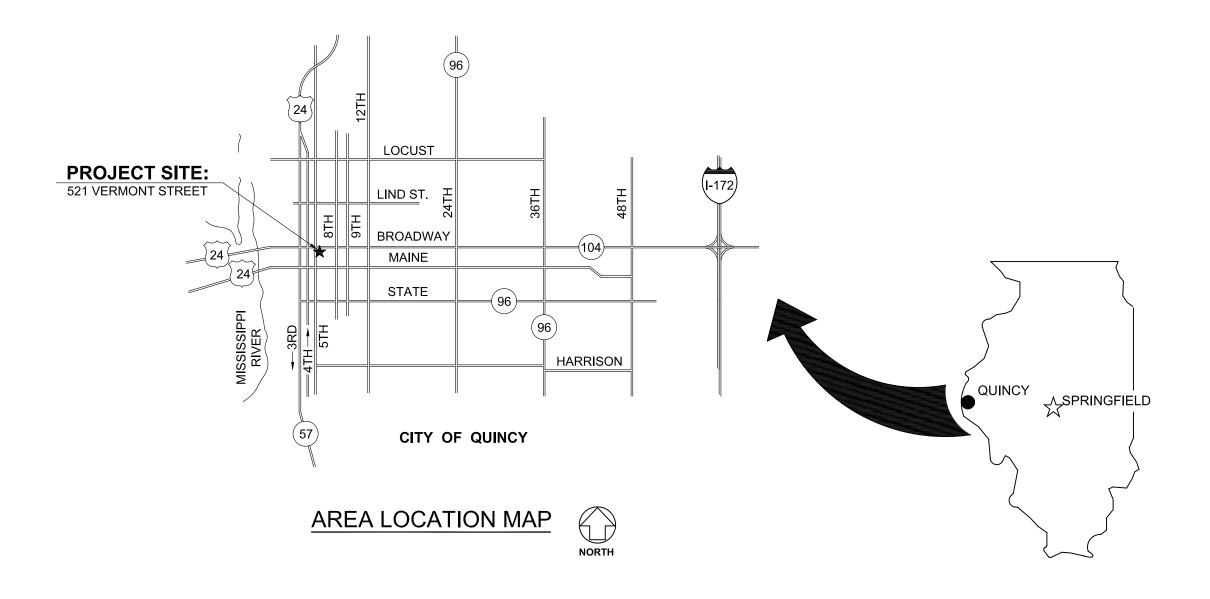
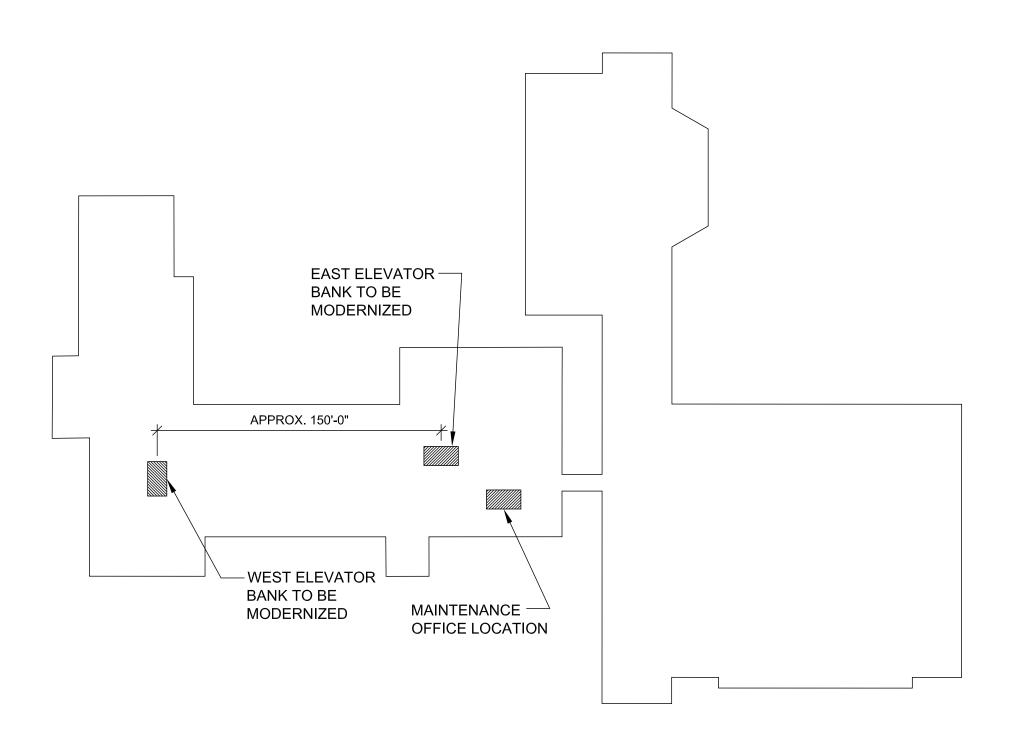
ELEVATOR MODERNIZATION FOR:

ADAMS COUNTY COURTHOUSE

ILLINOIS

521 VERMONT STREET QUINCY, ADAMS COUNTY, ILLINOIS





AREA LOCATION PLAN

GENERAL NOTES

- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
- 2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE
- 3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
- FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND
- 6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.

7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO

- COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS,
- OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
- 11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
- 12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
- 13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
- 14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECHNICS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECHNICS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A., WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

INDEX OF DRAWINGS

COVER SHEET

EAST ELEVATORS FLOOR PLANS AND SECTIONS WEST ELEVATORS FLOOR PLANS AND SECTIONS MACHINE ROOM FLOOR PLANS AND DETAILS

CURRENT DATE: 4/23/2021



LICENSE EXPIRES: 11/30/22

ISSUED FOR

BIDDING

SSUE DATE: **4/23/2021** REVISIONS

> **COVER** SHEET

PROJECT NUMBER: 6090

DWG. NO.

