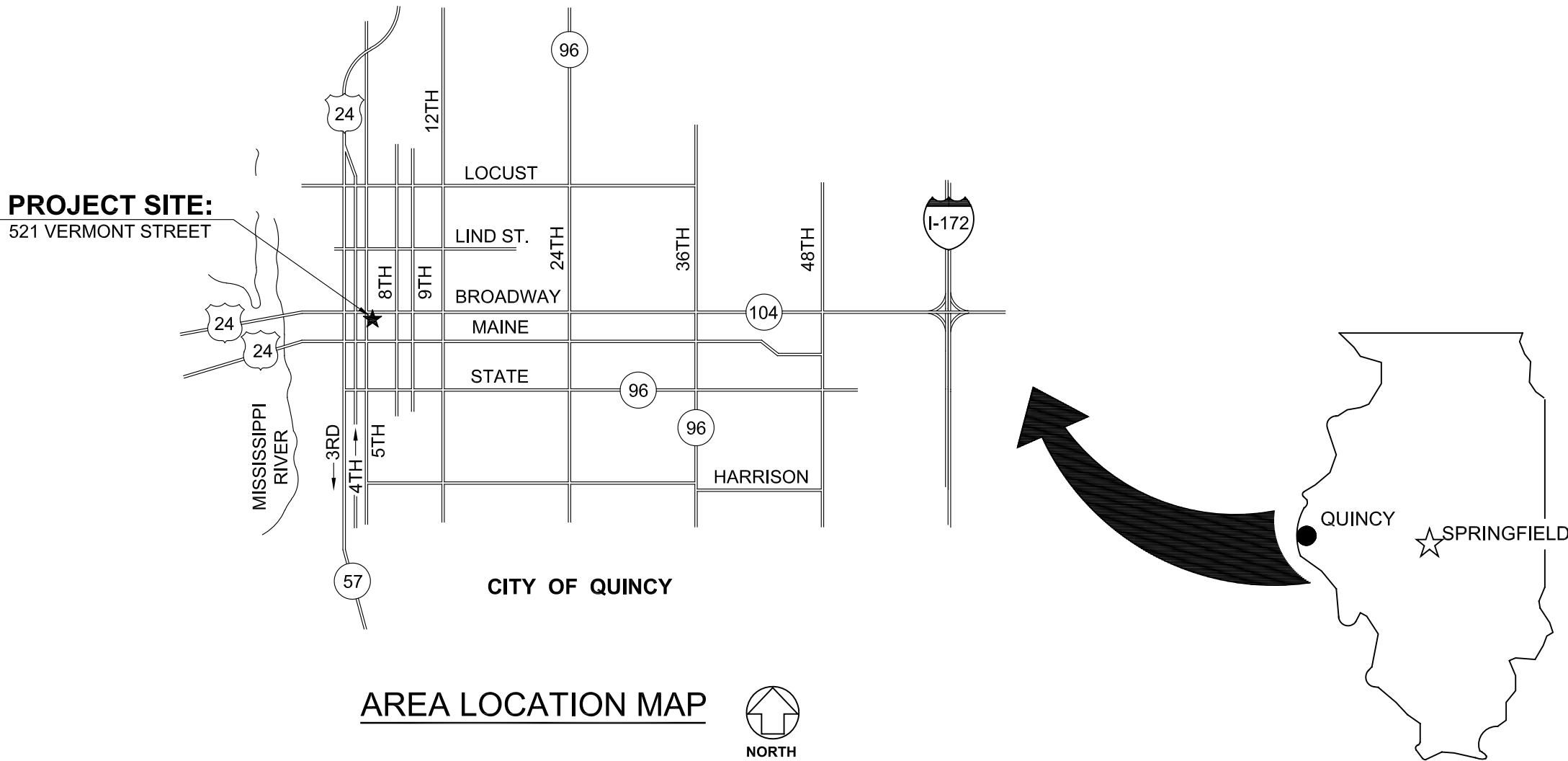


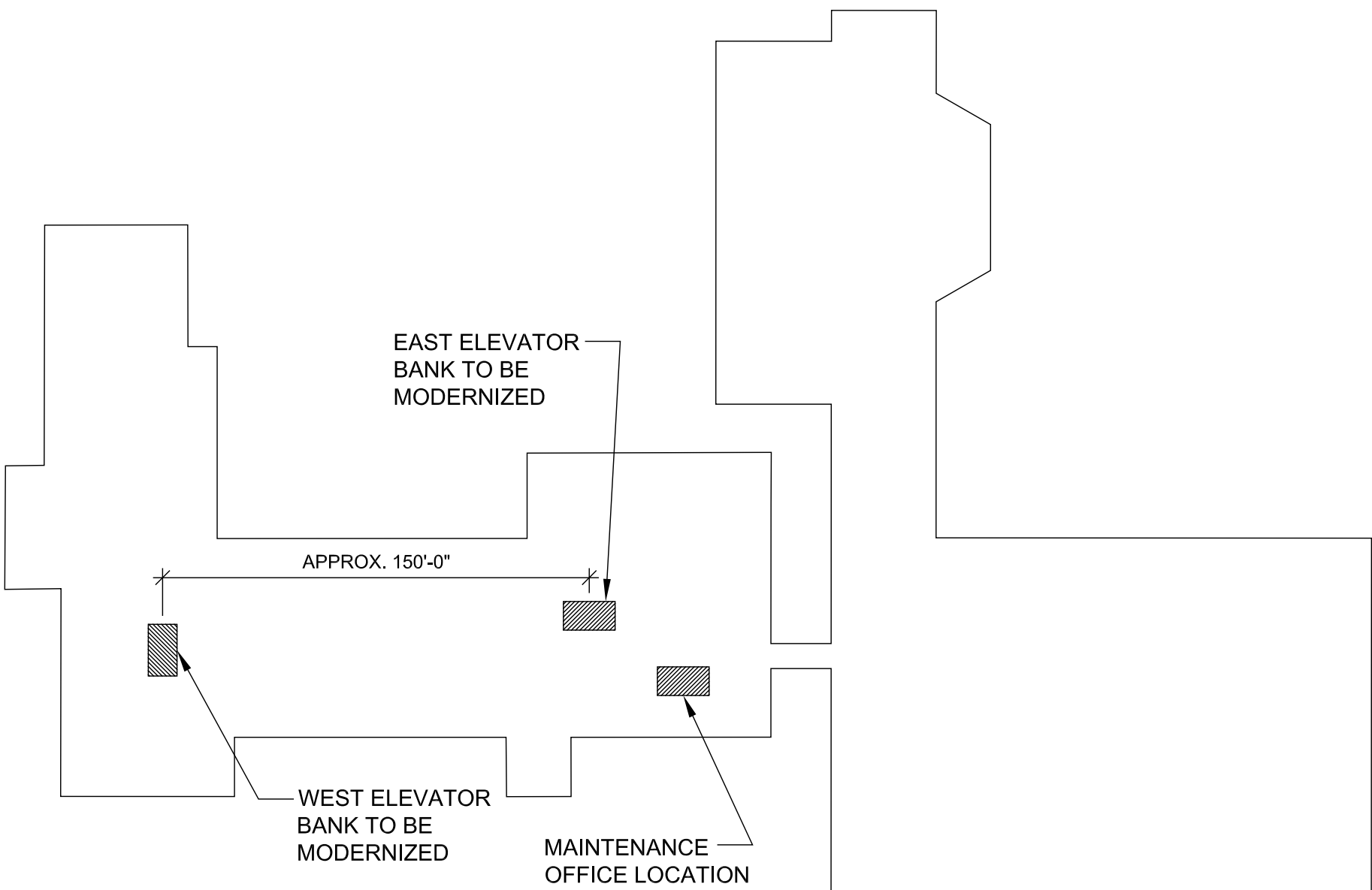
ELEVATOR MODERNIZATION FOR:

