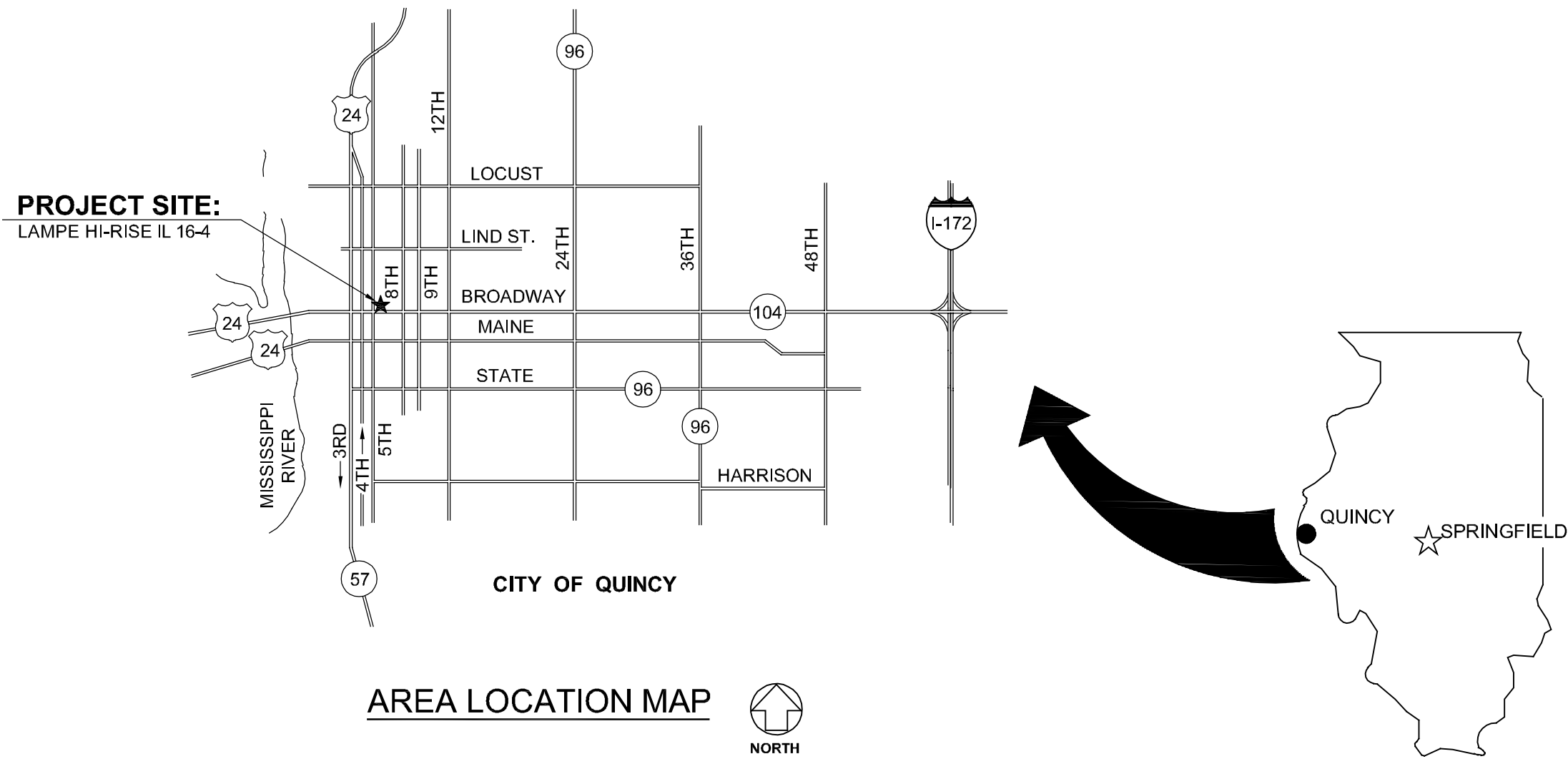


NEW RETAINING WALL AT: LAMPE HI-RISE (IL 16-4)

QUINCY HOUSING AUTHORITY

540 HARRISON STREET
QUINCY, ADAMS COUNTY, ILLINOIS

JERRY GILLE
EXECUTIVE DIRECTOR



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECTNICS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTNICS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A. WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

