

## ADDENDUM

Client: Quincy Housing Authority

Project Name: New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

Project Number: 6011

Addendum Number: 1

Issued: 01/13/2021

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This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated January 5, 2021. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

### FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

This addendum and all future addenda with a Plan Holders List will be also be posted on the website of Architechnics and updated daily. Check the Current Projects tab on the site: [www.architechnicsinc.com](http://www.architechnicsinc.com)

ITEM	DESCRIPTION	NOTES
<b>SPECIFICATIONS:</b>		
Form of Bid	Clarify	Contractors do <b><u>NOT</u></b> have to provide a bid for both categories - they may provide a price for only the Base Bid "A" or Alternate Bid "A-1" work if desired.
Special Conditions, Para. 2	Clarify	The 90 days for Substantial Completion of the work shall begin at an appropriate time as agreed upon by the Owner and Contractor.
<b>DRAWINGS:</b>		
Drawing C101	Revise	All references to details on drawing C201 should refer to C102, see revised drawing.
Drawing C101	Clarify	The work shall be phased so that the existing parking lot adjacent to the new wall remains in use as much as possible.
Drawing C101	Clarify	Existing riprap shall be stockpiled in the north parking lot as directed by the Owner.

Drawings C101, C102	Revise	The existing concrete drainage ditches will be removed and replaced as part of this project. See attached revised drawings C101 and C102.
Detail 3/C102	Clarify	All guardrail steel shall be galvanized with paint finish, color as selected by Owner.

This addendum consists of 2 pages; revised drawings C101 and C102; current Plan Holders List; Pre-Bid Attendance Record; Pre-Bid Meeting Minutes.

# **RECORD OF PLANS AND SPECIFICATIONS**

PAGE NO. One

NAME OF PROJECT

New Retaining Wall at: Lampe Hi-Rise (IL 16-4)PROJECT NO. 6011DATE BIDS DUE Thursday, January 21, 2021DEPOSIT \$150.00

TIME AND PLACE OF LETTING

2:00 p.m., QHA Administration Building540 Harrison Street, Quincy

\*\*\* Indicates Potential Bidding Contractor

Pre-Bid Meeting:

CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED
Architect	#1				
Owner	#2				
Bergman Nurseries 3715 N 12th Quincy, IL 62301 217-222-1424 Fax: 217-222-9289 trevor@bergmannurseries.com	D	1/4/2021			
*** Eric Green Construction 7230 Woodland Hill Cir Quincy, IL 62305 217-430-4490 eg_construction@yahoo.com	#3	1/5/2021			
*** Trotter General Contracting, Inc 900 Doran Drive Macomb, IL 61455 309-836-5040 Fax: 309-836-3756 troyleander@icloud.com	D	1/5/2021			
*** Laverdiere Construction 4055 W. Jackson Macomb, IL 61455 309-837-1258 Fax 309-833-4993 mlynn@lavconinc.com	D	1/5/2021			
*** Rees Construction PO Box 646 Quincy, IL 62306 217-222-0748 Fax 217-222-2613 info@reesconstructionco.com	D	1/5/2021			
*** Bleigh Construction PO Box 957 Hannibal, MO 63401 573-221-2247 Fax 573-221-4331 lvannatta@bleigh.com	D	1/5/2021			
Michelmann Steel Construction 137 N. 2nd Street Quincy, IL 62301 217-222-0555 mikep@michelmann.us	D	1/5/2021			
*** Waterkotte Construction 2630 Wisman Lane Quincy, IL 62305 217-222-5413 Fax 217-222-9155 Jterwelp@waterkotteconstinc.com	D	1/5/2021			