ABBREVIATIONS

ABV	ABOVE	DWG	DRAWING	M.A.U.	MAKEUP AIR UNIT
A.F.F.	ABOVE FINISHED FLOOR	D.F.	DRINKING FOUNTAIN	M.H.	MANHOLE
ADD'N.	ADDITION	EA.	EACH	MFGR.	MANUFACTURER
A.C.	AIR CONDITIONING	E.W.	EACH WAY	M.T.	MARBLE TILE
A.H.U.	AIR HANDLING UNIT	E.M.R.	ELASTOMERIC MEMBRANE	MK.	MARK
ALT	ALTERNATE		ROOFING	M.O.	MASONRY OPENING
ALUM	ALUMINUM	ELEC.	ELECTRIC	MATL.	MATERIAL
A.D.A.	AMERICANS WITH	E.P.	ELECTRIC PANELBOARD	MECH.	MECHANICAL
7	DISABILITIES ACT	EL	ELEVATION	MET.	METAL
ANCC	ANCHORS	ELEV.	ELEVATOR	MIN.	MINIMUM
ANCS. AUTO.	AUTOMATIC	EXH.	EXHAUST	MISC.	MISCELLANEOUS
		E.F.	EXHAUST FAN	M.R.	MOISTURE RESISTA
BM.	BEAM	EXIST	EXISTING	MTD.	MOUNTED
BR'G.	BEARING BITUMINIOUS	E. J.	EXPANSION JOINT		NAPKIN DISPENSER
BITUM.	BITUMINOUS	EXT	EXTERIOR	N.I.C.	NOT IN CONTRACT
BLK'G.	BLOCKING	E.I.F.S.	EXTERIOR INSULATION		NOMINAL
BLDG	BUILDING		FINISH SYSTEM		NUMBER
BD.	BOARD	F.W.C.	FABRIC WALL COVERING	OFC.	OFFICE
BTM.	BOTTOM	F.V.	FIELD VERIFY	O.C.	ON CENTER
B.P.	BRICK PAVERS	FIN.	FINISH	OPG.	OPENING
BLDG.	BUILDING	F.E.C.	FIRE EXTINGUISHER	OPP. HND.	OPPOSITE HAND
BUR	BUILT-UP ROOF		CABINET	OH.	OVERHEAD
CA.	CARPET	FIX.	FIXTURE	PT.	PAINT
C.I.	CAST IRON	FL.	FLOOR	PR.	PAIR
CAT	CATALOG	F.D.	FLOOR DRAIN	PARTN.	PARTITION
CLG.	CEILING	FLOUR.	FLUORESCENT	PERF.	PERFORATED
C.T.	CERAMIC TILE	FTG	FOOTING	P.D.	PRESSURE DROP
C.W.B.	CERAMIC WALL BASE	FND.	FOUNDATION	PLAS	PLASTIC
C.B.	CHALK BOARD	G.P.M.	GALLONS PER MINUTE	P.S.	PLUMBING STACK
CLOS.	CLOSET	GALV	GALVANIZED	P.V.	PLUMBING VENT
C.O.	CLEAN OUT	GA.	GAUGE	PLYWD.	PLYWOOD
CO.	COMPANY	G.W.T.	GLAZED WALL TILE	P.V.C.	POLYVINYL CHLORI
COMP.	COMPOSITION	G.B.	GRAB BAR	P.S.F.	POUNDS PER SQUA
CONC	CONCRETE	G.F.B.	GROUND FACE BRICK	F.S.I.	FOOT
C.M.U.	CONCRETE MASONRY	GYP. BD.	GYPSUM WALLBOARD	PREFIN.	PREFINISHED
COND	UNIT	H.D.	HAIR/HAND DRYER		PROJECT MANUAL
COND CONN.	CONDENSATION	HC	HANDICAPPED	QTY.	QUANTITY
	CONNECTION	HR.	HANDRAIL	Q.T.	QUARRY TILE
CONST.	CONSTRUCTION	HDWE.	HARDWARE	RAD.	RADIUS
C.J.	CONSTRUCTION JOINT	H.V.A.C.	HEATING, VENTILATING,	RECEP.	RECEPTACLE
CONT CONTR.	CONTINUOUS	11.0.7.0.	& AIR CONDITIONING	REF	REFERENCE
	CONTRACTOR	HT.	HEIGHT	R.A.	RETURN AIR
COR'D	CORRUGATED	H.C.	HOLLOW CORE	R.H.	RIGHT HAND
CORR.	CORRIDOR	H.M.	HOLLOW METAL	R.n.	RISERS
CNTR.	COUNTER	HORIZ.	HORIZONTAL	R.D.	ROOF DRAIN
C.R.	CRUSHED ROCK	INC.	INCORPORATED	R.B.	RUBBER BASE
C.F.M.	CUBIC FEET PER	INSUL.	INSULATION	R.C.B.	RUBBER COVE BASE
DEMO	MINUTE	INSUL.G.	INSULATION INSULATED GLASS		
DEMO	DEMOLITION	JAN.	JANITOR	REQD.	REQUIRED
DET	DETAIL	JT.	JOINT	R.O.W.	RIGHT OF WAY
DIA	DIAMETER	J.F.	JOINT FILLER	RM.	ROOM
DIM.	DIMENSION	J.F.	JOINT FILLER	R.I.	ROUGH IN

JUNCTION BOX

LAMINATE

LAVATORY

LEFT HAND

LONG

LAM.

LAV.

LG.

DISPENSER

DOWNSPOUT

DIVISION

DOOR

DOUBLE

:A.	EACH	MFGR.	MANUFACTURER
.w.	EACH WAY	M.T.	MARBLE TILE
.M.R.	ELASTOMERIC MEMBRANE	MK.	MARK
	ROOFING	M.O.	MASONRY OPENING
LEC.	ELECTRIC	MATL.	MATERIAL
P.	ELECTRIC PANELBOARD	MECH.	MECHANICAL
r. L	ELEVATION	MET	METAL
LEV.	ELEVATOR	MIN.	MINIMUM
XH.	EXHAUST	MISC.	MISCELLANEOUS
.F.	EXHAUST FAN	M.R.	MOISTURE RESISTANT
XIST	EXISTING	MTD.	MOUNTED
. J.	EXPANSION JOINT	N.D.	NAPKIN DISPENSER
XT	EXTERIOR	N.I.C.	NOT IN CONTRACT
I.F.S.	EXTERIOR INSULATION	NOM.	NOMINAL
	FINISH SYSTEM	NO.	NUMBER
.W.C.	FABRIC WALL COVERING	OFC.	OFFICE
.V.	FIELD VERIFY	O.C.	ON CENTER
IN.	FINISH	OPG.	OPENING
.E.C.	FIRE EXTINGUISHER		OPPOSITE HAND
	CABINET	OH.	OVERHEAD
TX.	FIXTURE	PT.	PAINT
L.	FLOOR	PR.	PAIR
.D.	FLOOR DRAIN	PARTN.	PARTITION
LOUR.	FLUORESCENT	PERF.	PERFORATED
TG.	FOOTING		
ND.	FOUNDATION	P.D.	PRESSURE DROP
ND. S.P.M.	GALLONS PER MINUTE	PLAS.	PLASTIC
		P.S.	PLUMBING STACK
SALV	GALVANIZED	P.V.	PLUMBING VENT
6A.	GAUGE	PLYWD.	PLYWOOD
6.W.T.	GLAZED WALL TILE	P.V.C.	POLYVINYL CHLORIDE
6.B.	GRAB BAR	P.S.F.	POUNDS PER SQUARE
S.F.B.	GROUND FACE BRICK		FOOT
SYP. BD.	GYPSUM WALLBOARD	PREFIN.	PREFINISHED
I.D.	HAIR/HAND DRYER	PROJ. MAN.	PROJECT MANUAL
IC	HANDICAPPED	QTY.	QUANTITY
IR.	HANDRAIL	Q.T.	QUARRY TILE
IDWE.	HARDWARE	RAD.	RADIUS
I.V.A.C.	HEATING, VENTILATING,	RECEP	RECEPTACLE
	& AIR CONDITIONING	REF.	REFERENCE
IT.	HEIGHT	R.A.	RETURN AIR
I.C.	HOLLOW CORE	R.H.	RIGHT HAND
I.M.	HOLLOW METAL	R.	RISERS
IORIZ.	HORIZONTAL		ROOF DRAIN
VC.	INCORPORATED	R.B.	RUBBER BASE
NSUL.	INSULATION		
NSUL. NSUL.G.	INSULATION INSULATED GLASS	R.C.B.	RUBBER COVE BASE
		REQD.	REQUIRED
AN. T	JANITOR	R.O.W.	RIGHT OF WAY
T.	JOINT	RM.	ROOM
.F.	JOINT FILLER	R.I.	ROUGH IN
ST.	JOIST	R.O.	ROUGH OPENING

