

ADDENDUM

Client: Quincy Housing Authority

Project Name: New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

Project Number: 6011 Addendum Number: 1 Issued: 01/13/2021

This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated January 5, 2021. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

This addendum and all future addenda with a Plan Holders List will be also be posted on the website of Architechnics and updated daily. Check the Current Projects tab on the site: www.architechnicsinc.com

ITEM	DESCRIPTION	NOTES
SPECIFICATIONS:		
Form of Bid	Clarify	Contractors do NOT have to provide a bid for both categories - they may provide a price for only the Base Bid "A" or Alternate Bid "A-1" work if desired.
Special Conditions, Para. 2	Clarify	The 90 days for Substantial Completion of the work shall begin at an appropriate time as agreed upon by the Owner and Contractor.
DRAWINGS:		
Drawing C101	Revise	All references to details on drawing C201 should refer to C102, see revised drawing.
Drawing C101	Clarify	The work shall be phased so that the existing parking lot adjacent to the new wall remains in use as much as possible.
Drawing C101	Clarify	Existing riprap shall be stockpiled in the north parking lot as directed by the Owner.

Drawings C101, C102	Revise	The existing concrete drainage ditches will be removed and replaced as part of this project. See attached revised drawings C101 and C102.
Detail 3/C102	Clarify	All guardrail steel shall be galvanized with paint finish, color as selected by Owner.

This addendum consists of 2 pages; revised drawings C101 and C102; current Plan Holders List; Pre-Bid Attendance Record; Pre-Bid Meeting Minutes.

RECORD OF PLANS AND SPECIFICATIONS

PAGE NO. One

NAME OF PROJECT	New Retaining Wall at: Lampe Hi-Rise (IL 16-4)						
PROJECT NO. 6011	DATE	BIDS DUE	Thursday, January 21,	2021 DEPOSIT	\$150.00		
TIME AND PLACE OF LETTING		2:00 p.m., QHA Administration Building					
TIME AND LAGE OF LETTING			•	Street, Quincy			
white the track of But and a Billian Co.	4		540 Hallison	Sileet, Quilley	D. D. IM. C.		
*** Indicates Potential Bidding Cor				D=D00 =	Pre-Bid Meeting:		
CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY		DATE	DEPOSIT	DEPOSIT		
	NO.	RECEIVED	RETURNED	RECEIVED	RETURNED		
Architect	#1						
Owner	#2						
Bergman Nurseries							
3715 N 12th							
Quincy, IL 62301 217-222-1424	D	1/4/2021					
Fax: 217-2229289							
trevor@bergmannurseries.com							
* Eric Green Construction							
7230 Woodland Hill Cir							
Quincy, IL 62305	#0	4/5/0004					
217-430-4490	#3	1/5/2021					
eg_construction@yahoo.com							
* Trotter General Contracting, Inc							
900 Doran Drive							
Macomb, IL 61455	D	1/5/2021					
309-836-5040							
Fax: 309-836-3756							
troyleander@icloud.com * Laverdiere Construction							
4055 W. Jackson							
Macomb, IL 61455							
309-837-1258	D	1/5/2021					
Fax 309-833-4993							
mlynn@lavconinc.com							
* Rees Construction							
PO Box 646							
Quincy, IL 62306	D	1/5/2021					
217-222-0748							
Fax 217-222-2613							
info@reesconstructionco.com * Bleigh Construction							
PO Box 957							
Hannibal, MO 63401							
573-221-2247	D	1/5/2021					
Fax 573-221-4331							
lvannatta@bleigh.com							
Michelmann Steel Construction							
137 N. 2nd Street							
Quincy, IL 62301	D	1/5/2021					
217-222-0555							
mikep@michelmann.us							
* Waterkotte Construction							
2630 Wisman Lane							
Quincy, IL 62305	_						
217-222-5413	D	1/5/2021					
Fax 217-222-9155							
Jterwelp@waterkotteconstinc.com	ı						