ADAMS COUNTY COURTHOUSE

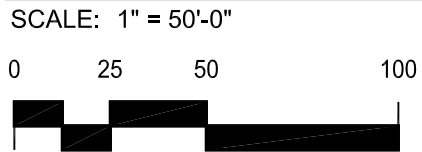
521 VERMONT STREET
QUINCY, ADAMS COUNTY, ILLINOIS



ILLINOIS



AREA LOCATION PLAN



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECTNICS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTNICS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A., WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

INDEX OF DRAWINGS

- G001 COVER SHEET**
- A101 EAST ELEVATORS FLOOR PLANS AND SECTIONS**
- A102 WEST ELEVATORS FLOOR PLANS AND SECTIONS**
- A103 MACHINE ROOM FLOOR PLANS AND DETAILS**

ABBREVIATIONS

| | | | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ABV A.F.F. ADD'N. A.C. A.H.U. ALT ALUM A.D.A. ANCS. AUTO. BM. BR'G. BITUM. BLKG. BLDG. BD. BTM. B.P. BLDG. BUR. CA. C.I. CAT CLG. C.T. C.W.B. C.B. CLOS. C.O. CO. COMP. CONC C.M.U. COND CONN. CONST. C.J. CONT CONTR. CORD CORR. CNTR. C.R. C.F.M. DEMO DET DIA DIM. DISP. DIV. DR. DBL. D.S. | ABOVE ABOVE FINISHED FLOOR ADDITION AIR CONDITIONING AIR HANDLING UNIT ALTERNATE ALUMINUM AMERICANS WITH DISABILITIES ACT ANCHORS AUTOMATIC BEAM BEARING BITUMINOUS BLOCKING BUILDING BOARD BOTTOM BRICK PAVERS BUILDING BUILT-UP ROOF CARPET CAST IRON CATALOG CELLING CERAMIC TILE CERAMIC WALL BASE CHALK BOARD CLOSET CLEAN OUT COMPANY COMPOSITION CONCRETE CONCRETE MASONRY UNIT CONDENSATION CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CONTRACTOR CORRUGATED CORRIDOR COUNTER CRUSHED ROCK CUBIC FEET PER MINUTE DEMOLITION DETAIL DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOWNSPOUT | DWG D.F. EA. E.W. E.M.R. ELEC. E.P. EL ELEV. EXH. E.F. EXIST E.J. EXT E.I.F.S. F.W.C. F.V. FIN. F.E.C. FIX. FL. F.D. FLOOR. FTG. FND. G.P.M. GALV GA. G.W.T. G.B. G.F.B. GYP. BD. H.D. HC HR. HDWE. H.V.A.C. HT. H.C. H.M. HORIZ. INC. INSUL. INSUL.G. JAN. JT. J.F. JST. J.B. LAM. LAV. L.H. L.G. | DRAWING DRINKING FOUNTAIN EACH EACH WAY ELASTOMERIC MEMBRANE ROOFING ELECTRIC ELECTRIC PANELBOARD ELEVATION ELEVATOR EXHAUST EXHAUST FAN EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSULATION FINISH SYSTEM FABRIC WALL COVERING FIELD VERIFY FINISH FIRE EXTINGUISHER CABINET FLOOR FLOOR DRAIN FLUORESCENT FOOTING FOUNDATION GALLONS PER MINUTE GALVANIZED GAUGE GLAZED WALL TILE GRAB BAR GROUND FACE BRICK GYPSUM WALLBOARD HAIRHAND DRYER HANDICAPPED HANDRAIL HARDWARE HEATING, VENTILATING, & AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL INCORPORATED INSULATION INSULATED GLASS JANITOR JOINT JOINT FILLER JOIST JUNCTION BOX LAMINATE LAVATORY LEFT HAND LONG | M.A.U. M.H. MFGR. M.T. MK. M.O. MATL. MECH. MET. MIN. MISC. M.R. MTD. N.D. N.I.C. NOM. NO. OFC. O.C. OPG. OPP. HND. OH. PT. PAIR PARTN. PERF. P.D. PLAS. PLUMBING STACK P.V. PLYWOOD P.V.C. P.S.F. PREFIN. PROJ. MAN. QTY. Q.T. RAD. R.C.P. RECEP. REF. R.A. R.H. R. R.D. R.B. R.C.B. REQD. R.O.W. RM. R.I. R.O. R.S.T. R.T. SAN. SCHED. | MAKEUP AIR UNIT MANHOLE MANUFACTURER MARBLE TILE MARK MASONRY OPENING MATERIAL MECHANICAL METAL MINIMUM MISCELLANEOUS MOISTURE RESISTANT MOUNTED NAPKIN DISPENSER NOT IN CONTRACT NOMINAL NUMBER OFFICE ON CENTER OPENING OPPOSITE HAND OVERHEAD PAINT PAIR PARTITION PERFORATED PRESSURE DROP PLASTIC PLUMBING VENT PLYWOOD POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT PREFINISHED PROJECT MANUAL QUANTITY QUARRY TILE RADIUS RECEPTACLE REFERENCE RETURN AIR RIGHT HAND RISERS ROOF DRAIN RUBBER BASE RUBBER COVE BASE REQUIRED RIGHT OF WAY ROOM ROUGH IN ROUGH OPENING RUBBER STAIR TREAD RUBBER TILE SANITARY (SEWER) SCHEDULE | SECT. SHT. SIM. S.C. SPEC. S.& V. S.S. STD. STL. STOR. ST. S. S.G.T. S.A.P. T.B. T. & S. T.D.D. T.G. T.R.G. T.Z. T.T. THK. THOLD T.P. T. & G. T. & B. TRANS. T. TYP. U.L. U.N.O. U.P. V.P. VERT. VEST. V.C.T. V.W.C. V.C.P. W.C. W.W.F. W. WDW. W.G. W. W/O WD. T. TYP. U.L. | SECTION SHEET SIMILAR SOLID CORE SPECIFICATION STAIN AND VARNISH STAINLESS STEEL STANDARD STEEL STORAGE STORM SEWER STRUCTURAL GLAZED TILE SUSPENDED ACOUSTICAL PANELS TACK BOARD TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF TEMPERED GLASS TEMPERED REFLECTIVE GLASS TERRAZZO TERRAZZO TILE THICK/THICKNESS THRESHOLD TOILET PAPER TONGUE AND GROOVE TOP AND BOTTOM TRANSITION TREADS TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE UTILITY POLE VAPOR BARRIER VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET WELDED WIRE FABRIC WIDTH WINDOW WIRE GLASS W WITH OUT WOOD TREADS TYPICAL UNDERWRITERS |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



| REVISIONS | |
|-----------|--|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

SCALE: 1/4" = 1'-0"