R.S.T.

SCHED.

RUBBER STAIR TREAD

SANITARY (SEWER)

RUBBER TILE

SCHEDULE

TERRAZZO T.T. TERRAZZO TILE THICK/THICKNESS T'HOLD THRESHOLD TOILET PAPER T. & G. TONGUE AND GROOVE T. & B. TOP AND BOTTOM TRANS. TRANSITION TYP. TYPICAL **UNDERWRITERS** U.L. LABORATORIES **UNLESS NOTED** U.N.O. OTHERWISE U.P. UTILITY POLE VAPOR BARRIER VERTICAL VERT. VESTIBULE V.C.T. VINYL COMPOSITION V.W.C. VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET W.C. WELDED WIRE FABRIC W.W.F. WIDTH WDW. WINDOW W.G. WIRE GLASS W/O WITH OUT WD. WOOD TREADS TYP. TYPICAL UNDERWRITERS

SECTION

SIMILAR

STORAGE

PANELS TACK BOARD

SOLID CORE SPECIFICATION

STAIN AND VARNISH

STAINLESS STEEL STANDARD

STORM SEWER

TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF

TEMPERED GLASS

TEMPERED REFLECTIVE

STRUCTURAL GLAZED

SUSPENDED ACOUSTICAL

SHT.

S.& V.

S.S.

STD.

STL.

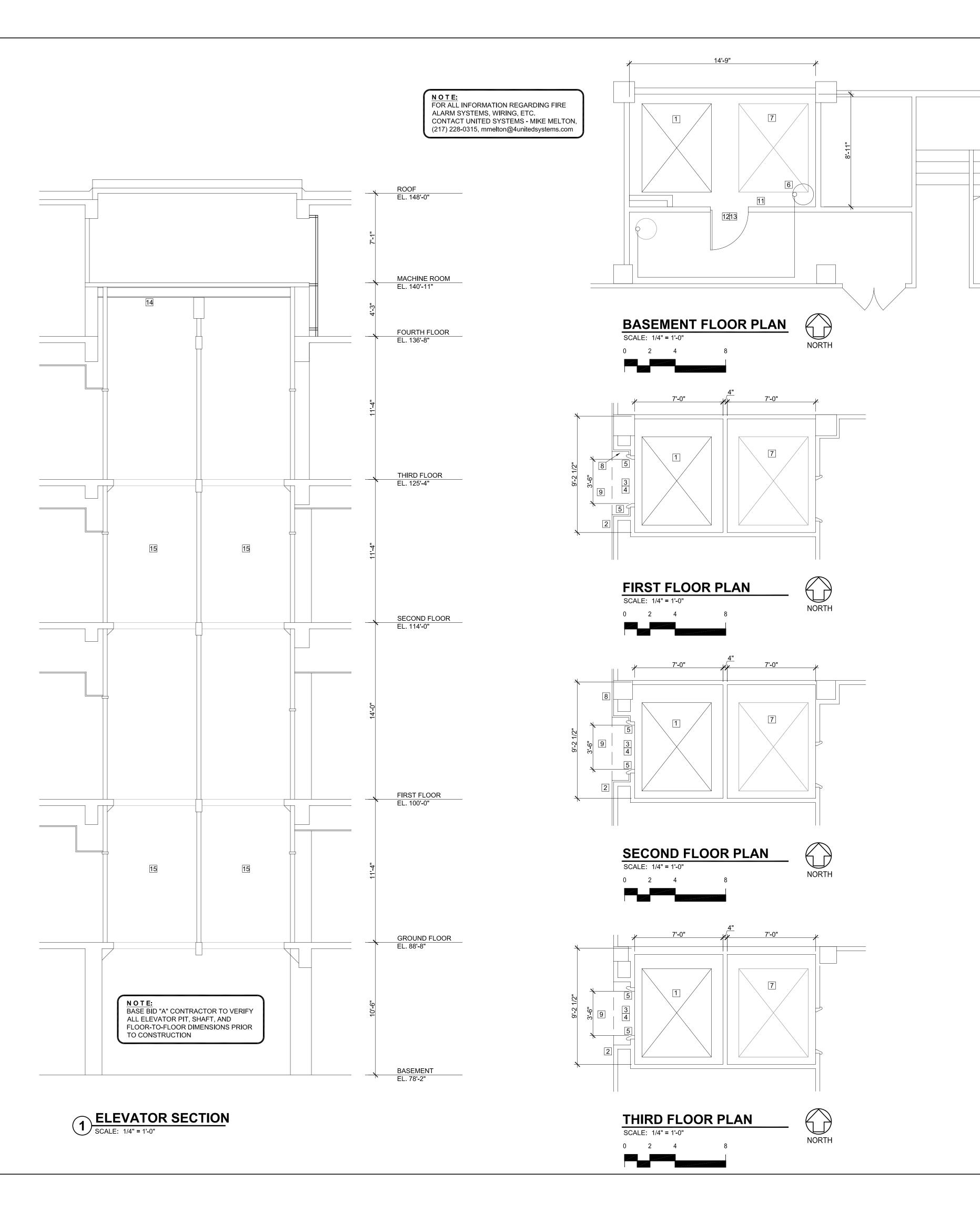
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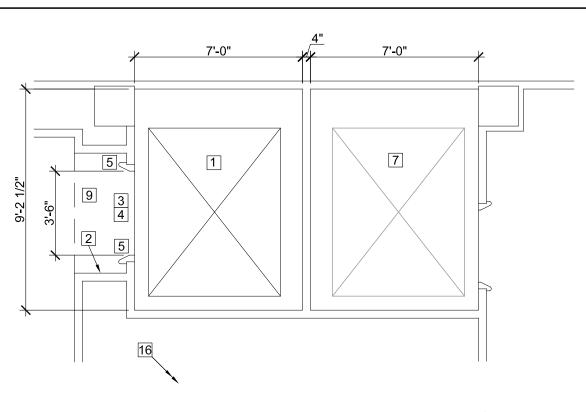
S.G.T.