RECORD OF PLANS AND SPECIFICATIONS

PAGE NO. Two

NAME OF PROJECT New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

PROJECT NO. 6011		IDS DUE	1/21/21 2:00 PM	DEPOSIT:	\$150.00
CONTRACTOR NAME	COPY	DATE	DATE	DEPOSIT	DEPOSIT
ADDRESS/PHONE/EMAIL	NO.	RECEIVED	RETURNED	RECEIVED	RETURNED
Construct Connect					
3825 Edwards Road, STE. 800					
Cincinnati, OH 45209	D	1/5/2021			
800-364-2059	'	1/5/2021			
gwen.tanghal@constructconnect.co	r				
Million Construction, Ltd					
3626 South 46th Street					
Quincy, IL 62305		41510004			
217-222-5202	D	1/5/2021			
Cell: 217242-5204					
millionItd@comcast.net					
D&L Excavating, Inc.					
1958 Hwy 104					
Liberty, IL 62347					
217 645-3701	D	1/6/2021			
Fax: 217 645-3692					
dlexcavatinginc@yahoo.com					
Fischer Builders, Inc.					
814 Ohio					
Quincy, IL 62301 217-222-4322	D	1/7/2021			
Fax 217-222-2393					
ryan@fischerbuilders.com					
Niemann Gen. Contracting, Inc.					
901 Summit Dr.					
Quincy, IL 62305	D	1/7/2021			
217-228-2903		17172021			
Fax: 217-228-2903					
drewniemann@yahoo.com					
Leffers Landscape & Nursery					
4515 State St					
Quincy, IL 62305	#4	1/8/2021			
217-224-5296	#4	1/0/2021			
floyd@adams.net					
Dodge Data & Analytics					
4300 Beltway Place, STE #180					
Arlington, Texas		4/0/004			
888-667-8198	D	1/8/2021			
brandi.flanagan@construction.com					
Frese Ornamental					
3100 N. 18th Street					
Quincy, IL 62305		414010004			
217-222-0977	#5	1/12/2021			
Fax: 217-224-9711					
fnursery@sbcglobal.net					
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ATTENDANCE RECORD

Client: Quincy Housing Authority

Project Name: New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

Project Number: 6011

Meeting Description: Pre-Bid Meeting

Date: January 12, 2021

Time: 10:00 a.m.

Attendants

Name & Title	Representing	Email	Phone
Paul Westerhoff, AIA	Architechnics	pwesterhoff@architechnicsinc.com	222-0554
Isaac Miller, PE	Architechnics	imiller@architechnicsinc.com	222-0554
TIEU GENENBACKA	FRESE	INFO OFAESE OANMENTO	
Drowliemann	Nomana Gordal G	I Drewlandine	1653-3000
David Could	Laverdiere	Desufel & Leverine,	con 30A-333-2851
LENDY MILLION	MILLION CONST.	million to comeast. net	217-242-5204
Matt Schuts	Bergmon Nuiserles - Emarer illou	trevora bergmannurseries	<u>217-430-1436</u>
CONNER EMPICK	Emrick out door	Emric KCOMMA Yahoo, (-	1217-617-6700
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Todd J. Moore, PE Brian M. Spencer, SE Jacques L. Reynolds, AIA Isaac D. Miller, PE Paul T. Westerhoff, AIA Christopher R. Clark, AIA Morgan E. Miles, NCIDQ

MEETING MINUTES

January 12, 2021

Client: Quincy Housing Authority

Project Name: New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

Project Number: 6011

MEETING SUMMARY:

Meeting Description: Pre-Bid Meeting

Meeting Location: Lampe Hi-Rise Community Room

Meeting Time: 10:00 a.m.

SUMMARY

- 1. A sign-in sheet for all attendees was distributed.
- 2. Isaac Miller and Paul Westerhoff discussed the overall scope of the project, important project dates, bid requirements and alternate bids.
- 3. The existing riprap will be stockpiled in the north parking lot as directed by QHA.
- 4. A question was asked about the existing drainage ditches and the constructability of the return wall. Paul stated that this question had been asked prior to the meeting, and that the existing drainage would have to be rebuilt as part of this project. A revised drawing will be issued with an upcoming addendum.
- 5. The existing parking lot is to remain in use as much as possible, contractors should phase the new construction as required to ensure that the lot stays available.
- 6. Isaac will verify that there are no utilities affected by this work.
- 7. Bidding contractors do **NOT** need to provide a bid for both categories they may provide a bid for just Base Bid "A" or Alternate Bid "A-1".
- 8. All attendees took a brief tour of the facility. QHA stated that they have a dump truck available for hauling if necessary. The time of contract will be clarified in an upcoming addendum.