BASE BID "A" CONTRACTOR TO VERIFY
ALL ELEVATOR PIT, SHAFT, AND
FLOOR-TO-FLOOR DIMENSIONS PRIOR
TO CONSTRUCTION

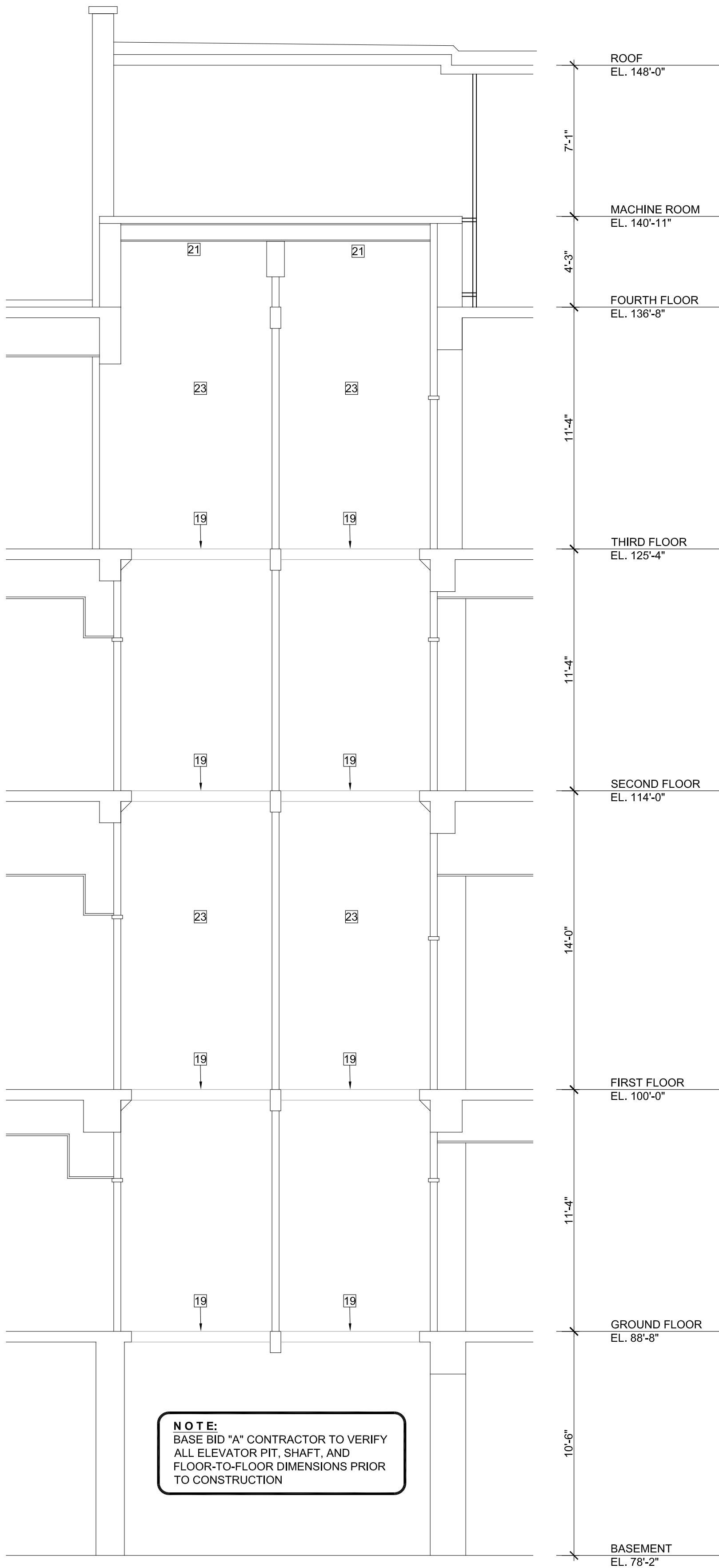
FOR ALL INFORMATION REGARDING FIRE
ALARM SYSTEMS, WIRING, ETC.
CONTACT UNITED SYSTEMS - MIKE MELTON
(217) 228-0315, mmelton@4unitedsystems.com



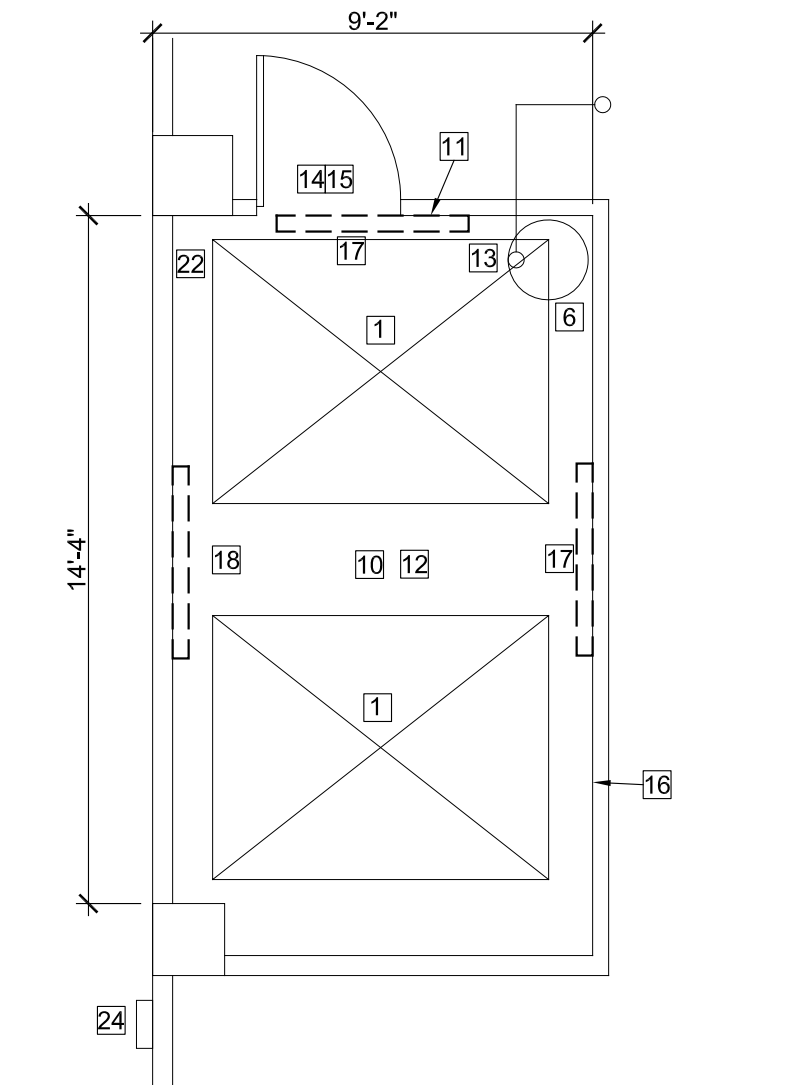
- 16 EXISTING FIRE ALARM PANELS LOCATED IN MAINTENANCE OFFICE, APPROXIMATELY 60' SOUTHEAST OF ELEVATOR PIT,
FIELD VERIFY LOCATION. SEE G001

CONTRACTOR SHALL VERIFY ALL SUB

14. THE EXISTING DUMB WAITER NEAR THE EAST ELEVATORS IS NOT ACTIVE AND MAY NOT BE UTILIZED BY THE CONTRACTOR(S) FOR TRANSPORTING BUILDING MATERIALS.