S.A.P.

T. & S.

T.R.G.





 GROUND FLOOR PLAN

 SCALE: 1/4" = 1'-0"

 0
 2
 4
 8



KEYED DRAWING NOTES

- 1 EXISTING ELEVATOR CAB TO BE RENOVATED, SEE SPEC. 14 2100
- NEW ELEVATOR CONTROLS, SEE SPEC. 14 2100
- NEW CAR POSITION INDICATOR ABOVE ELEVATOR DOOR AT ALL FLOORS, SEE SPEC. 14 2100
- 4 EXISTING ELEVATOR DOORS TO REMAIN BASE BID "B" CONTRACTOR TO SAND AND REPAINT, COLOR TO MATCH EXISTING
- 5 EXISTING ELEVATOR DOOR FRAMES TO BE REPAINTED, MATCH EXISTING FINISH, VERIFY AT PROJECT SITE BASE BID "B" PROTECT ADJACENT FINISHES FROM DAMAGE DURING CONSTRUCTION
- 6 EXISTING SUMP PUMP TO REMAIN
- 7 EXISTING ELEVATOR CAB TO REMAIN
- 8 EXISTING WALL MOUNTED SIGNAGE TO REMAIN
- 9 BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR IN CEILING NEAR ELEVATOR DOORS AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE PLAN THIS SHEET AND G001
- 10 EXISTING STEEL SUPPORT FRAMING IN ELEVATOR PIT TO REMAIN
- 11 EXISTING ELECTRICAL SWITCHES IN ELEVATOR PIT TO REMAIN
- 12 EXISTING DOOR SENSOR TO REMAIN
- 13 EXISTING INDICATOR LIGHT ABOVE DOOR TO REMAIN
- BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR AT TOP OF ELEVATOR SHAFT AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE PLAN THIS SHEET AND G001
- 15 ALL FIRE ALARM CABLING IN ELEVATOR SHAFT SHALL BE PLACED IN DEDICATED CONDUIT
- EXISTING FIRE ALARM PANELS LOCATED IN MAINTENANCE OFFICE, APPROXIMATELY 60' SOUTHEAST OF ELEVATOR PIT, FIELD VERIFY LOCATION. SEE G001

GENERAL NOTES

- 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
- 2. COORDINATE ALL WORK WITH ALL TRADES, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL.
- 3. ALL DEMOLITION SALVAGE SHALL BE THE PROPERTY OF THE OWNER. OWNER'S REPRESENTATIVE SHALL DECIDE WHETHER TO RETAIN OR HAVE THE DEMOLITION CONTRACTOR HAUL AWAY.
- 4. AFTER DEMOLITION, THE CONTRACTOR SHALL CLEAN AREA FOR INSTALLATION OF NEW MATERIAL.
- 5. ARCHITECHNICS SHALL NOT BE RESPONSIBLE FOR NOR HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT, AND SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO CARRY OUT HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 6. ARCHITECHNICS SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OVER, THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, ANY OF THEIR AGENTS, OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 7. THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. ALL SHORING AND BRACING MEMBERS AND CONNECTIONS SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE IMPOSED LOADS. TEMPORARY MEMBERS AND CONNECTIONS SHALL NOT BE REMOVED UNTIL PERMANENT MEMBERS ARE IN PLACE AND FINAL CONNECTIONS ARE MADE.
- 8. CONTRACTOR SHALL VERIFY IN FIELD ALL DIMENSIONS, ELEVATIONS, AND MEMBER SIZES AS SHOWN ON THE CONTRACT DRAWINGS FOR THE EXISTING CONSTRUCTION, PRIOR TO THE DETAILING OR FABRICATION OF ANY NEW STRUCTURAL ELEMENT. CONTRACTOR SHALL DOCUMENT ANY CONSTRUCTION-RELATED DISCREPANCIES. CONTRACTOR SHALL FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE ARCHITECT/STRUCTURAL ENGINEER FOR REVIEW.
- 9. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE NOTED.
- 10. PROTECT EXISTING CONSTRUCTION FROM DAMAGE AS REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.
- 11. ALL REQUIRED TEMPORARY SAFETY WALLS AND BARRICADES TO BE PROVIDED AND INSTALLED BY BASE BID "A" CONTRACTOR.
- 12. ALL BASE BID "B" WORK SHALL BE COORDINATED WITH THE BASE BID "A" CONTRACTOR AND SHALL TAKE PLACE DURING THE ESTIMATED 6 WEEK SHUTDOWN FOR EACH ELEVATOR WHILE A LICENSED ELEVATOR MECHANIC IS ON SITE.
- 13. DURING THE MODERNIZATION PROCESS, THE EXISTING ELEVATOR WITHIN THE SAME SHAFT WILL BE IN USE AND <u>CANNOT</u> BE SHUT DOWN DURING NORMAL OPERATING HOURS (8 AM 4 PM). THE BASE BID "A" CONTRACTOR MUST PROVIDE APPROPRIATE TEMPORARY NETTING OR SCREENING IN THE ELEVATOR PIT AND MACHINE ROOM IN ORDER TO PERFORM THE WORK, OR WILL NEED TO PERFORM THE WORK AT TIMES WHEN THE ELEVATOR CAN BE SHUT DOWN.
- 14. THE EXISTING DUMB WAITER NEAR THE EAST ELEVATORS IS NOT ACTIVE AND MAY NOT BE UTILIZED BY THE CONTRACTOR(S) FOR TRANSPORTING BUILDING MATERIALS.