INDEX OF DRAWINGS

- | | |
|------|--------------|
| G001 | COVER SHEET |
| C101 | SITE PLANS |
| C102 | SITE DETAILS |

ABBREVIATIONS

ABV A.F.F. ADDN. A.C. A.H.U. ALT ALUM A.D.A. ANCS. AUTO. BM. BRG. BITUM. BLKG. BLDG. BD. BTM. B.P. BULD. BUR CA. C.I. CAT CLG. C.T. C.W.B. C.B. C.C.S. C.O. CO. COMP. CONC. C.M.U. COND CONN. CONST. C.J. CONT CONTR. CORD CORR. CNTR. C.R. C.F.M. DEMO DET DIA DIM. DISP. DIV. DR. DBL. D.S.	ABOVE ABOVE FINISHED FLOOR ADDITION AIR CONDITIONING AIR HANDLING UNIT ROOFING ALTERNATE ALUMINUM AMERICANS WITH DISABILITIES ACT ANCHORS AUTOMATIC BEAM BEARING BITUMINOUS BLOCKING BUILDING BOARD BOTTOM BRICK PAVERS BUILDING BUILT-UP ROOF CARPET CAST IRON CATALOG CEILING CERAMIC TILE CERAMIC WALL BASE CHALK BOARD CLOSET CLEAN OUT COMPANY COMPOSITION CONCRETE CONCRETE MASONRY UNIT CONDENSATION CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CONTRACTOR CORRUGATED CORRIDOR COUNTER CRUSHED ROCK CUBIC FEET PER MINUTE DEMOLITION DETAIL DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOWNSPOUT	DWG D.F. EA. E.W. E.M.R. ELEC. E.P. EL ELEV. ELV. EXH. E.F. EXIST E.J. EXT E.I.F.S. F.W.C. OFC. FIN. F.E.C. FIX. FL. F.D. FLOUR. FTG. FND. G.P.M. GALV GA. G.W.T. G.B. G.F.B. G.Y.P. BD. H.D. HC HR. HDWE. H.V.A.C. HT. H.C. H.M. HORIZ. INC. INSUL. INSUL.G. JAN. J.T. J.F. JST. J.B. LAM. LAV. L.H. LG.	DRAWING DRINKING FOUNTAIN EACH EACH WAY ELASTOMERIC MEMBRANE ROOFING ELECTRIC ELECTRIC PANELBOARD ELEVATION ELEVATOR EXHAUST EXHAUST FAN EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSULATION FINISH SYSTEM FABRIC WALL COVERING FIELD VERIFY FINISH FIRE EXTINGUISHER CABINET FIXTURE FLOOR FLOOR DRAIN FLUORESCENT FOOTING FOUNDATION GALLONS PER MINUTE GALVANIZED GAUGE GLAZED WALL TILE GRAB BAR GROUND FACE BRICK GYPSUM WALLBOARD HAIR/HAND DRYER HANDICAPPED HANDRAIL HARDWARE HEATING, VENTILATING, & AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL INCORPORATED INSULATION INSULATED GLASS JANITOR JOINT JOINT FILLER JOIST JUNCTION BOX LAMINATE LAVATORY LEFT HAND LONG	M.A.U. M.H. MFG. M.T. MK. M.O. MATL. MECH. MET. MIN. MISC. M.R. MTD. N.D. NAPKN N.J.C. NOM. NO. OFC. O.C. ON CENTER OPG. OPP. HND. OH. PAINT PR. PARTN. PERF. P.D. PLAS. P.S. P.V. PLYWD. P.V.C. P.S.F. PREFIN. PROJ. MAN. QTY. Q.T. RAD. RECEP. REF. R.A. R.H. R. R.D. R.B. R.C.B. REQD. R.O.W. RM. R.I. R.O. R.S.T. SAN. SCHED.	MAKEUP AIR UNIT MANHOLE MANUFACTURER MARBLE TILE MARK MASONRY OPENING MATERIAL MECHANICAL METAL MINIMUM MISCELLANEOUS MOISTURE RESISTANT MOUNTED NAPKIN DISPENSER NOT IN CONTRACT NOMINAL NUMBER OFFICE ON CENTER OPENING OPPOSITE HAND OVERHEAD PAINT PAIR PARTITION PERFORATED PRESSURE DROP PLASTIC PLUMBING STACK PLUMBING VENT PLYWOOD POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT PREFINISHED PROJECT MANUAL QUANTITY QUARRY TILE RADIUS RECEPTACLE REFERENCE RETURN AIR RIGHT HAND RISERS ROOF DRAIN RUBBER BASE RUBBER COVE BASE REQUIRED RIGHT OF WAY ROOM ROUGH IN ROUGH OPENING RUBBER STAIR TREAD RUBBER TILE SANITARY (SEWER) SCHEDULE	SECT. SHT. SIM. S.C. SPEC. S.& V. S.S. STD. STL STOR. ST. S. S.G.T. S.A.P. T.B. T. & S. T.D.D. T.G. T.R.G. TZ. T.T. THK. THOLD T.P. T. & G. T. & B. TRANS. T. TYP. U.L. U.N.O. U.P. V.P. VERT. VEST. V.C.T. V.W.C. V.C.P. W.C. W.W.F. W. WDW. W/O W. W/O WD. T. TYP. U.L.	SECTION SHEET SIMILAR SOLID CORE SPECIFICATION STAIN AND VARNISH STAINLESS STEEL STANDARD STEEL STORAGE STORM SEWER STRUCTURAL GLAZED TILE SUSPENDED ACOUSTICAL PANELS TACK BOARD TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF TEMPERED GLASS TEMPERED REFLECTIVE GLASS TERRAZZO TERRAZZO TILE THICK/THICKNESS THRESHOLD TOILET PAPER TONGUE AND GROOVE TOP AND BOTTOM TRANSITION TREADS TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE UTILITY POLE VAPOR BARRIER VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET WELDED WIRE FABRIC WIDTH WINDOW WIRE GLASS WITH WITH OUT WOOD WOOD TYPICAL UNDERWRITERS
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CURRENT DATE: 1/5/2021



LICENSE EXPIRES: 11/30/22

NEW RETAINING WALL AT: LAMPE HI-RISE (IL 16-4)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