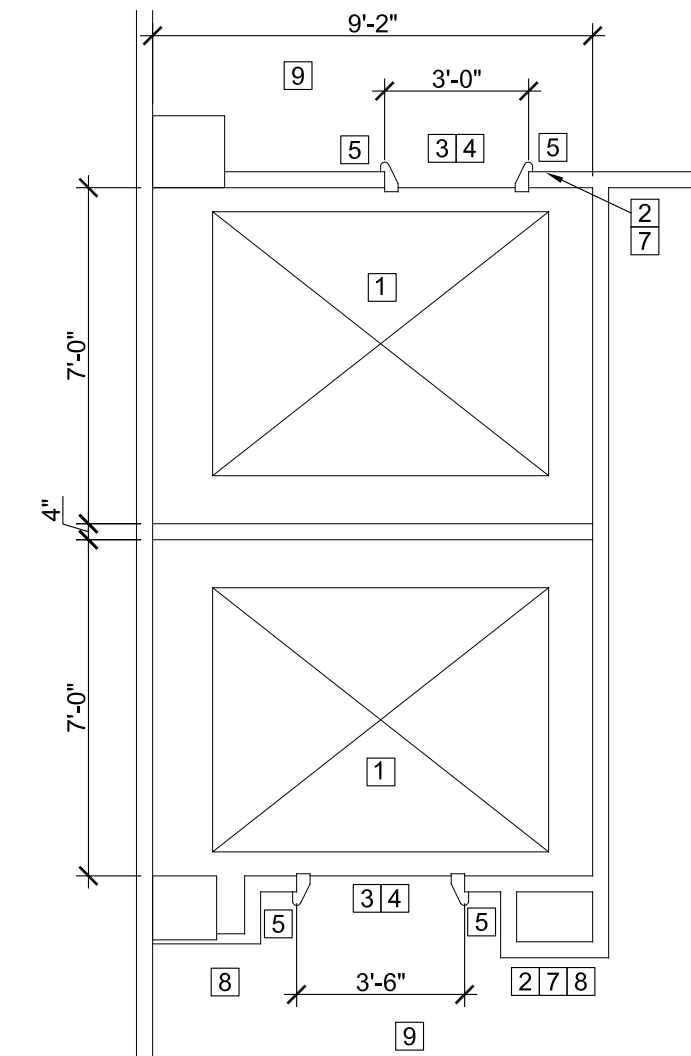
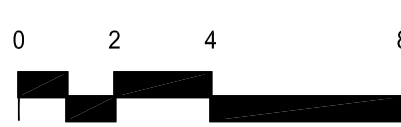


1 ELEVATOR SECTION
SCALE: 1/4" = 1'-0"



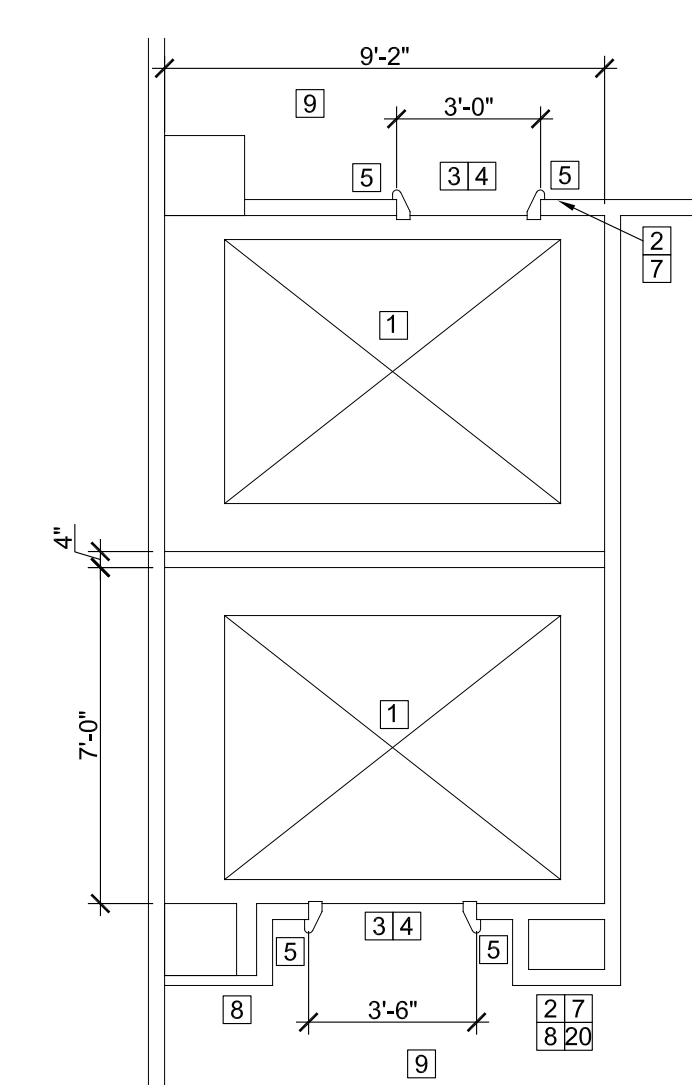
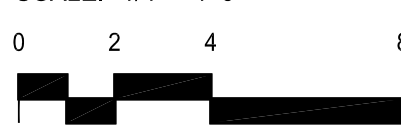
BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



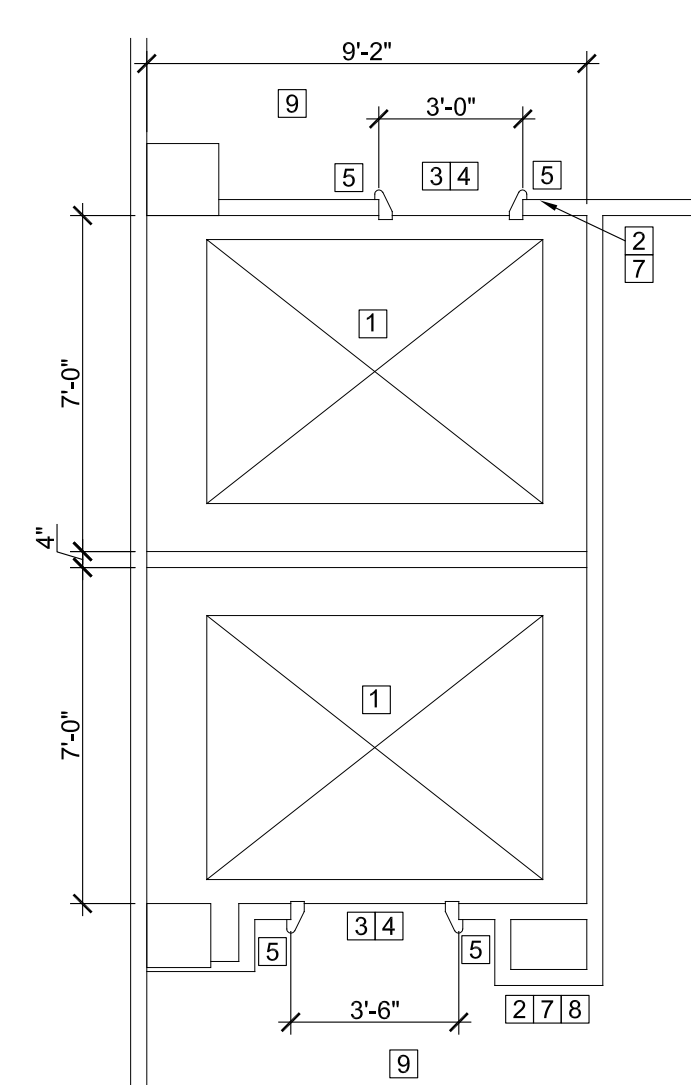
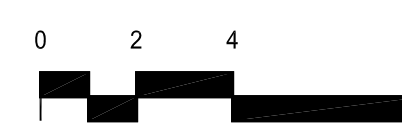
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



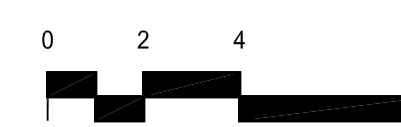
GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