Tects •

CURRENT DATE: 4/23/2021



LICENSE EXPIRES: 11/30/22

R: COURTHOUSE

ATOR MODERNIZATION FOR:

AMS COUNTY COL

ISSUED FOR

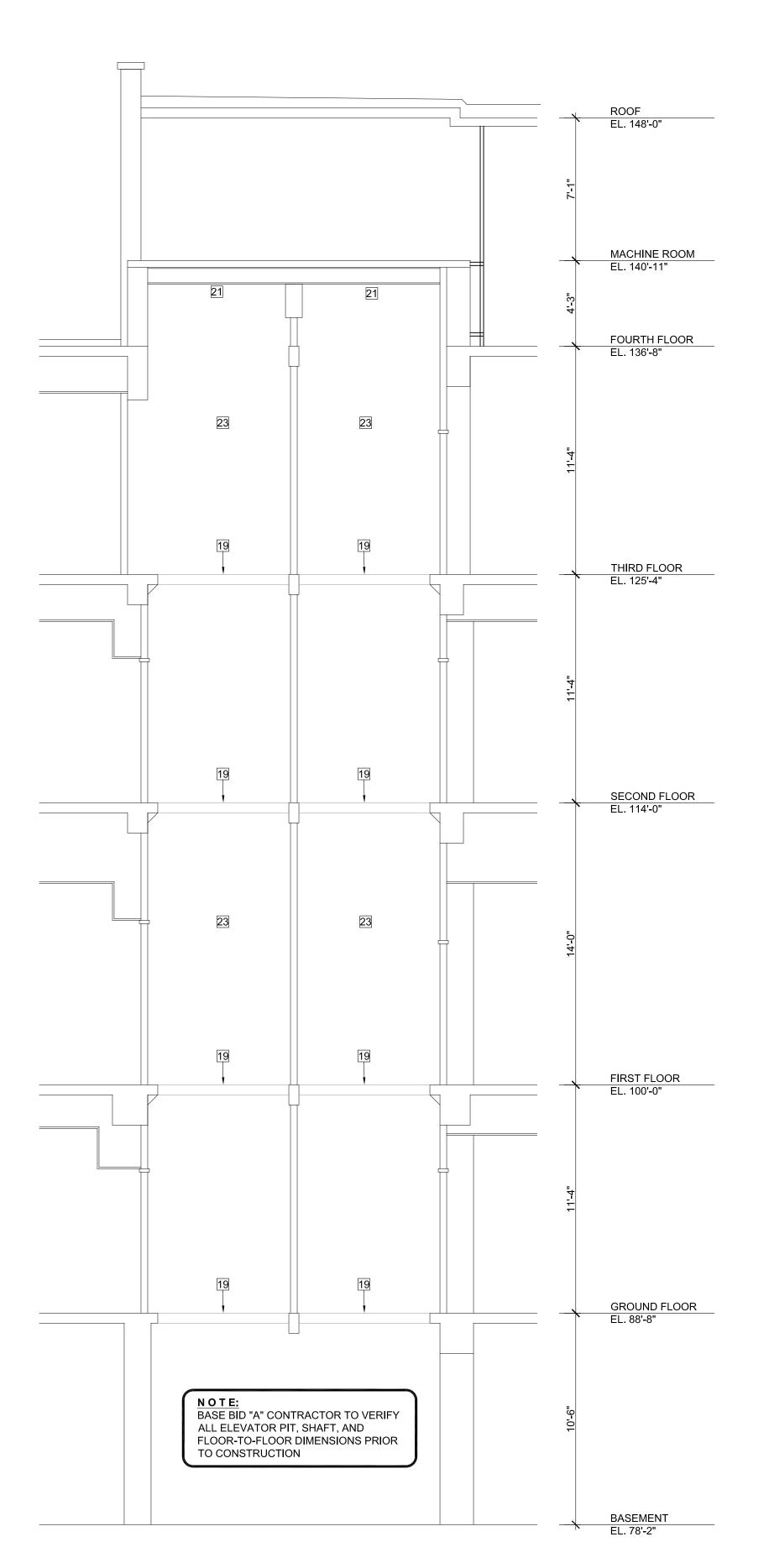
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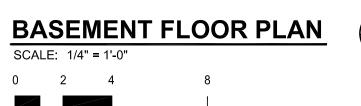
ISSUE DATE: 4/23/2021
REVISIONS

PROJECT NUMBER: 6090

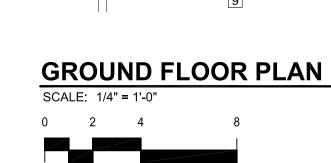
EAST
ELEVATORS
FLOOR
PLANS AND
SECTIONS

DWG. NO.









<u>y</u> 3'-0" <u>y</u>

3 4

3'-0"

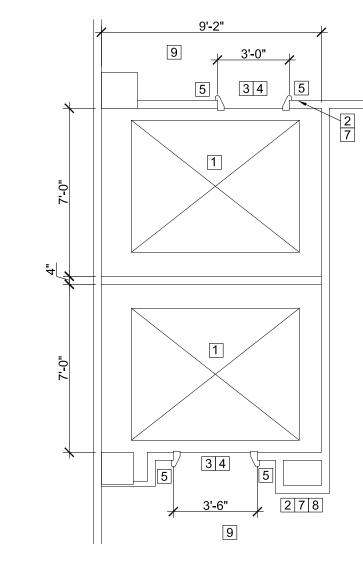
3 4

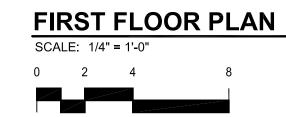
NOTE: NO ELEVATOR STOP AT THIS LEVEL, THIS SIDE OF SHAFT

THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"







NOTE:
FOR ALL INFORMATION REGARDING FIRE
ALARM SYSTEMS, WIRING, ETC.