ISSUED FOR BIDDING

ISSUE DATE: 1/5/2021

REVISIONS

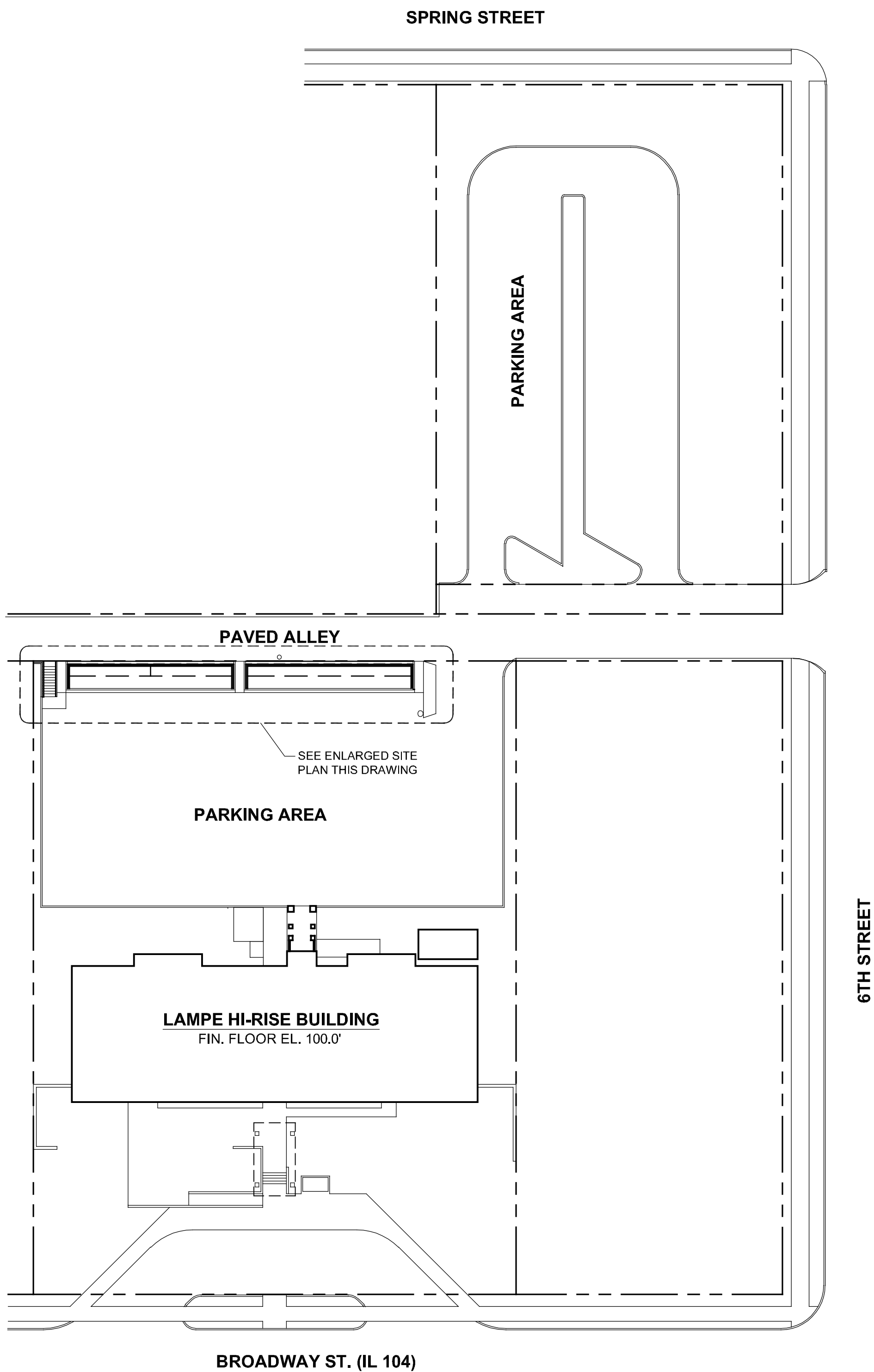
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PROJECT NUMBER: 6011

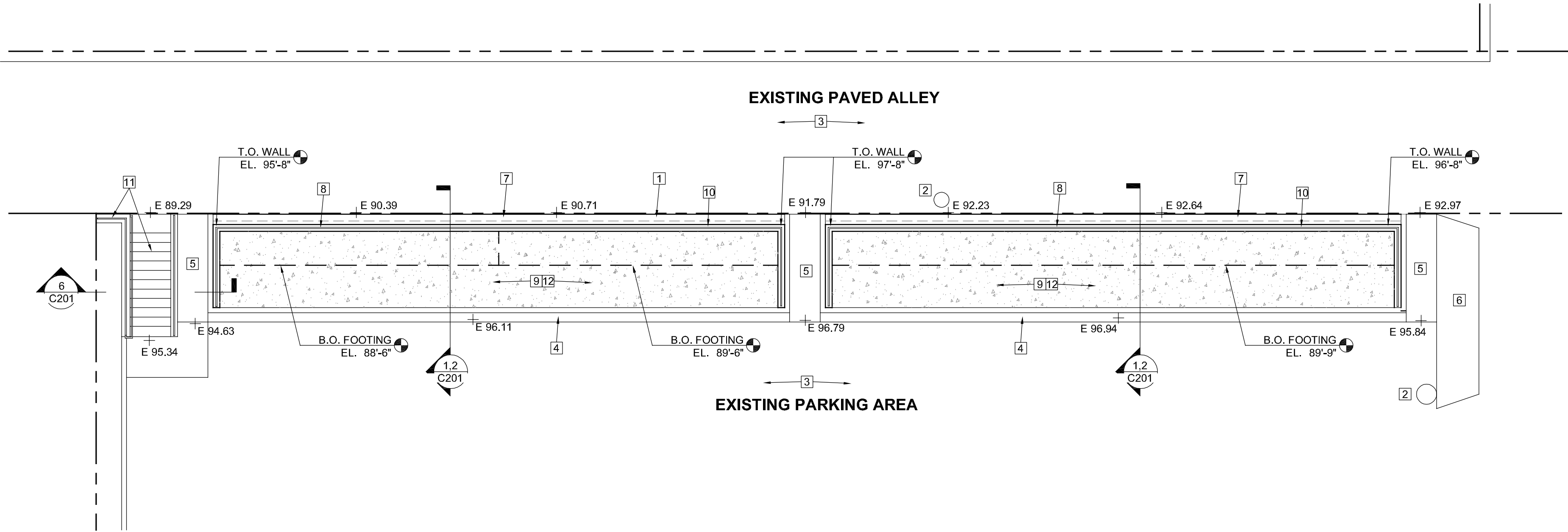
COVER SHEET

DWG. NO.