NOTE:
FOR ALL INFORMATION REGARDING FIRE
ALARM SYSTEMS, WIRING, ETC.
CONTACT UNITED SYSTEMS - MIKE MELTON,
(217) 228-0315, mmelton@4unitedsystems.com

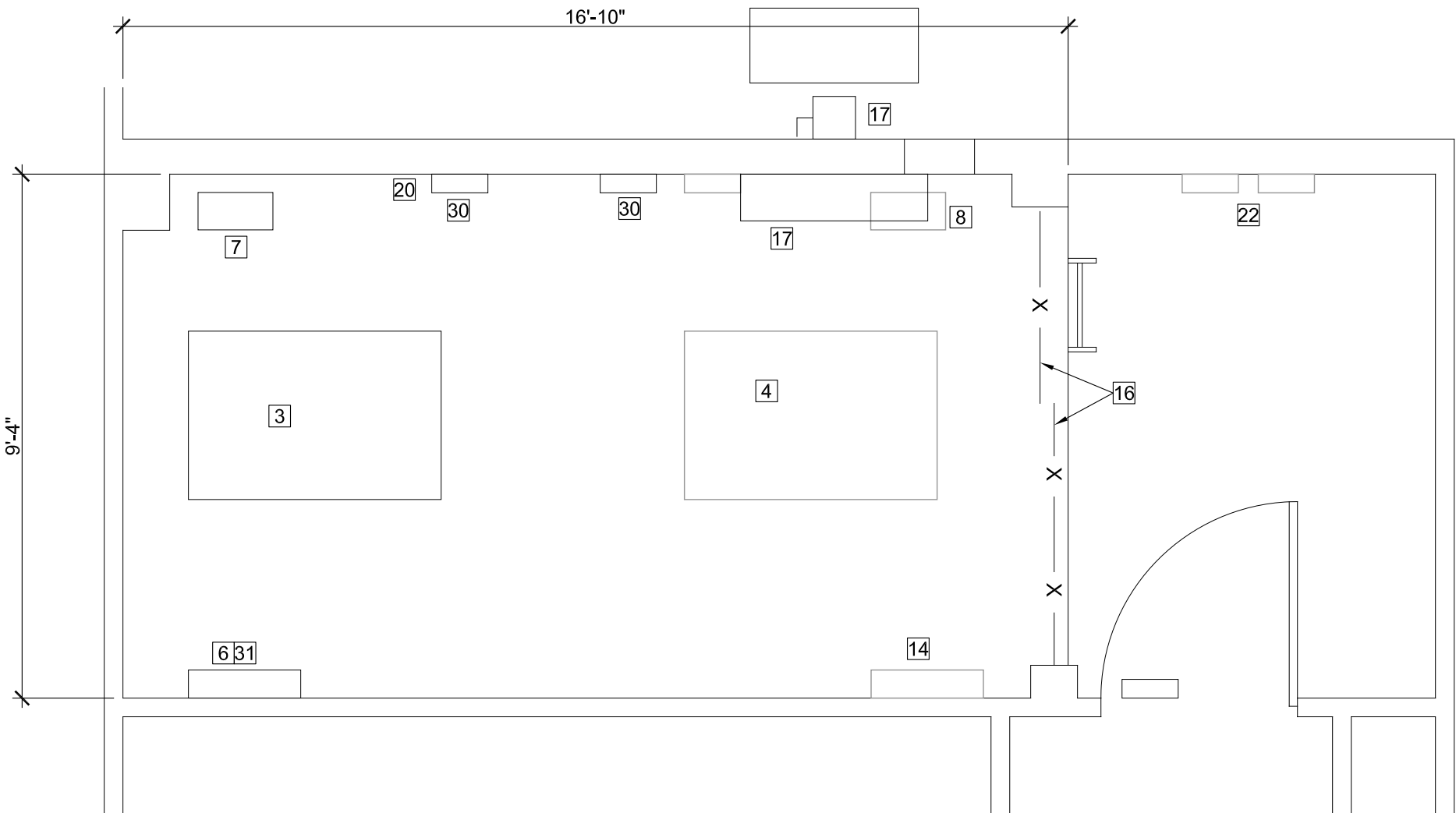
KEYED DRAWING NOTES

- EXISTING ELEVATOR CAB TO BE RENOVATED, SEE SPEC. 14 2100
- NEW ELEVATOR CONTROLS, SEE SPEC. 14 2100
- NEW CAR POSITION INDICATOR ABOVE ELEVATOR DOOR AT ALL FLOORS, SEE SPEC. 14 2100
- EXISTING ELEVATOR DOORS TO REMAIN - BASE BID "A" CONTRACTOR TO SAND AND REPAINT, COLOR TO MATCH EXISTING
- EXISTING ELEVATOR DOOR FRAMES TO BE REPAINTED, MATCH EXISTING FINISH, VERIFY AT PROJECT SITE - BASE BID "B" - PROTECT ADJACENT FINISHES FROM DAMAGE DURING CONSTRUCTION
- BASE BID "B" CONTRACTOR PROVIDE AND INSTALL NEW LIBERTY EQUAL SUMP PUMP SYSTEM WITH (2) ELV250 PUMPS AND OIL DETECTION IN NEW SUMP PIT AS SHOWN. EXTEND DISCHARGE THRU NORTH WALL AND DISCHARGE INDIRECTLY INTO EXISTING FLOOR DRAIN. PROVIDE AND INSTALL REMOTE ALARM ON WALL NEAR EXISTING FLOOR DRAIN (COORDINATE LOCATION AND EXTEND CONTROL WIRING AS REQUIRED) AND PLUG INTO NEW RECEPTACLE. COORDINATE WITH ELECTRICAL CONTRACTOR.
- ELEVATOR SHALL BE KEY OPERATED, COORDINATE WITH OWNER FOR KEYING SYSTEM
- EXISTING WALL MOUNTED SIGNAGE TO REMAIN
- BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR IN CEILING NEAR ELEVATOR DOORS AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE DWGS. A101, G001
- EXISTING STEEL SUPPORT FRAMING IN ELEVATOR PIT TO REMAIN
- EXISTING ELECTRICAL SWITCHES AND EMERGENCY STOPS IN ELEVATOR PIT TO REMAIN
- EXISTING ELECTRICAL AND TELEPHONE WIRES IN ELEVATOR PIT TO BE REMOVED OR ENCAPSULATED IN SHEET METAL ENCLOSURE, COORDINATE WITH OWNER - BASE BID "B"
- BASE BID "B" CONTRACTOR EXTEND CONDUIT AND CIRCUIT FROM EXISTING NEARBY PANELBOARD OVER TO NEAR NEW SUMP PUMP. INSTALL (2) SINGLE RECEPTACLES FOR SUMP PUMPS AND (2) NEW GFCI CONVENIENCE RECEPTACLES DOWNSTREAM OF SUMP PUMP RECEPTACLE. PROVIDE (1) GFCI IN EACH ELEVATOR SHAFT.
- INSTALL DOOR SENSOR AND INTERCONNECT WITH ELEVATOR OPERATION - BASE BID "A"
- INSTALL INDICATOR LIGHT ABOVE DOOR AND WIRE WITH ELEVATOR CONTROLS TO INDICATE IF ELEVATOR IS IN OPERATION - BASE BID "A"
- INSTALL NEW SHROUD OVER EXISTING CONDUIT IN ELEVATOR PIT - BASE BID "B"
- REMOVE EXISTING LIGHT FIXTURE, INSTALL NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U - BASE BID "B".
- INSTALL NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U, MOUNT ON WALL AT 8'-0" A.F.F., EXTEND EXISTING ELECTRICAL CIRCUITS IN CONDUIT AS REQUIRED - BASE BID "B".
- ANY HORIZONTAL LEDGE OVER 4" DEEP WITHIN THE ELEVATOR SHAFT SHALL HAVE A 45 DEGREE ANGLED 20 GAUGE SHEET METAL COVER INSTALLED OVER THE LEDGE BY THE BASE BID "B" CONTRACTOR.
- BASE BID "A" CONTRACTOR TO PROVIDE NEW MANUAL RESET AND SWITCH RESET FOR ELEVATOR DOORS AT MAIN LANDING, COORDINATE LOCATION WITH OWNER
- BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR AT TOP OF ELEVATOR SHAFT AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE DWGS. A101, G001
- BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR IN ELEVATOR PIT (COORDINATE LOCATION WITH OWNER) AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM NEAR ELEVATORS ON GROUND FLOOR, SEE DWGS. A101, G001
- ALL NEW FIRE ALARM CABLING IN ELEVATOR SHAFT SHALL BE PLACED IN DEDICATED CONDUIT
- EXISTING ELECTRICAL PANELBOARD TO REMAIN - FIELD VERIFY EXACT LOCATION