CONTACT UNITED SYSTEMS - MIKE MELTON (217) 228-0315, mmelton@4unitedsystems.com



LICENSE EXPIRES: 11/30/22

CURRENT DATE: 4/23/2021

OURTH

ISSUED FOR

BIDDING

ISSUE DATE: 4/23/2021 REVISIONS

PROJECT NUMBER: 6090

WEST ELEVATORS FLOOR PLANS AND SECTIONS

KEYED DRAWING NOTES

1 EXISTING ELEVATOR CAB TO BE RENOVATED, SEE SPEC. 14 2100

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

2 NEW ELEVATOR CONTROLS, SEE SPEC. 14 2100

NEW CAR POSITION INDICATOR ABOVE ELEVATOR DOOR AT ALL FLOORS, SEE SPEC. 14 2100

EXISTING ELEVATOR DOORS TO REMAIN - BASE BID "A" CONTRACTOR TO SAND AND REPAINT, COLOR TO MATCH EXISTING

EXISTING ELEVATOR DOOR FRAMES TO BE REPAINTED, MATCH EXISTING FINISH, VERIFY AT PROJECT SITE - BASE BID "B" -PROTECT ADJACENT FINISHES FROM DAMAGE DURING CONSTRUCTION

NORTH

BASE BID "B" CONTRACTOR PROVIDE AND INSTALL NEW LIBERTY EQUAL SUMP PUMP SYSTEM WITH (2) ELV250 PUMPS AND OIL DETECTION IN NEW SUMP PIT AS SHOWN. EXTEND DISCHARGE THRU NORTH WALL AND DISCHARGE INDIRECTLY INTO EXISTING FLOOR DRAIN. PROVIDE AND INSTALL REMOTE ALARM ON WALL NEAR EXISTING FLOOR DRAIN (COORDINATE LOCATION AND EXTEND CONTROL WIRING AS REQUIRED) AND PLUG INTO NEW RECEPTACLE. COORDINATE WITH ELECTRICAL CONTRACTOR.

7 ELEVATOR SHALL BE KEY OPERATED, COORDINATE WITH OWNER FOR KEYING SYSTEM

8 EXISTING WALL MOUNTED SIGNAGE TO REMAIN

BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR IN CEILING NEAR ELEVATOR DOORS AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE DWGS. A101, G001

10 EXISTING STEEL SUPPORT FRAMING IN ELEVATOR PIT TO REMAIN

11 EXISTING ELECTRICAL SWITCHES AND EMERGENCY STOPS IN ELEVATOR PIT TO REMAIN

EXISTING ELECTRICAL AND TELEPHONE WIRES IN ELEVATOR PIT TO BE REMOVED OR ENCAPSULATED IN SHEET METAL ENCLOSURE, COORDINATE WITH OWNER - BASE BID "B"

BASE BID "B" CONTRACTOR EXTEND CONDUIT AND CIRCUIT FROM EXISTING NEARBY PANELBOARD OVER TO NEAR NEW SUMP PUMP. INSTALL (2) SINGLE RECEPTACLES FOR SUMP PUMPS AND (2) NEW GFCI CONVENIENCE RECEPTACLES DOWNSTREAM OF SUMP PUMP RECEPTACLE. PROVIDE (1) GFCI IN EACH ELEVATOR SHAFT.

14 INSTALL DOOR SENSOR AND INTERCONNECT WITH ELEVATOR OPERATION - BASE BID "A"

15 INSTALL INDICATOR LIGHT ABOVE DOOR AND WIRE WITH ELEVATOR CONTROLS TO INDICATE IF ELEVATOR IS IN OPERATION -

INSTALL NEW SHROUD OVER EXISTING CONDUIT IN ELEVATOR PIT - BASE BID "B"

REMOVE EXISTING LIGHT FIXTURE, INSTALL NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U - BASE BID "B".

INSTALL NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U, MOUNT ON WALL AT 8'-0" A.F.F., EXTEND EXISTING ELECTRICAL CIRCUITS IN CONDUIT AS REQUIRED - BASE BID "B".

ANY HORIZONTAL LEDGE OVER 4" DEEP WITHIN THE ELEVATOR SHAFT SHALL HAVE A 45 DEGREE ANGLED 20 GAUGE SHEET METAL COVER INSTALLED OVER THE LEDGE BY THE BASE BID "B" CONTRACTOR.

BASE BID "A" CONTRACTOR TO PROVIDE NEW MANUAL RESET AND SWITCH RESET FOR ELEVATOR DOORS AT MAIN LANDING, COORDINATE LOCATION WITH OWNER

BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR AT TOP OF ELEVATOR SHAFT AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND

BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR IN ELEVATOR PIT (COORDINATE LOCATION WITH OWNER) AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE DWGS. A101, G001