G001



SITE PLAN
SCALE: 1" = 30'-0"
NORTH



ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"
NORTH

SITE PLAN NOTES:

- 1 REMOVE EXISTING RAILROAD TIES
- 2 EXISTING UTILITY POLE TO REMAIN
- 3 EXISTING PAVING TO REMAIN, PATCH AND REPAIR AS REQUIRED IF DAMAGED DURING DEMOLITION / CONSTRUCTION
- 4 EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- 5 EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN
- 6 EXISTING CONCRETE ISLAND TO REMAIN
- 7 NEW CONCRETE CURB, SEE DETAILS ON DRAWING C102
- 8 NEW RETAINING WALL, SEE DETAILS ON DRAWING C102 FOR DIFFERENT BID CATEGORIES
- 9 EXISTING RIPRAP TO BE REMOVED AND STOCKPILED, COORDINATE LOCATION WITH OWNER
- 10 NEW GUARDRAIL, SEE DETAILS ON DRAWING C102
- 11 EXISTING STAIRS AND RAILINGS TO REMAIN
- 12 NEW CONCRETE PAVING, SEE DETAILS ON DRAWING C102

ARCHITECHNICS
architects • engineers • interior designers
510 Main Street, Quincy, IL 62301 • 217-292-0554 • info@archtechnics.com
DESIGN #RMND, 184004061

CURRENT DATE: 1/5/2021

LICENSE EXPIRES: 11/30/22

NEW RETAINING WALL AT: LAMPE HI-RISE (IL 16-4)

QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

ISSUED FOR BIDDING

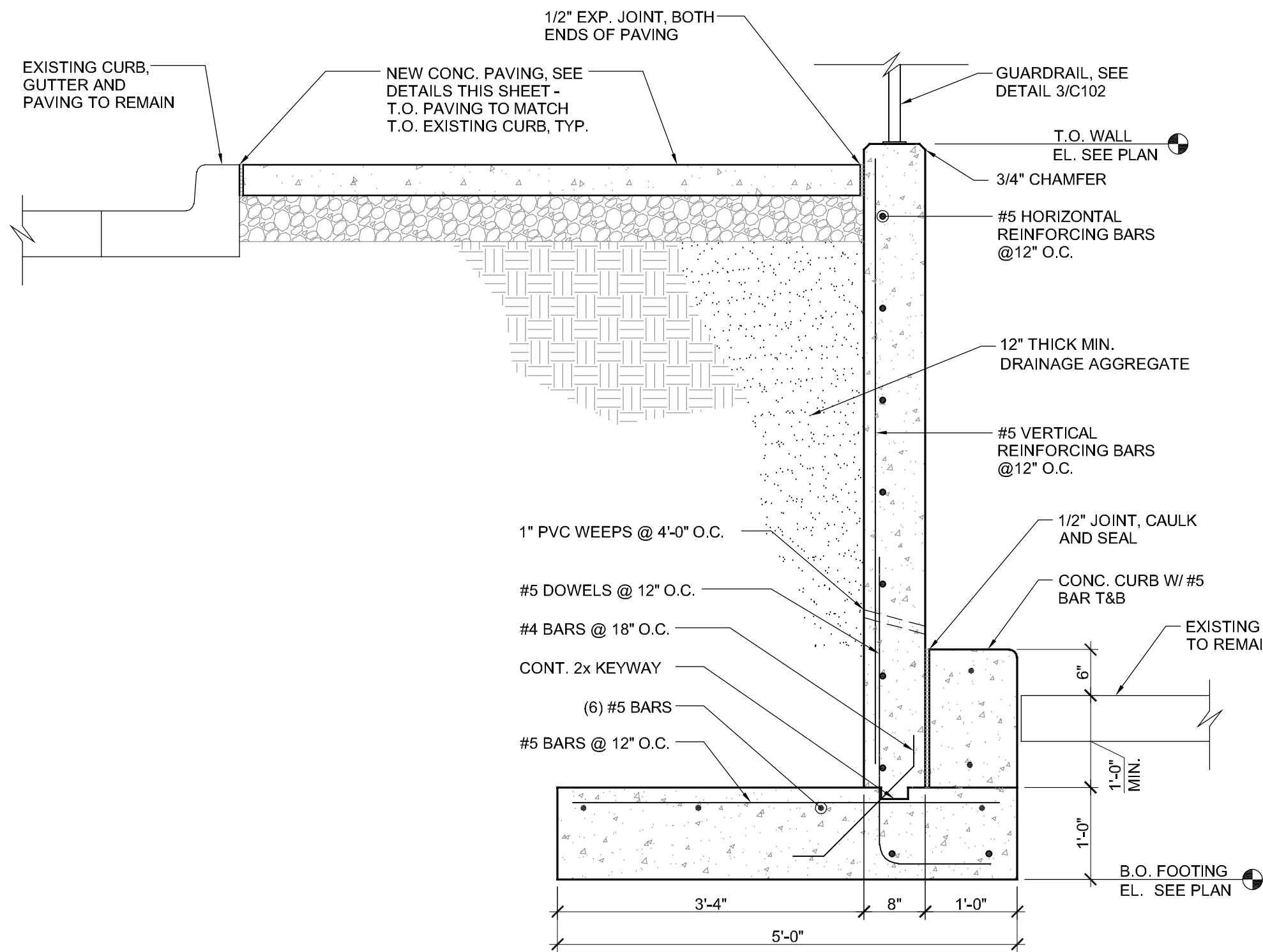
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REVISIONS	