| REVISIONS | |
|-----------|--|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

KEYED DRAWING NOTES

- 1 EXISTING LADDER TO BE REMOVED, PROVIDE NEW LADDER, SEE DETAIL 1/A102
- 2 PATCH AND REPAIR EXISTING WALLS WITH IN-KIND MATERIALS AS REQUIRED TO MAINTAIN EXISTING 1-HOUR FIRE RATING UNDER BASE BID "B".
- 3 EXISTING ELEVATOR MACHINE TO BE RENOVATED / REPLACED, SEE SPEC. 14 2100
- 4 EXISTING ELEVATOR MACHINE TO REMAIN (N.I.C.)
- 5 NEW GUARD RAIL, SEE DETAIL 2/A103
- 6 EXISTING ELEVATOR CONTROL PANEL TO BE REMOVED AND REPLACED, SEE SPEC. 14 2100 - NEW PANELS TO BE LOCATED WITHIN NEW CHAIN LINK ENCLOSURE
- 7 EXISTING ELEVATOR GOVERNOR TO BE REMOVED AND REPLACED, SEE SPEC. 14 2100
- 8 EXISTING ELEVATOR GOVERNOR TO REMAIN
- 9 EXISTING DOOR TO REMAIN. PROVIDE CLOSER EQUAL TO: DORMA U1500 SERIES, BY BASE BID "B" CONTRACTOR.
- 10 INSTALL NEW COVER PLATE AT EXISTING JUNCTION BOX
- 11 BASE BID "B" CONTRACTOR TO PAINT EXISTING WALLS IN MACHINE ROOM ENCLOSURE, COLOR TO BE SELECTED BY OWNER
- 12 REPLACE EXISTING DISCONNECT WITH NEW 100A, 3 POLE, FUSED, SINGLE THROW DISCONNECT IN NEW LOCATION AS SHOWN AND EXTEND NEW GROUND CIRCUIT TO NEW MOTOR/CONTROLLER - BASE BID "B".
- 13 REPLACE EXISTING INCANDESCENT LIGHT FIXTURE WITH NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U - BASE BID "B".
- 14 EXISTING ELEVATOR CONTROL PANEL TO REMAIN
- 15 BASE BID "B" CONTRACTOR TO INSTALL CHAIN LINK FENCE PANEL AND 3'-0" WIDE SWINGING GATE IN EXISTING OPENING BETWEEN MACHINE ROOM AND ENTRY ROOM - NEW FENCING SHALL EXTEND TO EXISTING CONCRETE DECK ABOVE
- 16 EXISTING CHAIN LINK FENCE AND ROLLING GATE TO REMAIN
- 17 EXISTING MECHANICAL UNITS TO REMAIN
- 18 UNDER BASE BID "B" MECHANICAL CONTRACTOR PROVIDE AND INSTALL NEW LENNOX MWM018S42P OR EQUAL MINI-SPLIT HEAT PUMP SYSTEM HIGH ON WALL WITH MLA018S4S-1P OUTDOOR UNIT ON PRE-FABRICATED COMPOSITE BASE. INTERCONNECT WITH OUTDOOR UNIT FOR A COMPLETE WORKING SYSTEM. EXTEND CONDENSATE PIPING THRU EXTERIOR WALL TO ROOF DRAIN.
- 19 UNDER BASE BID "B" ELECTRICAL CONTRACTOR MODIFY EXISTING NEARBY PANELBOARD/BREAKERS AS REQUIRED AND EXTEND NEW 25A, 240V, SINGLE PHASE, (2)#10, #10G, 3/4"C CIRCUIT WITH DISCONNECT FROM EXISTING PANEL TO SERVE NEW OUTDOOR HEAT PUMP UNIT AND EXTEND POWER AS REQUIRED FOR INDOOR UNIT AND INTERCONNECT FOR A COMPLETE WORKING SYSTEM.
- 20 EXTEND/MODIFY EXISTING 120V CIRCUITS FROM THIS PANEL AS REQUIRED FOR NEW ELEVATOR CAB LIGHTS, ETC. EXTEND POWER CIRCUIT FROM EXISTING 120V PANELBOARD AND INSTALL NEW LOCKABLE, FUSED TOGGLE SWITCH ON WALL AND EXTEND POWER TO ELEVATOR CAB LIGHTS
- 21 EXTEND/MODIFY EXISTING 120V CIRCUITS FROM THIS PANEL ABOVE DOOR AS REQUIRED FOR NEW ELEVATOR CONTROL BOX
- 22 EXISTING PANELBOARDS TO REMAIN
- 23 INSTALL NEW LED LIGHT FIXTURE EQUAL TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH U, EXTEND EXISTING ELECTRICAL CIRCUITS IN CONDUIT AS REQUIRED - BASE BID "B".
- 24 EXISTING SHELVING UNITS TO BE RELOCATED BY OWNER (N.I.C.)
- 25 BASE BID "B" CONTRACTOR TO PROVIDE (2) NEW FIRE EXTINGUISHERS WITH WALL MOUNTED BRACKETS, DRY CHEMICAL TYPE ABC, UL RATED 10 LB, NOMINAL CAPACITY, EQUAL TO J.L INDUSTRIES OR APPROVED EQUAL. MOUNTING LOCATIONS TO BE COORDINATED WITH OWNER.
- 26 BASE BID "B" CONTRACTOR TO INSTALL NEW CIRCUIT TO NEW GFCI RECEPTACLE, (2) LOCATIONS
- 27 BASE BID "B" CONTRACTOR TO INSTALL REMOVABLE CHAIN LINK FENCE PANEL AND 3'-0" WIDE SLIDING OR ROLLING GATE IN EXISTING OPENING BETWEEN MACHINE ROOM AND ENTRY ROOM
- 28 BASE BID "B" CONTRACTOR TO INSTALL NEW ADDRESSABLE FIRE/SMOKE DETECTOR ABOVE THE ELEVATOR MACHINES AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM ON GROUND FLOOR, SEE DWGS. A101, G001
- 29 EXISTING CABINET HEATER AND ASSOCIATED WIRING / PIPING TO BE REMOVED - BASE BID "B"
- 30 EXISTING DISCONNECT SWITCH TO REMAIN
- 31 BASE BID "B" CONTRACTOR TO INSTALL (3) NEW ADDRESSABLE RELAYS AT EACH NEW ELEVATOR CONTROL PANEL AND CONNECT TO EXISTING ADDRESSABLE FIRE ALARM SYSTEM PANEL IN MECHANICAL ROOM ON GROUND FLOOR, SEE DWG. A101
- 32 EXISTING CONDUIT TO BE RELOCATED AS REQUIRED TO BE CONTAINED WITHIN NEW CHAIN LINK ENCLOSURE