LICENSE EXPIRES: 11/30/22

ISSUED FOR BIDDING

SSUE DATE: 1/5/2021 REVISIONS 1/13/21 ADDENDUM #1

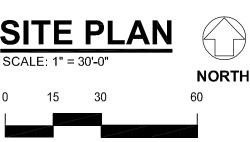
PROJECT NUMBER: 6011

SITE PLANS

DWG. NO. C101

SPRING STREET

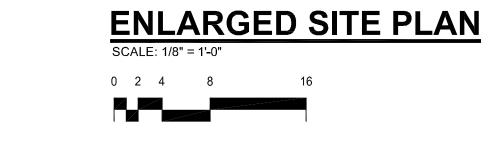
PAVED ALLEY SEE ENLARGED SITE PLAN THIS DRAWING **PARKING AREA** LAMPE HI-RISE BUILDING FIN. FLOOR EL. 100.0'



BROADWAY ST. (IL 104)

3 T.O. WALL EL. 97'-8" T.O. WALL EL. 95'-8" T.O. WALL EL. 96'-8" 2 __E 92.23 , **⋤** 89.29 E 91.79 6 C102 E 95.84 B.O. FOOTING EL. 88'-6" B.O. FOOTING EL. 89'-9" B.O. FOOTING EL. 89'-6" 57'-2" (V.I.F.) 57'-7" (V.I.F.) **EXISTING PARKING AREA**

EXISTING PAVED ALLEY



SITE PLAN NOTES:

- 1 REMOVE EXISTING RAILROAD TIES
- 2 EXISTING UTILITY POLE TO REMAIN
- 3 EXISTING PAVING TO REMAIN, PATCH AND REPAIR AS REQUIRED IF DAMAGED DURING DEMOLITION / CONSTRUCTION
- 4 EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- EXISTING CONCRETE DRAINAGE CHANNEL TO BE REMOVED AND

6 EXISTING CONCRETE ISLAND TO REMAIN

- REPLACED, SEE DETAIL 6/C102
- 7 NEW CONCRETE CURB, SEE DETAILS ON DRAWING C102
- 8 NEW RETAINING WALL, SEE DETAILS ON DRAWING C102 FOR DIFFERENT BID CATEGORIES
- 9 EXISTING RIPRAP TO BE REMOVED AND STOCKPILED, COORDINATE LOCATION WITH OWNER
- 10 NEW GUARDRAIL, SEE DETAILS ON DRAWING C102
- 11 EXISTING STAIRS AND RAILINGS TO REMAIN
- 12 NEW CONCRETE PAVING, SEE DETAILS ON DRAWING C102

RETAINING WALL DETAIL - BASE BID "A"

SCALE: 3/4" = 1'-0"

- GUARDDRAIL, SEE DETAIL 3/C102 (SIM) EXISTING CURB,-NEW CONC. PAVING, SEE -**GUTTER AND** DETAILS THIS SHEET -PAVING TO REMAIN T.O. PAVING TO MATCH T.O. WALL