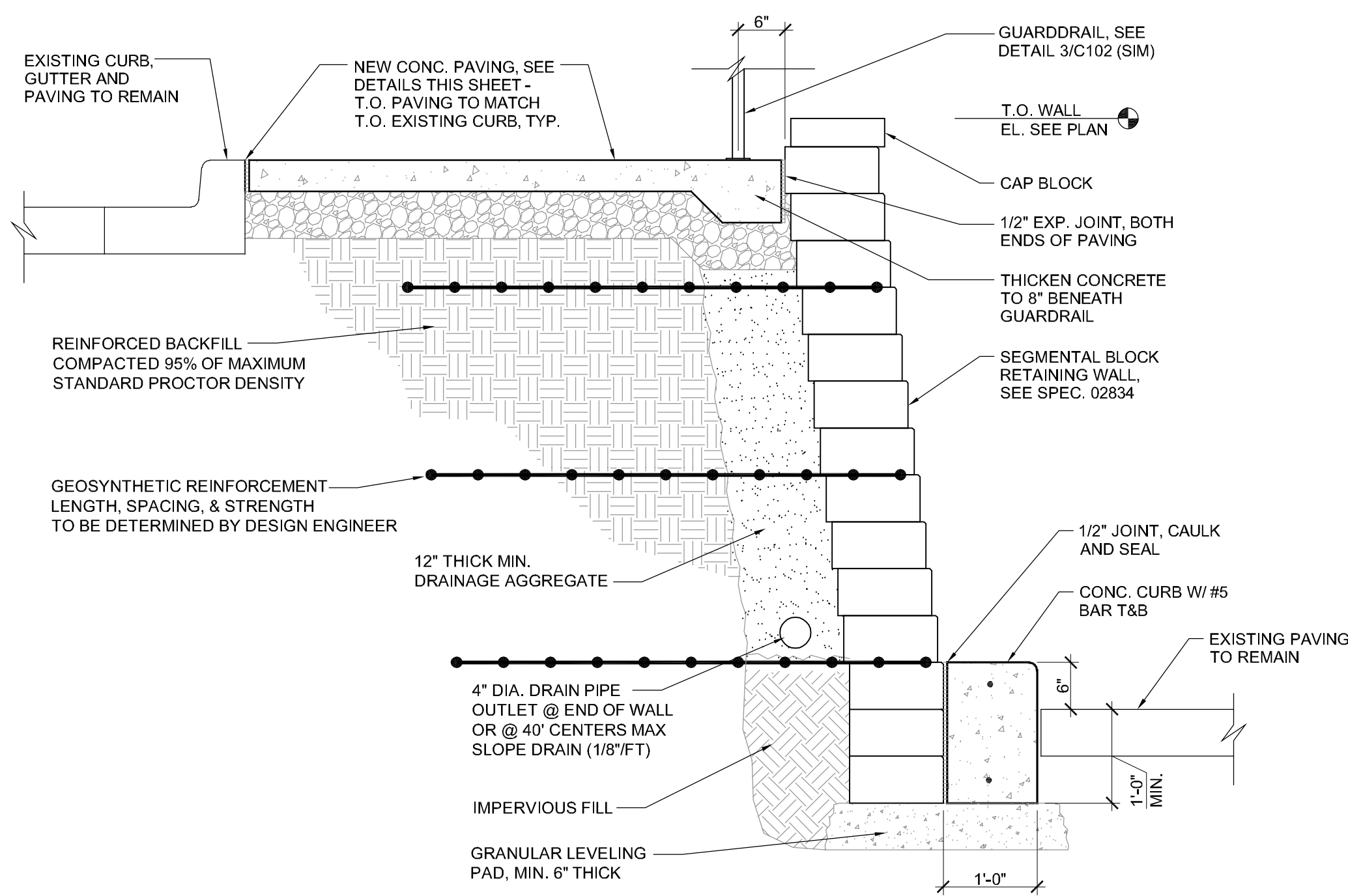
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SITE PLANS

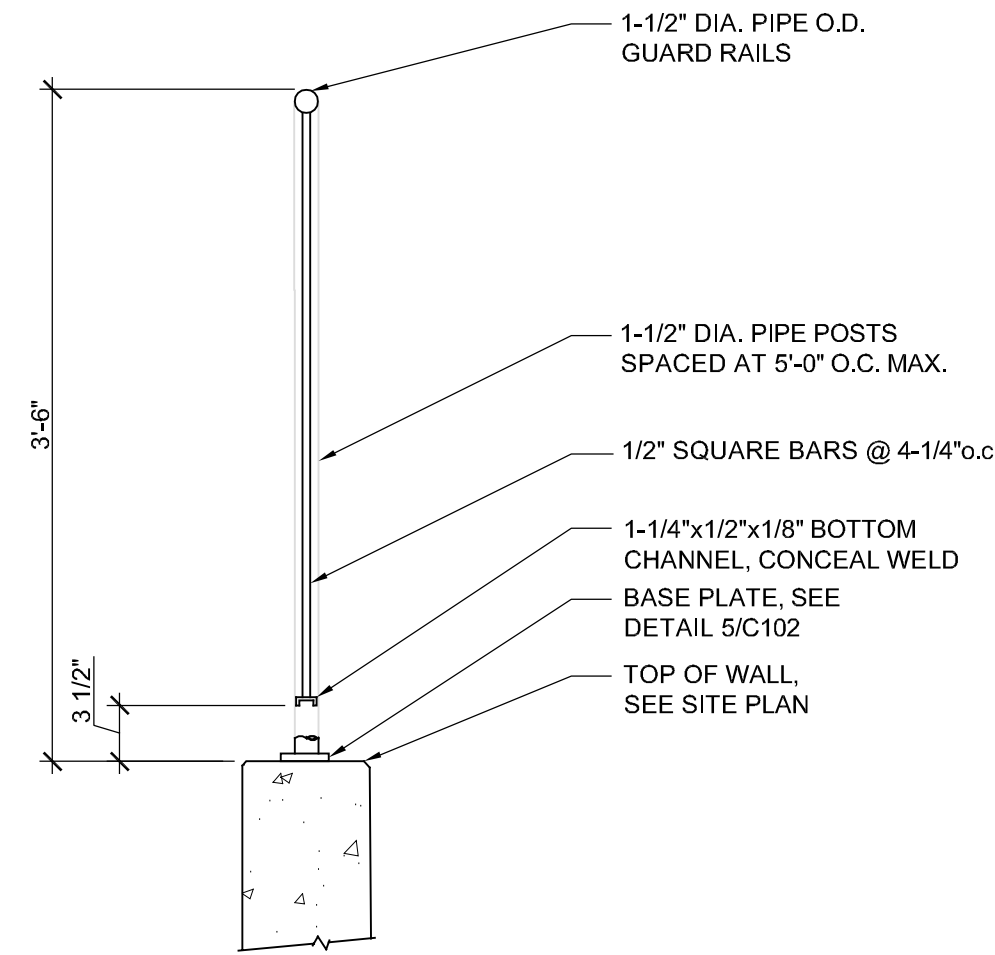
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C101



