S.	STRUCTURAL STEEL
BM.	BEAM	E.F.	EXHAUST FAN	N.R.	MOISTURE RESISTANT	S.G.T.	STRUCTURAL GLAZED
BRG.	BEARING	EXIST	EXISTING	MTD.	MOUNTED		
BITUM.	BITUMINOUS	E. J.	EXPANSION JOINT	N.D.	NAPKIN DISPENSER	S.A.P.	SUSPENDED ACOUSTICAL
BLKG.	BLOCKING	EXT	EXTERIOR	N.B.C.	NOT IN CONTRACT		PANELS
BLDG.	BUILDING	E.I.F.S.	EXTERIOR INSULATION	N.O.M.	NOMINAL	T.B.	TACK BOARD
BD.	BOARD		FINISH SYSTEM	NUM.	NUMBER	T. & S.	TAPE AND SAND
BTM.	BOTTOM	F.W.C.	FABRIC WALL COVERING	OFC.	OFFICE	T.D.D.	TELECOMMUNICATIONS
B.P.	BRICK PAVERS	F.V.	FIELD VERIFY	O.C.	ON CENTER		DEVICE FOR DEAF
BLDG.	BUILDING	FIN.	FINISH	OPG.	OPENING	T.G.	TEMPERED GLASS
BUR.	BUILT-UP ROOF	F.E.C.	FIRE EXTINGUISHER	OPP. HND.	OPPOSITE HAND	T.R.G.	TEMPERED REFLECTIVE
CA.	CARPET	FIX.	FIXTURE	CABINET	OVERHEAD		GLASS
C.I.	CAST IRON	FL.	FLOOR	PT.	PAINT	TZ.	TERRAZZO
CAT.	CATALOG	F.D.	FLOOR DRAIN	PR.	PAIR	T.T.	TERRAZZO TILE
CLG.	CEILING	FLOUR.	FLOUR	PARTN.	PARTITION	THK.	THICK/THICKNESS
C.T.	CERAMIC TILE	FTG.	FOOTING	PERF.	PERFORATED	THOLD.	THRESHOLD
C.W.B.	CERAMIC WALL BASE	FND.	FOUNDATION	P.D.	PRESSURE DROP	T.	TOILET PAPER
C.B.	CHALK BOARD	G.P.M.	GALLONS PER MINUTE	PLAS.	PLASTIC	T. & G.	TONGUE AND GROOVE
CLOS.	CLOSET	GALV.	GALVANIZED	P.S.	PLUMBING STACK	T. & B.	TOP AND BOTTOM
C.O.	CLEAN OUT	GA.	GAUGE	P.V.	PLUMBING VENT	TRANS.	TRANSITION
CO.	COMPANY	G.W.T.	GLAZED WALL TILE	PLYWD.	PLYWOOD	T.	TREADS
COMP.	COMPOSITION	G.B.	GRAB BAR	P.V.C.	POLYVINYL CHLORIDE	TYP.	TYPICAL
CONC.	CONCRETE	G.F.B.	GROUND FACE BRICK	P.S.F.	POUNDS PER SQUARE FOOT	U.L.	UNDERWRITERS