23 ALL NEW FIRE ALARM CABLING IN ELEVATOR SHAFT SHALL BE PLACED IN DEDICATED CONDUIT

24 EXISTING ELECTRICAL PANELBOARD TO REMAIN - FIELD VERIFY EXACT LOCATION

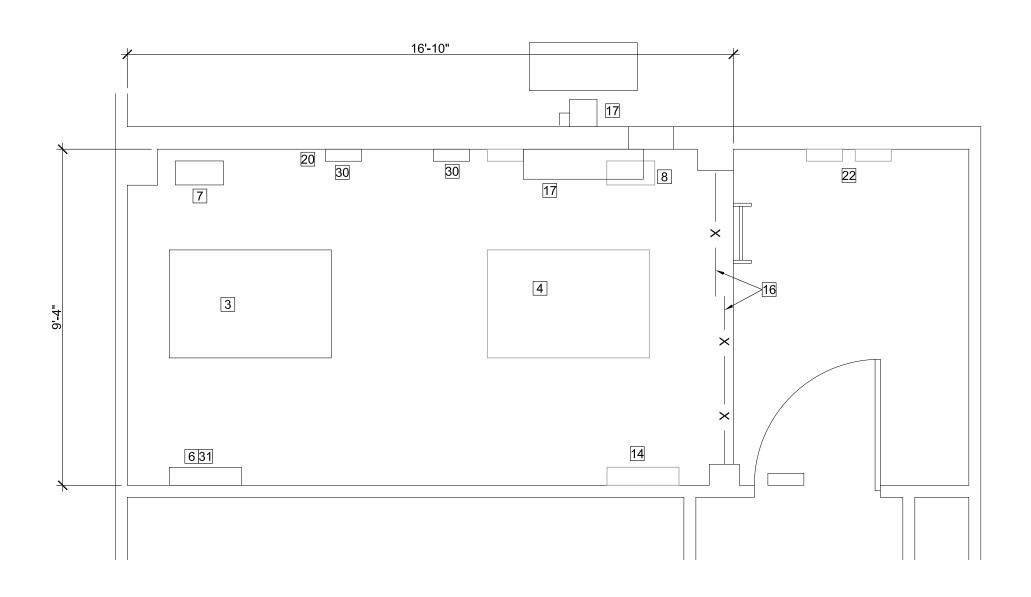
FLOOR, SEE DWGS. A101, G001





KEYED DRAWING NOTES

- 1 EXISTING LADDER TO BE REMOVED, PROVIDE NEW LADDER, SEE DETAIL 1/A102
- 2 PATCH AND REPAIR EXISTING WALLS WITH IN-KIND MATERIALS AS REQUIRED TO MAINTAIN EXISTING 1-HOUR FIRE RATING
- 3 EXISTING ELEVATOR MACHINE TO BE RENOVATED / REPLACED, SEE SPEC. 14 2100
- 4 EXISTING ELEVATOR MACHINE TO REMAIN (N.I.C.)
- 5 NEW GUARD RAIL, SEE DETAIL 2/A103
- 6 EXISTING ELEVATOR CONTROL PANEL TO BE REMOVED AND REPLACED, SEE SPEC. 14 2100 NEW PANELS TO BE LOCATED WITHIN NEW CHAIN LINK ENCLOSURE
- [7] EXISTING ELEVATOR GOVERNOR TO BE REMOVED AND REPLACED, SEE SPEC. 14 2100
- 8 EXISTING ELEVATOR GOVERNOR TO REMAIN
- 9 EXISTING DOOR TO REMAIN. PROVIDE CLOSER EQUAL TO: DORMA U1500 SERIES, BY BASE BID "B" CONTRACTOR.
- 10 INSTALL NEW COVER PLATE AT EXISTING JUNCTION BOX
- 11 BASE BID "B" CONTRACTOR TO PAINT EXISTING WALLS IN MACHINE ROOM ENCLOSURE, COLOR TO BE SELECTED BY OWNER
- REPLACE EXISTING DISCONNECT WITH NEW 100A, 3 POLE, FUSED, SINGLE THROW DISCONNECT IN NEW LOCATION AS SHOWN AND EXTEND NEW GROUND CIRCUIT TO NEW MOTOR/CONTROLLER - BASE BID "B".
- 13 REPLACE EXISTING INCANDESCENT LIGHT FIXTURE WITH NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U - BASE BID "B".
- 14 EXISTING ELEVATOR CONTROL PANEL TO REMAIN
- BASE BID "B" CONTRACTOR TO INSTALL CHAIN LINK FENCE PANEL AND 3'-0" WIDE SWINGING GATE IN EXISTING OPENING BETWEEN MACHINE ROOM AND ENTRY ROOM - NEW FENCING SHALL EXTEND TO EXISTING CONCRETE DECK ABOVE
- 16 EXISTING CHAIN LINK FENCE AND ROLLING GATE TO REMAIN
- 17 EXISTING MECHANICAL UNITS TO REMAIN
- 18 UNDER BASE BID "B" MECHANICAL CONTRACTOR PROVIDE AND INSTALL NEW LENNOX MWMA018S42P OR EQUAL MINI-SPLIT HEAT PUMP SYSTEM HIGH ON WALL WITH MLA018S4S-1P OUTDOOR UNIT ON PRE-FABRICATED COMPOSITE BASE. INTERCONNECT WITH OUTDOOR UNIT FOR A COMPLETE WORKING SYSTEM. EXTEND CONDENSATE PIPING THRU EXTERIOR WALL TO ROOF DRAIN.
- UNDER BASE BID "B" ELECTRICAL CONTRACTOR MODIFY EXISTING NEARBY PANELBOARD/BREAKERS AS REQUIRED AND EXTEND NEW 25A, 240V, SINGLE PHASE, (2)#10, #10G, 3/4"C CIRCUIT WITH DISCONNECT FROM EXISTING PANEL TO SERVE NEW OUTDOOR HEAT PUMP UNIT AND EXTEND POWER AS REQUIRED FOR INDOOR UNIT AND INTERCONNECT FOR A COMPLETE WORKING SYSTEM.
- EXTEND/MODIFY EXISTING 120V CIRCUITS FROM THIS PANEL AS REQUIRED FOR NEW ELEVATOR CAB LIGHTS, ETC. EXTEND POWER CIRCUIT FROM EXISTING 120V PANELBOARD AND INSTALL NEW LOCKABLE, FUSED TOGGLE SWITCH ON WALL AND EXTEND POWER TO ELEVATOR CAB LIGHTS
- 21 EXTEND/MODIFY EXISTING 120V CIRCUITS FROM THIS PANEL ABOVE DOOR AS REQUIRED FOR NEW ELEVATOR CONTROL BOX
- 22 EXISTING PANELBOARDS TO REMAIN
- 23 INSTALL NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U, EXTEND EXISTING ELECTRICAL CIRCUITS IN CONDUIT AS REQUIRED - BASE BID "B".
- 24 EXISTING SHELVING UNITS TO BE RELOCATED BY OWNER (N.I.C.)
- BASE BID "B" CONTRACTOR TO PROVIDE (2) NEW FIRE EXTINGUISHERS WITH WALL MOUNTED BRACKETS, DRY CHEMICAL TYPE ABC, UL RATED 10 LB. NOMINAL CAPACITY, EQUAL TO JL INDUSTRIES OR APPROVED EQUAL. MOUNTING LOCATIONS TO BE
- 26 BASE BID "B" CONTRACTOR TO INSTALL NEW CIRCUIT TO NEW GFCI RECEPTACLE, (2) LOCATIONS
- BASE BID "B" CONTRACTOR TO INSTALL REMOVABLE CHAIN LINK FENCE PANEL AND 3'-0" WIDE SLIDING OR ROLLING GATE IN EXISTING OPENING BETWEEN MACHINE ROOM AND ENTRY ROOM
- BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR ABOVE THE ELEVATOR MACHINES AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM ON GROUND FLOOR, SEE DWGS.
- 29 EXISTING CABINET HEATER AND ASSOCIATED WIRING / PIPING TO BE REMOVED BASE BID "B"
- 30 EXISTING DISCONNECT SWITCH TO REMAIN
- BASE BID "B" CONTRACTOR TO INSTALL (3) NEW ADDRESSABLE RELAYS AT EACH NEW ELEVATOR CONTROL PANEL AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM ON GROUND FLOOR, SEE DWG. A101
- 32 EXISTING CONDUIT TO BE RELOCATED AS REQUIRED TO BE CONTAINED WITHIN NEW CHAIN LINK ENCLOSURE