# **RECORD OF PLANS AND SPECIFICATIONS**

PAGE NO. Two

NAME OF PROJECT

New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

PROJECT NO.	6011	DATE BIDS DUE		1/21/21 2:00 PM	DEPOSIT:	\$150.00
CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED	
Construct Connect 3825 Edwards Road, STE. 800 Cincinnati, OH 45209 800-364-2059  gwen.tanghal@constructconnect.com	D	1/5/2021				
Million Construction, Ltd 3626 South 46th Street Quincy, IL 62305 217-222-5202 Cell: 217242-5204 millionltd@comcast.net	D	1/5/2021				
D&L Excavating, Inc. 1958 Hwy 104 Liberty, IL 62347 217 645-3701 Fax: 217 645-3692 dlexcavatinginc@yahoo.com	D	1/6/2021				
*** Fischer Builders, Inc. 814 Ohio Quincy, IL 62301 217-222-4322 Fax 217-222-2393 ryan@fischerbuilders.com	D	1/7/2021				
Niemann Gen. Contracting, Inc. 901 Summit Dr. Quincy, IL 62305 217-228-2903 Fax: 217-228-2903 drewniemann@yahoo.com	D	1/7/2021				
Leffers Landscape & Nursery 4515 State St Quincy, IL 62305 217-224-5296  floyd@adams.net	#4	1/8/2021				
Dodge Data & Analytics 4300 Beltway Place, STE #180 Arlington, Texas 888-667-8198  brandi.flanagan@construction.com	D	1/8/2021				
Frese Ornamental 3100 N. 18th Street Quincy, IL 62305 217-222-0977 Fax: 217-224-9711 fnursery@sbcglobal.net	#5	1/12/2021				

# ARCHITECHNICS

architects • engineers • interior designers

## ATTENDANCE RECORD

Client: Quincy Housing Authority

Project Name: New Retaining Wall at: Lampe Hi-Rise (IL 16-4)

Project Number: 6011

Meeting Description: Pre-Bid Meeting

Date: January 12, 2021

Time: 10:00 a.m.

### Attendants

Name & Title	Representing	Email	Phone
Paul Westerhoff, AIA	Architechnics	<a href="mailto:pwesterhoff@architechnicsinc.com">pwesterhoff@architechnicsinc.com</a>	222-0554
Isaac Miller, PE	Architechnics	<a href="mailto:imiller@architechnicsinc.com">imiller@architechnicsinc.com</a>	222-0554
TED @ ENEN BACHIR	FLESE	INFO @ FLESE OANNMUND Nury.com	222 0977
Drew Viemann	Viemann Group	Drew.Viemann@Yahoo.com	653-3000
David Coufel	Laverdiere	DCoufel@Lavechinc.com	309-333-2851
Lenny Million	MILLION CONST.	millionltd@comcast.net	217-242-5204
Trevor Friye	Bergman Nurseries	trevor@bergmannurseries.com	217-430-1436
Matt Schuster	Emerrick outdoor		
Conter Emrick	Emrick outdoor	EmrickCONTR@Yahoo.com	217-617-6700

# ARCHITECHNICS

architects • engineers • interior designers

Todd J. Moore, PE  
Brian M. Spencer, SE  
Jacques L. Reynolds, AIA  
Isaac D. Miller, PE  
Paul T. Westerhoff, AIA  
Christopher R. Clark, AIA  
Morgan E. Miles, NCIDQ