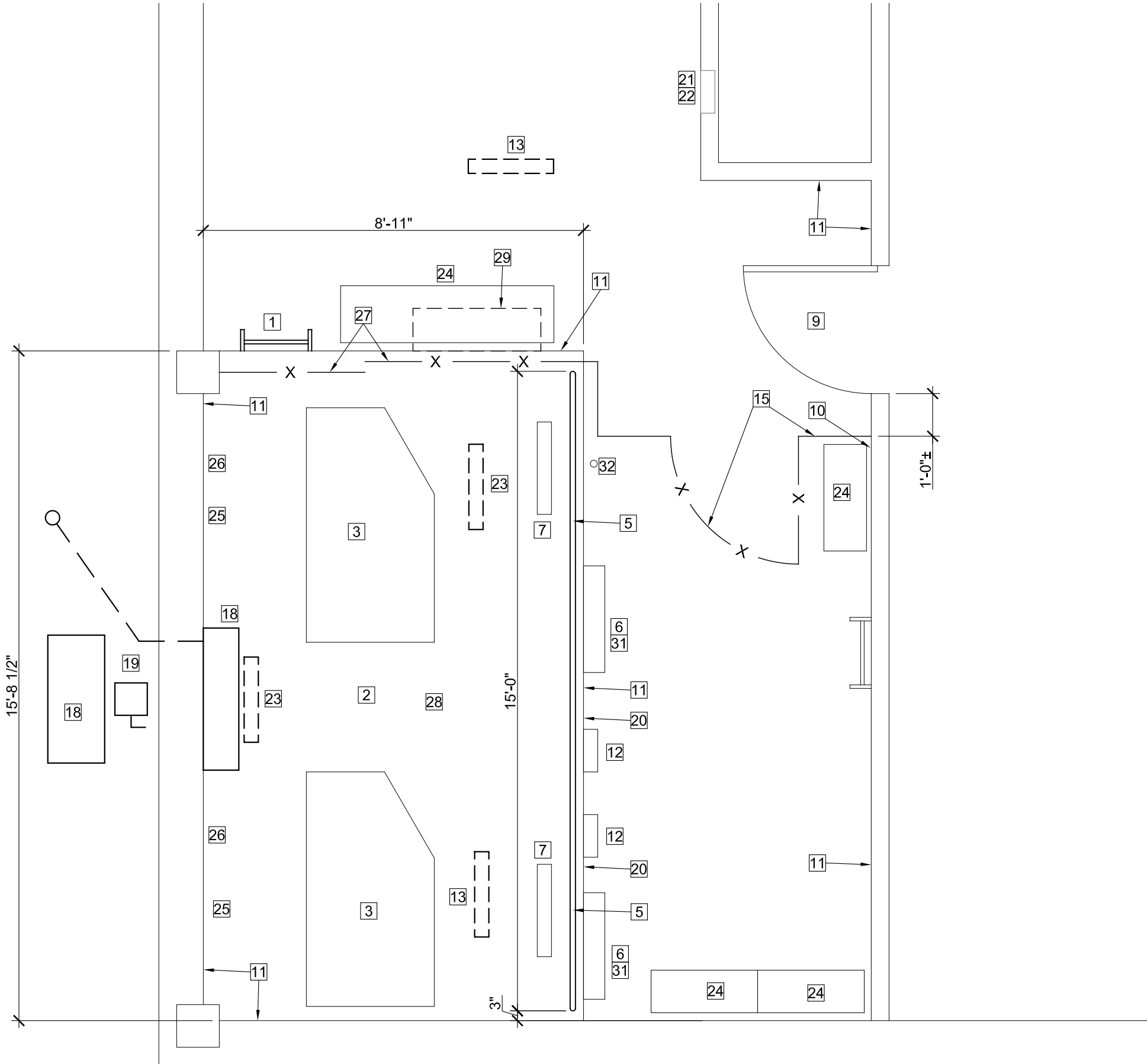


EAST ELEVATORS
MACHINE ROOM FLOOR PLAN

SCALE: 3/8" = 1'-0"

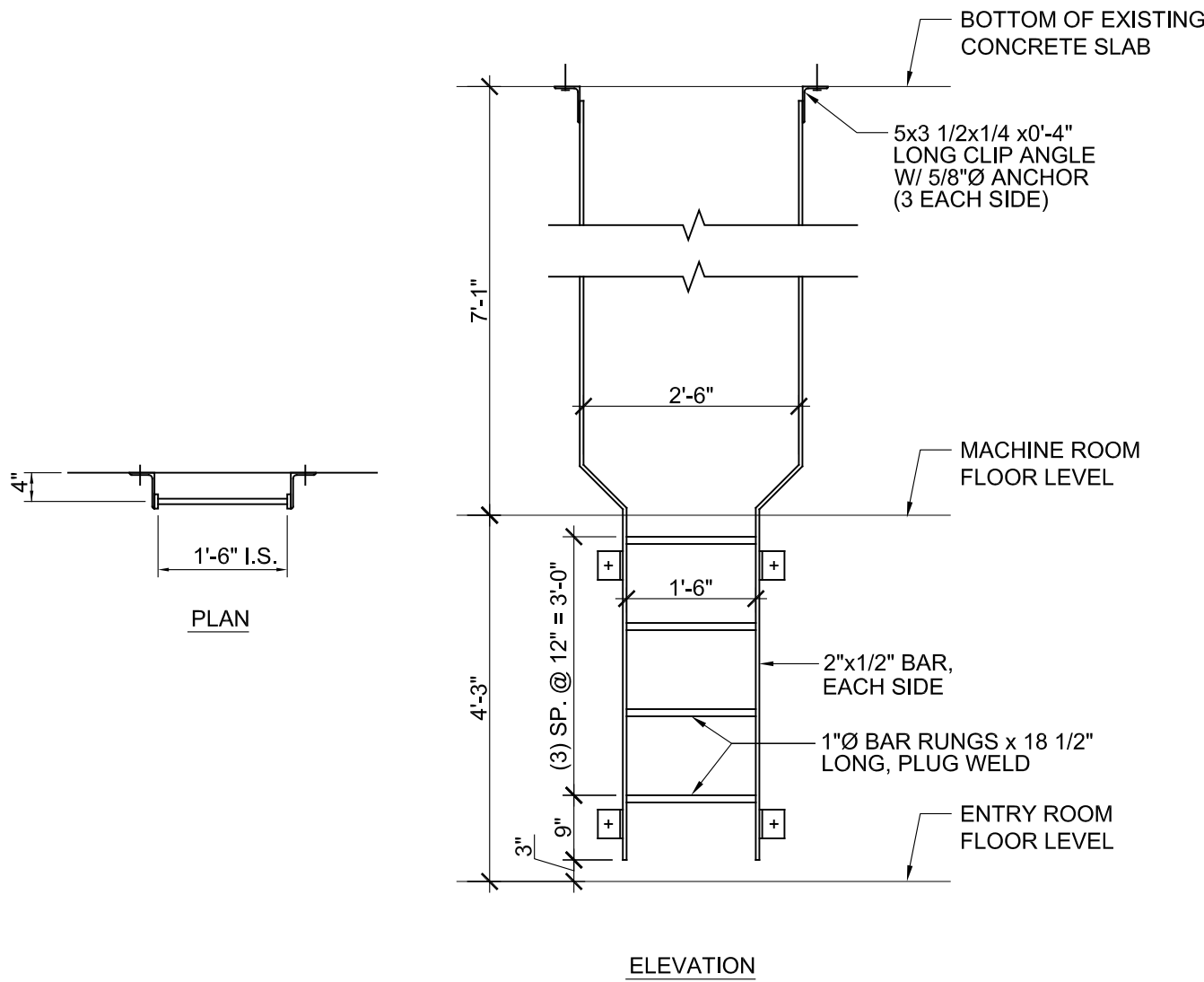
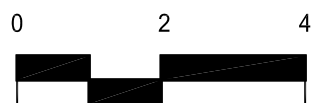