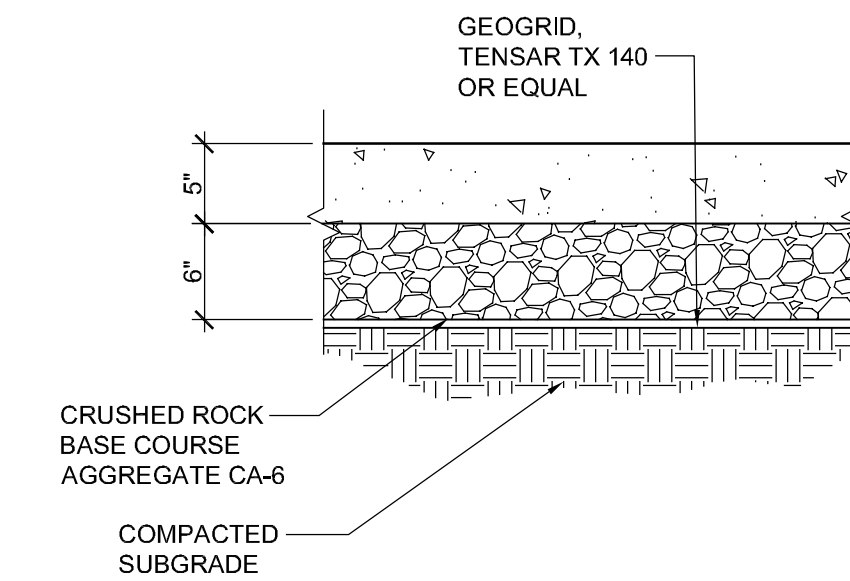
1 RETAINING WALL DETAIL - BASE BID "A"
SCALE: 3/4" = 1'-0"



2 RETAINING WALL DETAIL - ALT. BID "A-1"
SCALE: 3/4" = 1'-0"

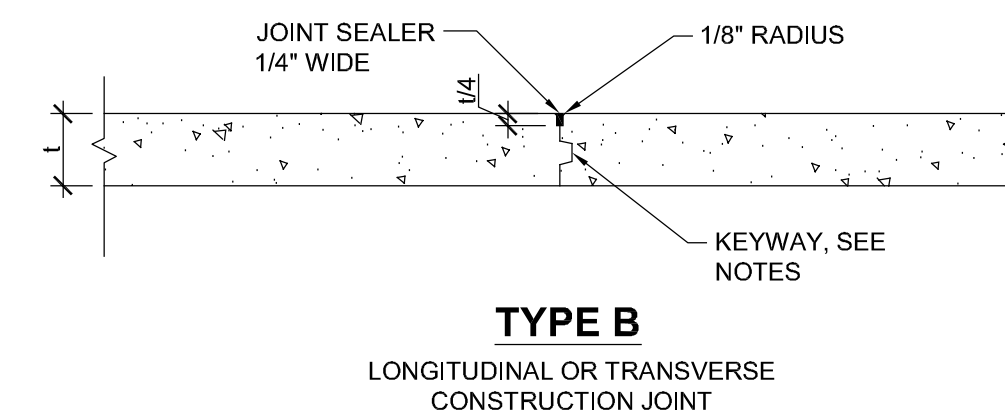
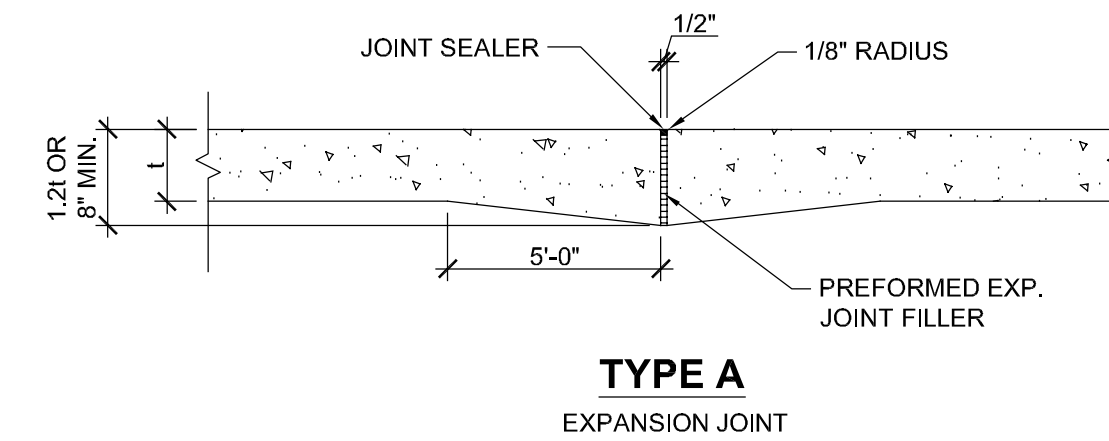