## MEETING MINUTES

January 12, 2021

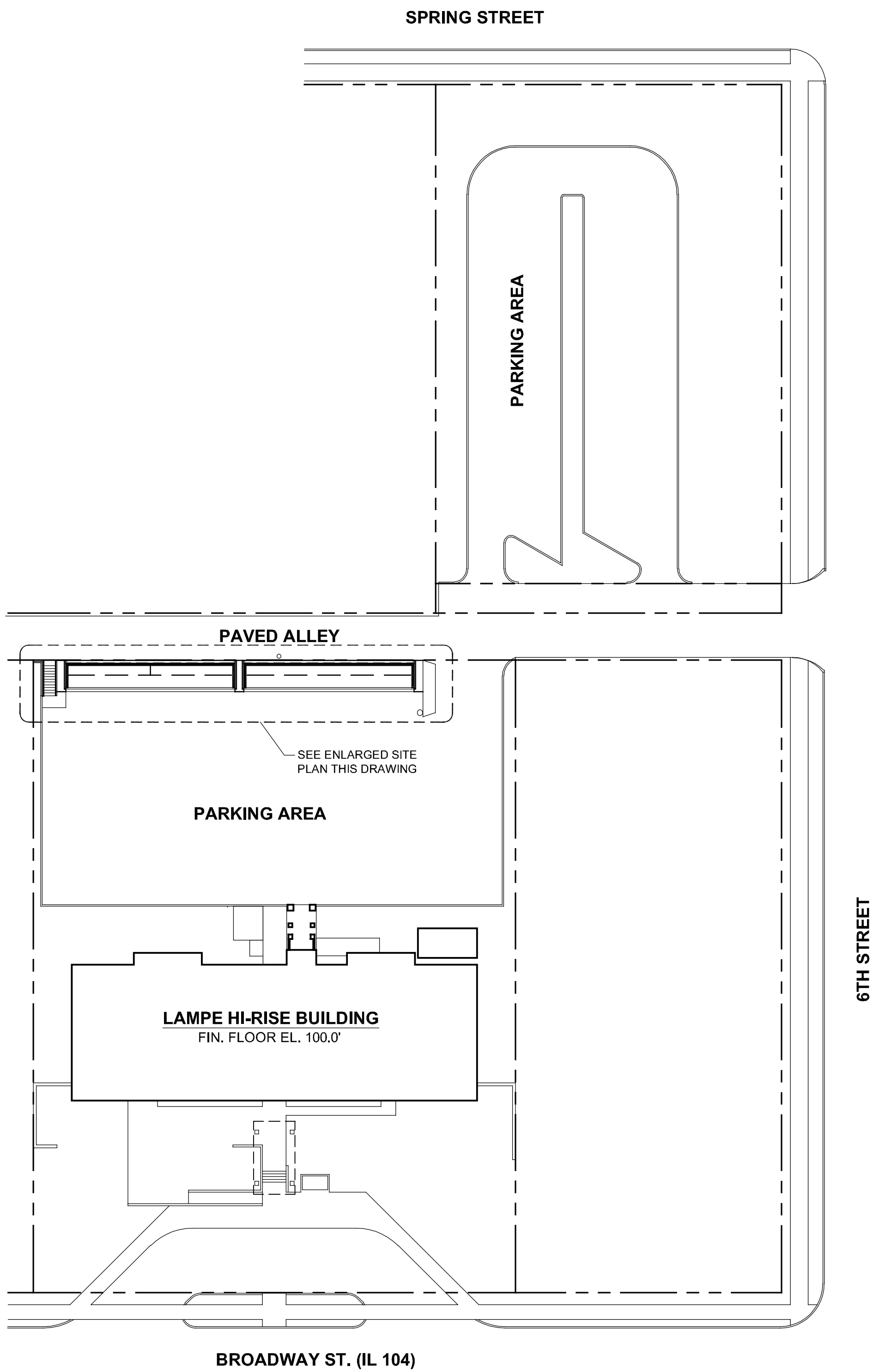
Client: Quincy Housing Authority  
Project Name: New Retaining Wall at: Lampe Hi-Rise (IL 16-4)  
Project Number: 6011