NOTE:
FOR ALL INFORMATION REGARDING FIRE
ALARM SYSTEMS, WIRING, ETC.
CONTACT UNITED SYSTEMS - MIKE MELTON,
(217) 228-0315, mmelton@4unitedsystems.com



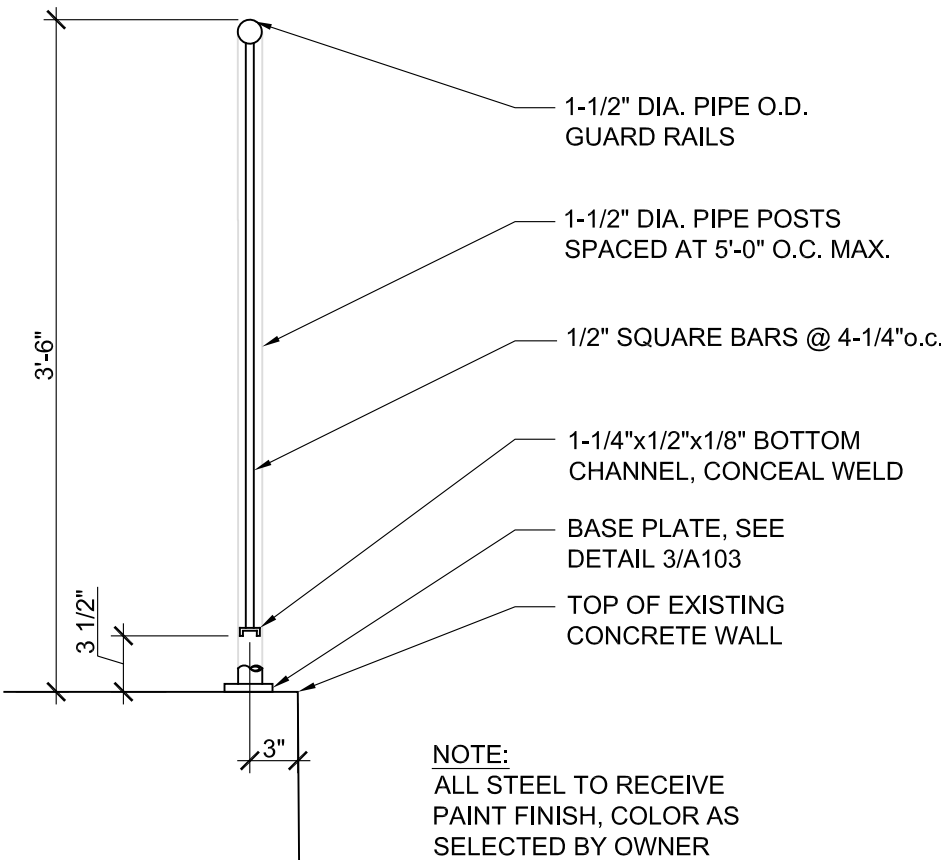
WEST ELEVATORS
MACHINE ROOM FLOOR PLAN

SCALE: 3/8" = 1'-0"



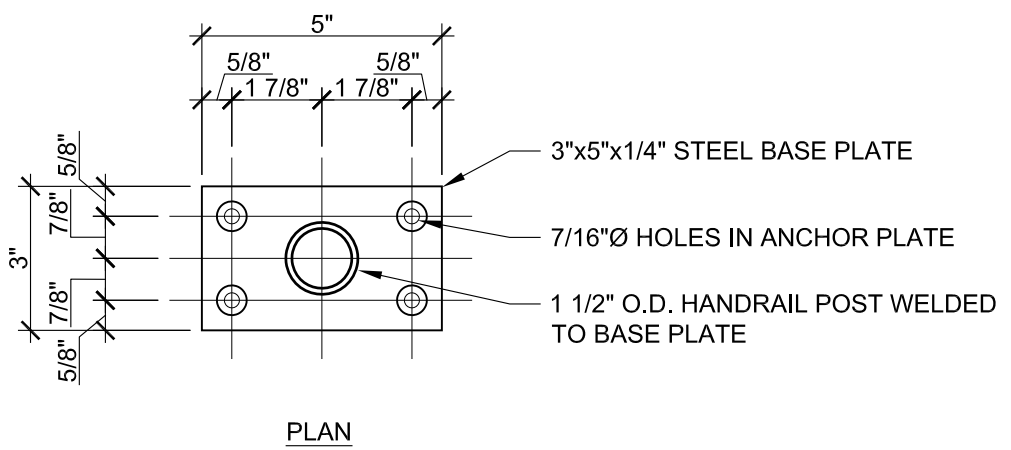
1 LADDER DETAIL

SCALE: 1/2" = 1'-0"

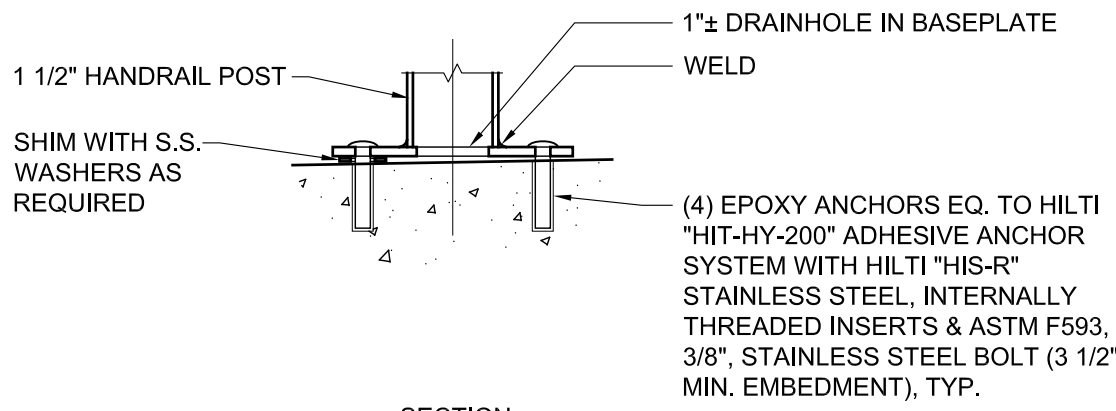


2 GUARDRAIL DETAIL

SCALE: 1" = 1'-0"



PLAN



SECTION

3 BASE PLATE DETAIL

SCALE: 3" = 1'-0"

CURRENT DATE: 4/23/2021



LICENSE EXPIRES: 11/30/22

ISSUED FOR
BIDDING

ISSUE DATE: 4/23/2021

| REVISIONS | |
|-----------|--|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PROJECT NUMBER: 6090

**MACHINE
ROOM FLOOR
PLANS AND
DETAILS**

DWG. NO.

A103