C.M.U.	CONCRETE MASONRY UNIT	GYP. BD.	GYPSUM WALLBOARD	PREF.	PREFISHED		LABORATORIES
CND.	CONDENSATION	H.D.	HAIR-HAND DRYER	PROJ. MAN.	PROJECT MANUAL	U.N.O.	UNLESS NOTED
CONN.	CONNECTION	HC	HANDICAPPED	QTY.	QUANTITY		OTHERWISE
CONST.	CONSTRUCTION	HR.	HANDRAIL	Q.T.	QUARRY TILE	UTILITY	UTILITY POLE
C.J.	CONSTRUCTION JOINT	HDWE.	HARDWARE	RAD.	RADIUS	V.P.	VAPOR BARRIER
CONT.	CONTINUOUS	H.V.A.C.	HEATING, VENTILATING, & AIR CONDITIONING	RECEP.	RECEPTACLE	VERT.	VERTICAL
CONTR.	CONTRACTOR	HT.	HEIGHT	REF.	REFERENCE	VEST.	VESTIBULE
CORD	CORRUGATED	H.C.	HOLLOW CORE	R.A.	RETURN AIR	V.C.T.	VINYL COMPOSITION
CORR.	CORRIDOR	H.M.	HOLLOW METAL	R.H.	RIGHT HAND		
COUNTER.	COUNTER	HORIZ.	HORIZONTAL	R.	RISERS	V.W.C.	VINYL WALL COVERING
C.R.	CRUSHED ROCK	INC.	INCORPORATED	R.D.	ROOF DRAIN	V.C.P.	VITRIFIED CLAY PIPE
C.F.M.	CUBIC FEET PER MINUTE	INSUL.	INSULATION	R.B.	RUBBER BASE	W.C.	WATER CLOSET
		INSUL.G.	INSULATED GLASS	R.C.B.	RUBBER COVE BASE	W.W.F.	WEADED WIRE FABRIC
DEMO	DEMOLITION	JAN.	JANITOR	REQD.	REQUIRED	W.	WIDTH
DET.	DETAIL	JT.	JOINT	R.O.W.	RIGHT OF WAY	WDW.	WINDOW
DIA.	DIAMETER	JT.	JOINT FILLER	RM.	ROOM	W.G.	WIRE GLASS
DIM.	DIMENSION	JST.	JOIST	R.I.	ROUGH IN	W/	WITH
DISP.	DISPENSER	J.B.	JUNCTION BOX	R.O.	ROUGH OPENING	W/O	WITH OUT
DN.	DOWN	J.L.	JAM	R.S.T.	RUBBER STAIR TREAD	WD.	WOOD
DR.	DOOR	L.A.M.	LAMINATE	R.T.	RUBBER TILE	T.	TREADS
DBL.	DOUBLE	LAV.	LAVATORY	SAN.	SANITARY (SEWER)	TYP.	TYPICAL
D.S.	DOWNSPOUT	L.H.	LEFT HAND	SCHED.	SCHEDULE	U.L.	UNDERWRITERS