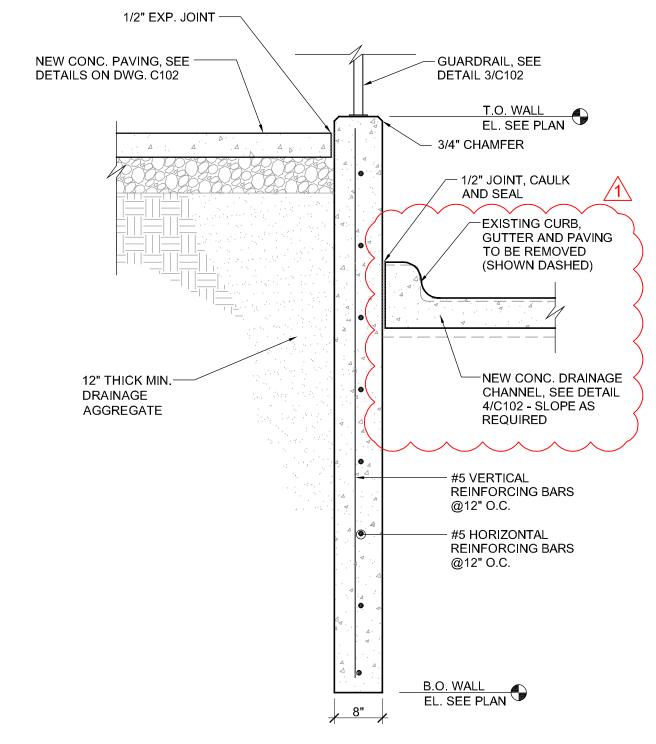
EL. SEE PLAN T.O. EXISTING CURB, TYP. - CAP BLOCK 1/2" EXP. JOINT, BOTH ENDS OF PAVING THICKEN CONCRETE TO 8" BENEATH GUARDRAIL REINFORCED BACKFILL -SEGMENTAL BLOCK COMPACTED 95% OF MAXIMUM RETAINING WALL, STANDARD PROCTOR DENSITY SEE SPEC. 02834 GEOSYNTHETIC REINFORCEMENT LENGTH, SPACING, & STRENGTH TO BE DETERMINED BY DESIGN ENGINEER — 1/2" JOINT, CAULK AND SEAL 12" THICK MIN. DRAINAGE AGGREGATE - CONC. CURB W/#5 BAR T&B - EXISTING PAVING TO REMAIN 4" DIA. DRAIN PIPE -OUTLET @ END OF WALL OR @ 40' CENTERS MAX SLOPE DRAIN (1/8"/FT) IMPERVIOUS FILL -GRANULAR LEVELING PAD, MIN. 6" THICK 1'-0"

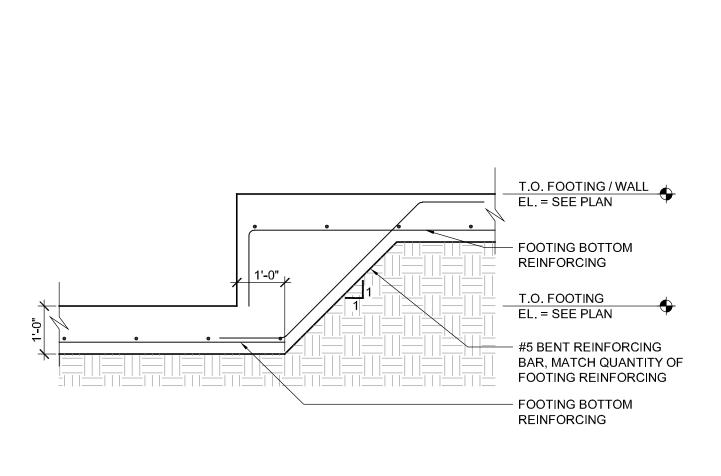
RETAINING WALL DETAIL - ALT. BID "A-1"

SCALE: 3/4" = 1'-0"

3"x5"x1/4" STEEL BASE PLATE 7/16"Ø HOLES IN ANCHOR PLATE 1 1/2" O.D. HANDRAIL POST WELDED TO BASE PLATE <u>PLAN</u> - 1"± DRAINHOLE IN BASEPLATE 1 1/2" HANDRAIL POST -SHIM WITH S.S.-WASHERS AS REQUIRED (4) EPOXY ANCHORS EQ. TO HILTI "HIT-HY-200" ADHESIVE ANCHOR SYSTEM WITH HILTI "HIS-R" STAINLESS STEEL, INTERNALLY THREADED INSERTS & ASTM F593, 3/8", STAINLESS STEEL BOLT (3 1/2" MIN. EMBEDMENT), TYP. <u>SECTION</u>

SCALE: 3" = 1'-0"