3 GUARDRAIL DETAIL
SCALE: 1" = 1'-0"



TYP. SIDEWALK

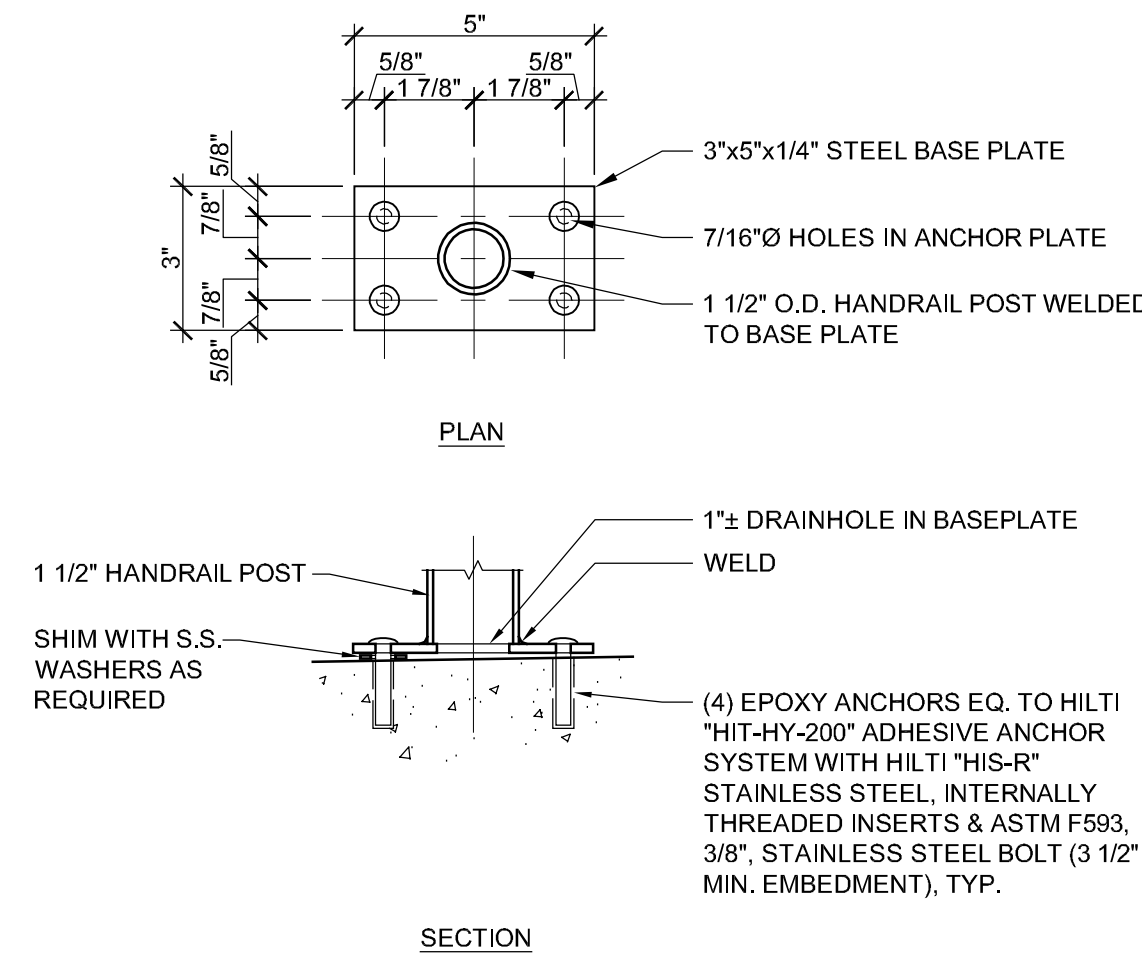
4 CONCRETE PAVING DETAIL
SCALE: 1" = 1'-0"



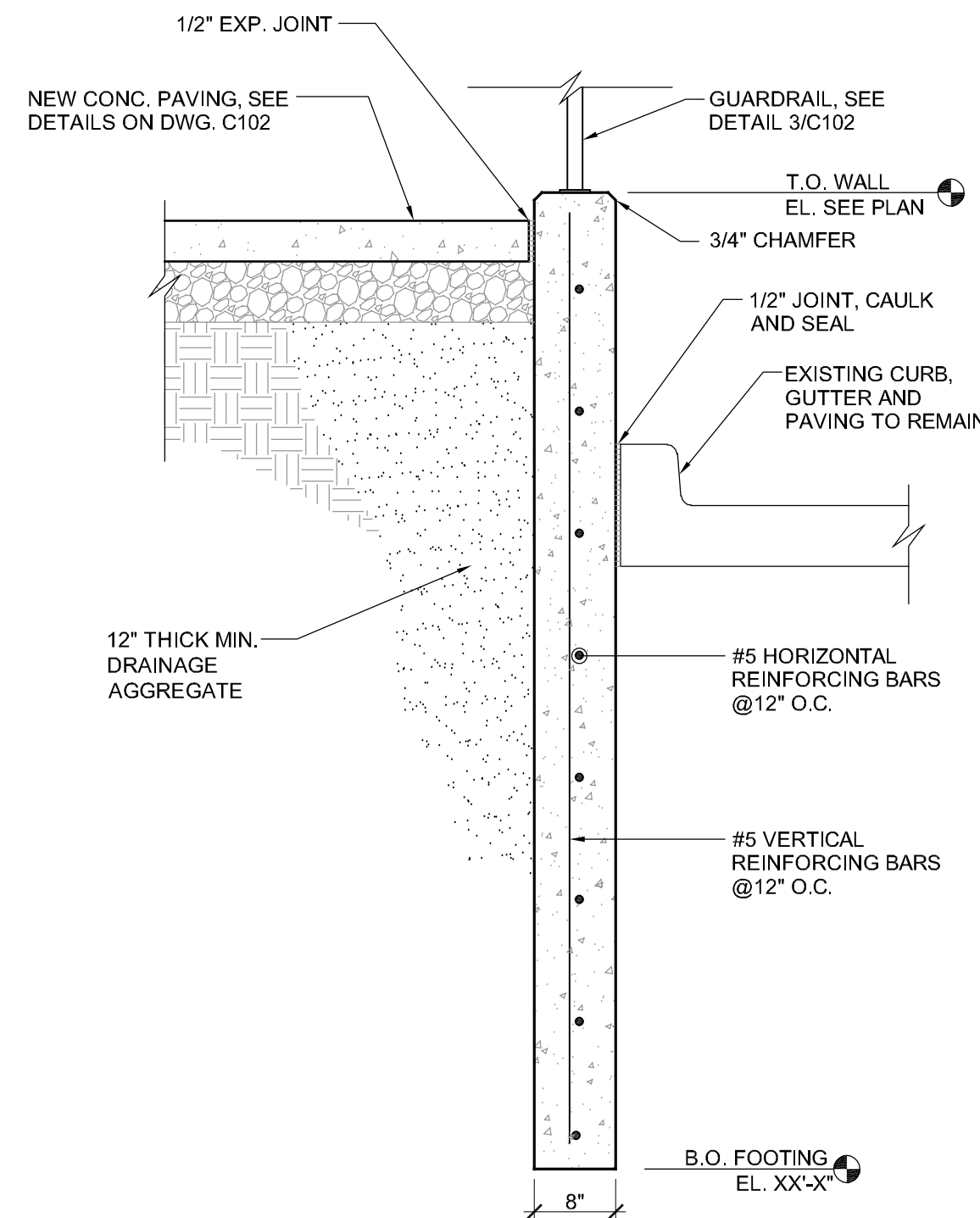
CONCRETE PAVING JOINT NOTES:

1. AT INLETS, MANHOLES AND OTHER STRUCTURES, TRANSVERSE JOINTS SHALL BE SHORTENED ONE OR MORE PANELS EITHER SIDE OF THE STRUCTURE TO PERMIT JOINTS TO FALL AT THE CORNERS OF THE BOX-OUT. ONE OR BOTH "L" DIMENSIONS OF THE BOX-OUT MAY BE ADJUSTED TO PROVIDE FOR INTERSECTION OF LONGITUDINAL JOINTS AT BOX-OUT CORNERS.
2. ALL TRANSVERSE JOINTS MUST EXTEND THROUGH CURBS AND MUST BE CONTINUOUS ACROSS PAVEMENT, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS. EXPANSION JOINTS WILL BE REQUIRED AS SHOWN ON PLANS.
3. MAXIMUM TRANSVERSE JOINT SPACING SHALL BE 15 FEET, UNLESS OTHERWISE SPECIFIED.
4. PAVEMENT JOINTS SHALL BE SEALED WITH HOT POUR MATERIAL MEETING THE REQUIREMENTS OF ASTM D3405.
6. TYPE B JOINTS WHICH ARE TO BE COATED SHALL RECEIVE TWO COATS OF ASPHALTIC EMULSION PRIOR TO PLACEMENT OF THE ADJACENT PAVEMENT.

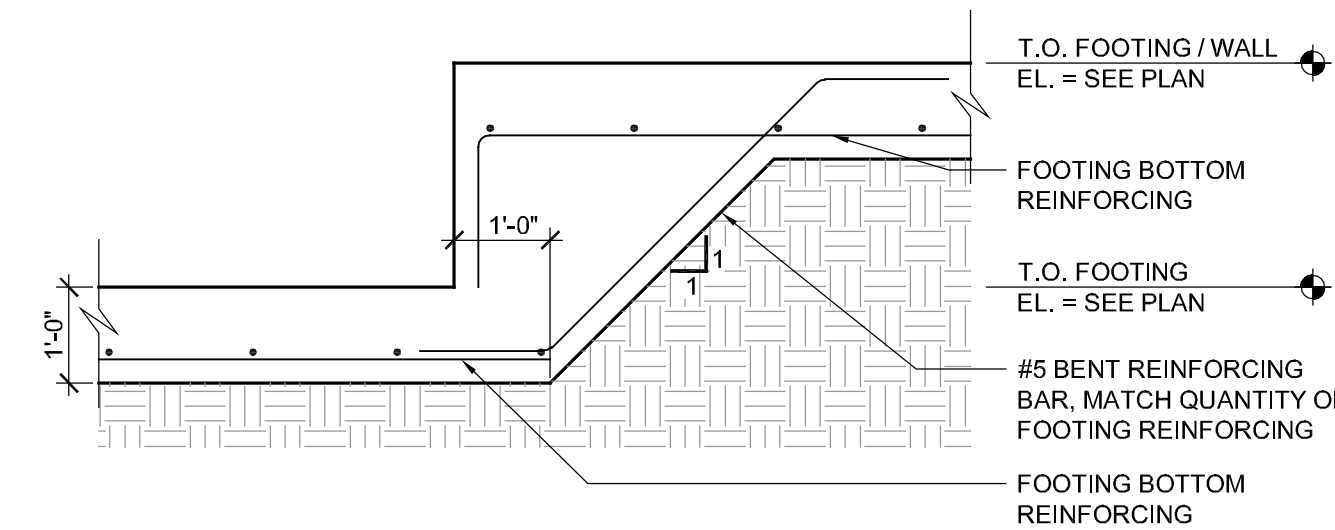
8 CONCRETE PAVEMENT JOINT DETAILS
SCALE: N.T.S.



5 BASE PLATE DETAIL
SCALE: 3" = 1'-0"



6 RETURN WALL DETAIL - BASE BID "A"
SCALE: 3/4" = 1'-0"



7 STEPPED FOOTING DETAIL
SCALE: 1/2" = 1'-0"