CHIMNEY REMOVAL AT: INDIAN HILLS (IL 16-1)
QUINCY HOUSING AUTHORITY
 540 HARRISON STREET, QUINCY, ILLINOIS 62301
 JERRY GILLE, EXECUTIVE DIRECTOR

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CURRENT DATE: 8/6/2021



LICENSE EXPIRES: 11/30/22

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QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

CONSTRUCTION
DOCUMENT
PHASE

ISSUED FOR
BIDDING

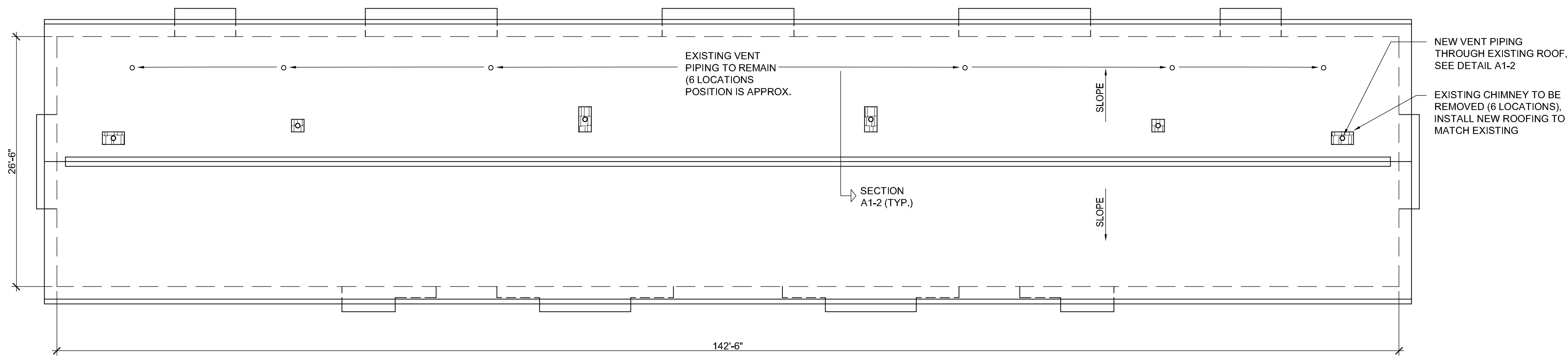
ISSUE DATE: 8/6/2021

REVISIONS	

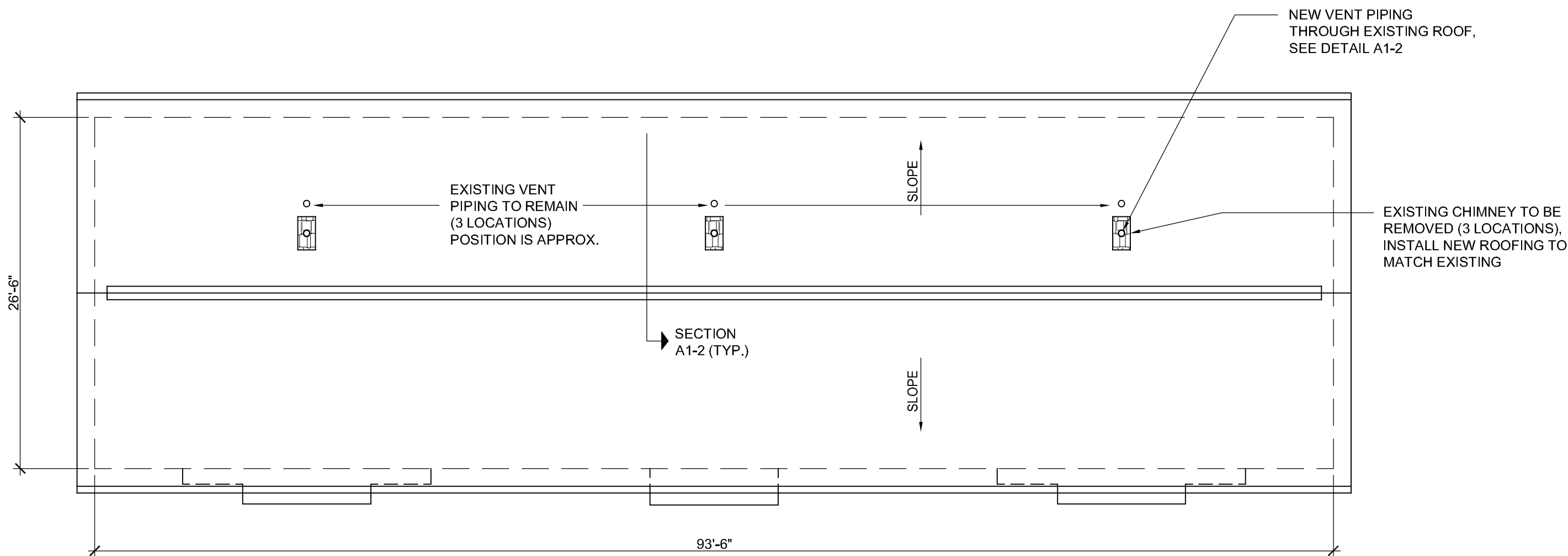
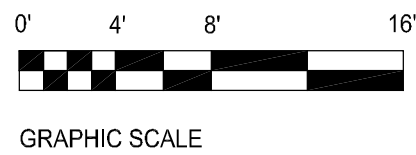
PROJECT NUMBER: 6142