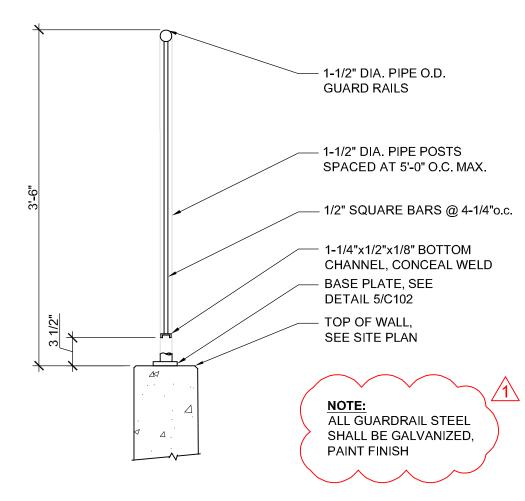




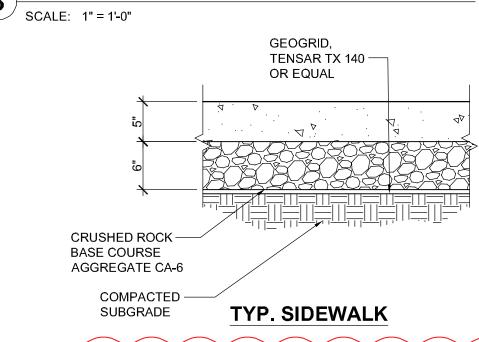
RETURN WALL DETAIL - BASE BID "A"

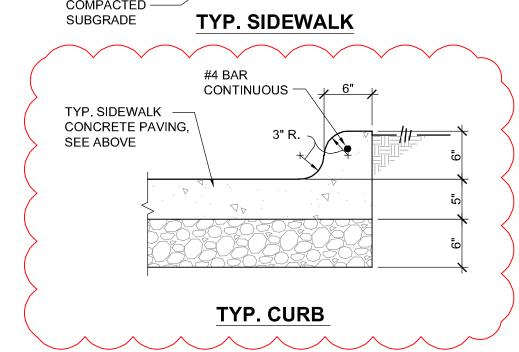
SCALE: 3/4" = 1'-0"



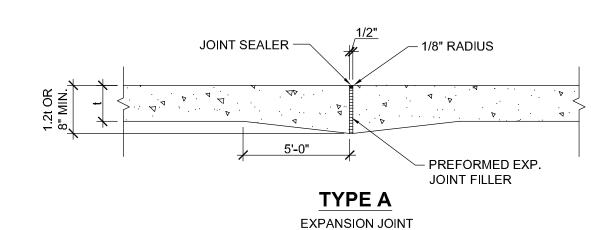


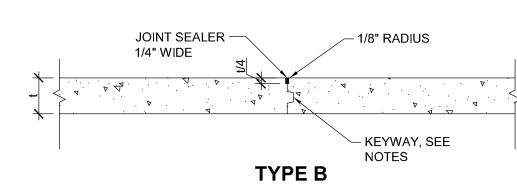
3 GUARDRAIL DETAIL





4 CONCRETE PAVING / CURB DETAILS





LONGITUDINAL OR TRANSVERSE CONSTRUCTION JOINT

CONCRETE PAVING JOINT NOTES:

1. AT INLETS, MANHOLES AND OTHER STRUCTURES, TRANSVERSE JOINTS SHALL BE SHORTENED ONE OR MORE PANELS EITHER SIDE OF THE STRUCTURE TO PERMIT JOINTS TO FALL AT THE CORNERS OF THE BOX-OUT. ONE OR BOTH "L" DIMENSIONS OF THE BOX-OUT MAY BE ADJUSTED TO PROVIDE FOR INTERSECTION OF LONGITUDINAL JOINTS AT BOX-OUT CORNERS. 2. ALL TRANSVERSE JOINTS MUST EXTEND THROUGH CURBS AND MUST BE CONTINUOUS ACROSS PAVEMENT, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS. EXPANSION JOINTS WILL BE

REQUIRED AS SHOWN ON PLANS. 3. MAXIMUM TRANSVERESE JOINT SPACING SHALL BE 15 FEET, UNLESS OTHERWISE SPECIFIED. 4. PAVEMENT JOINTS SHALL BE SEALED WITH HOT POUR MATERIAL MEETING THE REQUIREMENTS OF ASTM D3405.

6. TYPE B JOINTS WHICH ARE TO BE COATED SHALL RECEIVE TWO COATS OF ASPHALTIC EMULSION PRIOR TO PLACEMENT OF THE ADJACENT PAVEMENT.

CONCRETE PAVEMENT JOINT DETAILS

CURRENT DATE: 1/5/2021



LICENSE EXPIRES: 11/30/22

ISSUED FOR BIDDING

SUE DATE: 1/5/2021 REVISIONS

1/13/21 | ADDENDUM #1

PROJECT NUMBER: 6011

SITE DETAILS

C102