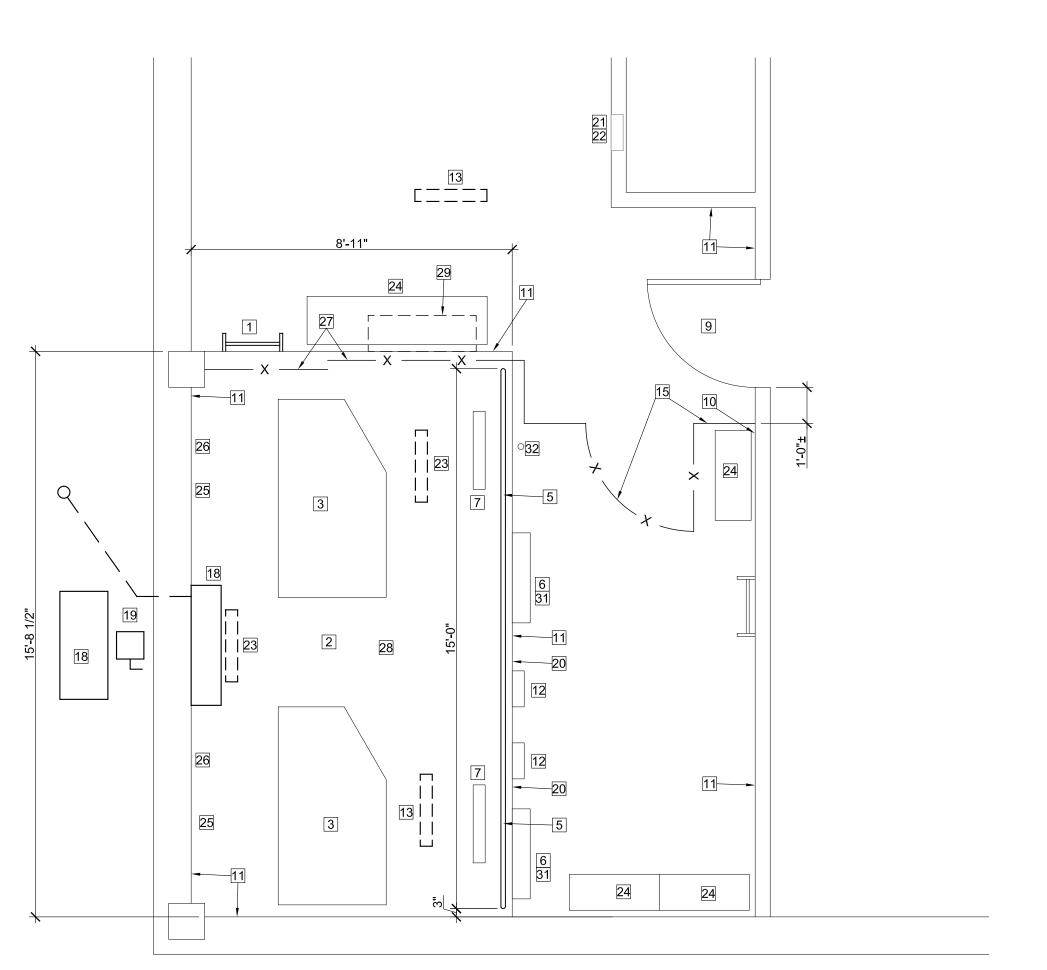


EAST ELEVATORS MACHINE ROOM FLOOR PLAN SCALE: 3/8" = 1'-0"

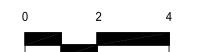


NORTH

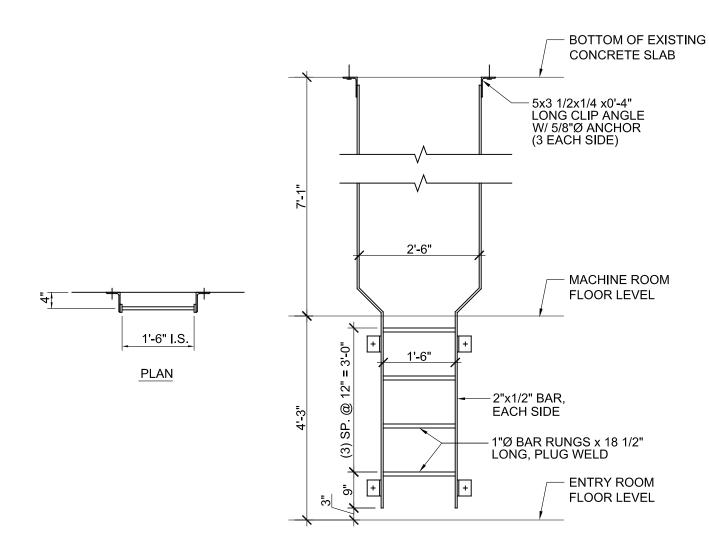
FOR ALL INFORMATION REGARDING FIRE ALARM SYSTEMS, WIRING, ETC. CONTACT UNITED SYSTEMS - MIKE MELTON, (217) 228-0315, mmelton@4unitedsystems.com



WEST ELEVATORS MACHINE ROOM FLOOR PLAN SCALE: 3/8" = 1'-0"

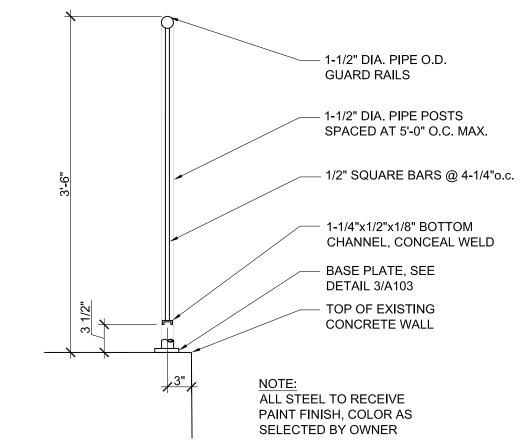




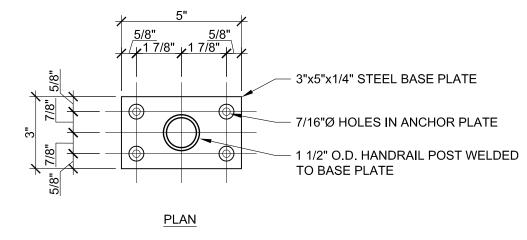


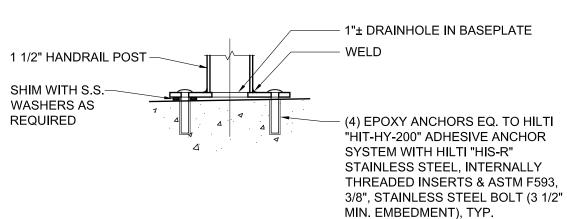
ELEVATION

LADDER DETAIL



GUARDRAIL DETAILSCALE: 1" = 1'-0"





SECTION

BASE PLATE DETAIL SCALE: 3" = 1'-0"

CURRENT DATE: 4/23/2021



LICENSE EXPIRES: 11/30/22

C

ISSUED FOR BIDDING

ISSUE DATE: 4/23/2021 REVISIONS PROJECT NUMBER: 6090

MACHINE ROOM FLOOR PLANS AND DETAILS

DWG. NO. A103