SITE PLAN

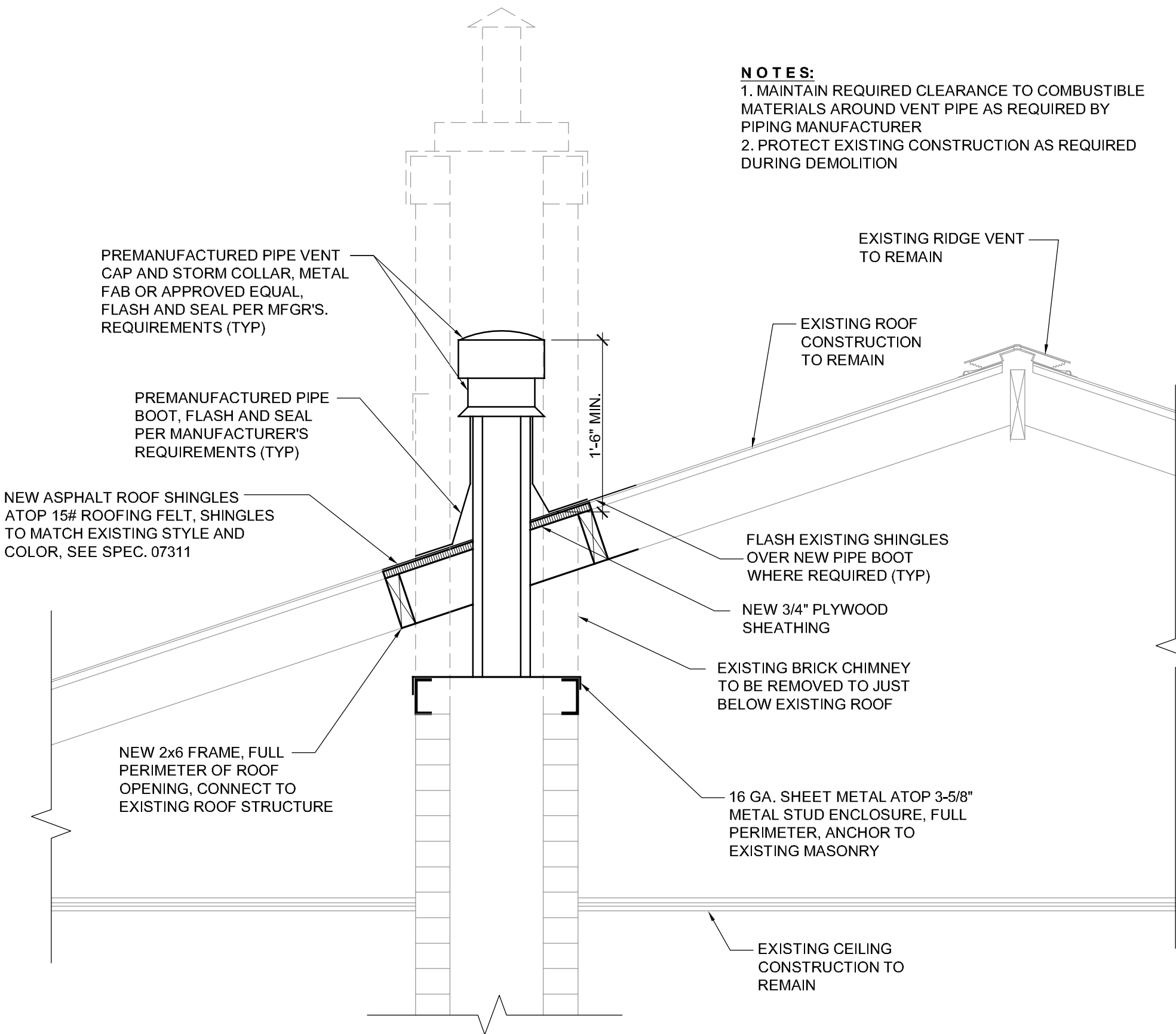
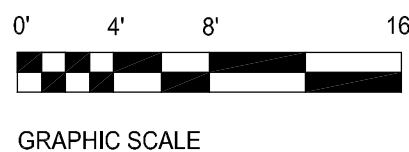
DWG. NO.
C101



1 TYP. ROOF PLAN - BLDG "D"
A1 SCALE: 1/8" = 1'-0"



2 TYP. ROOF PLAN - BLDG "E"
A1 SCALE: 1/8" = 1'-0"



3 ROOF SECTION
A1 SCALE: 1" = 1'-0"



REVISIONS	