### MEETING SUMMARY:

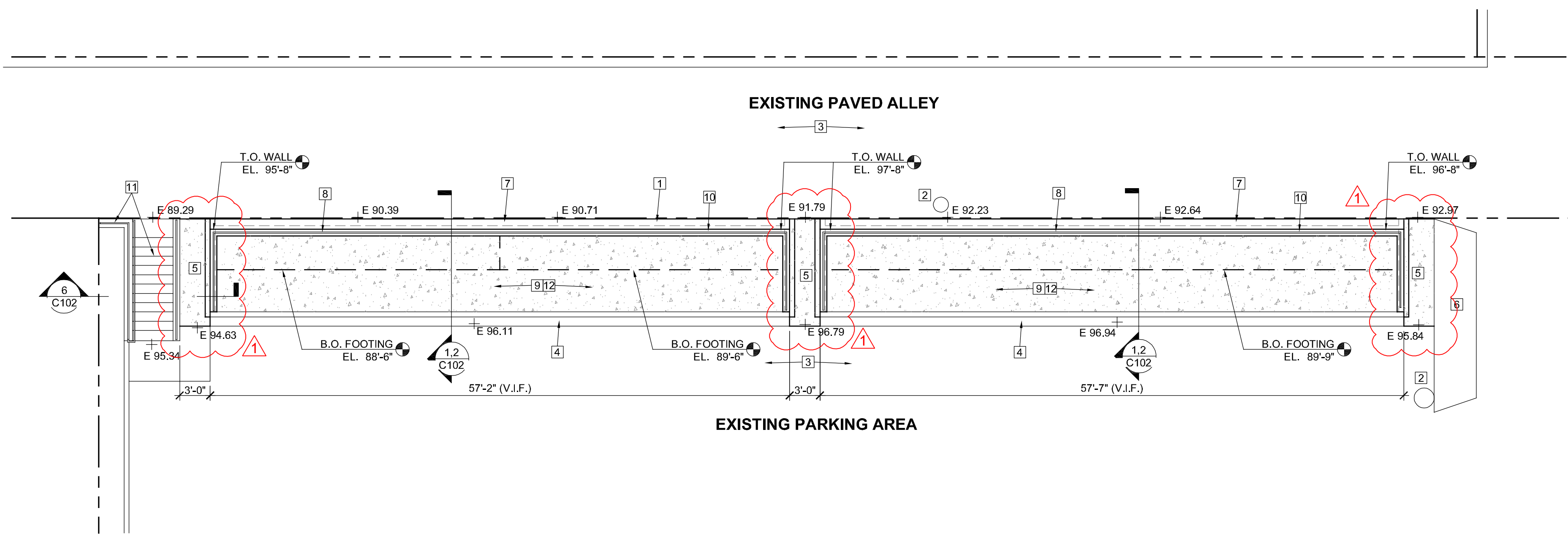
**Meeting Description:** Pre-Bid Meeting  
**Meeting Location:** Lampe Hi-Rise Community Room  
**Meeting Time:** 10:00 a.m.

### SUMMARY

1. A sign-in sheet for all attendees was distributed.
2. Isaac Miller and Paul Westerhoff discussed the overall scope of the project, important project dates, bid requirements and alternate bids.
3. The existing riprap will be stockpiled in the north parking lot as directed by QHA.
4. A question was asked about the existing drainage ditches and the constructability of the return wall. Paul stated that this question had been asked prior to the meeting, and that the existing drainage would have to be rebuilt as part of this project. A revised drawing will be issued with an upcoming addendum.
5. The existing parking lot is to remain in use as much as possible, contractors should phase the new construction as required to ensure that the lot stays available.
6. Isaac will verify that there are no utilities affected by this work.
7. Bidding contractors do **NOT** need to provide a bid for both categories – they may provide a bid for just Base Bid “A” or Alternate Bid “A-1”.
8. All attendees took a brief tour of the facility. QHA stated that they have a dump truck available for hauling if necessary. The time of contract will be clarified in an upcoming addendum.



**SITE PLAN**  
SCALE: 1" = 30'-0"  
NORTH

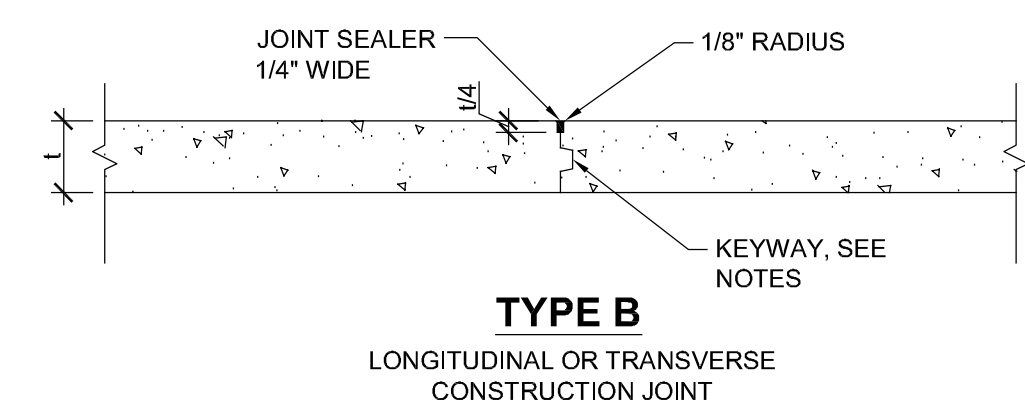
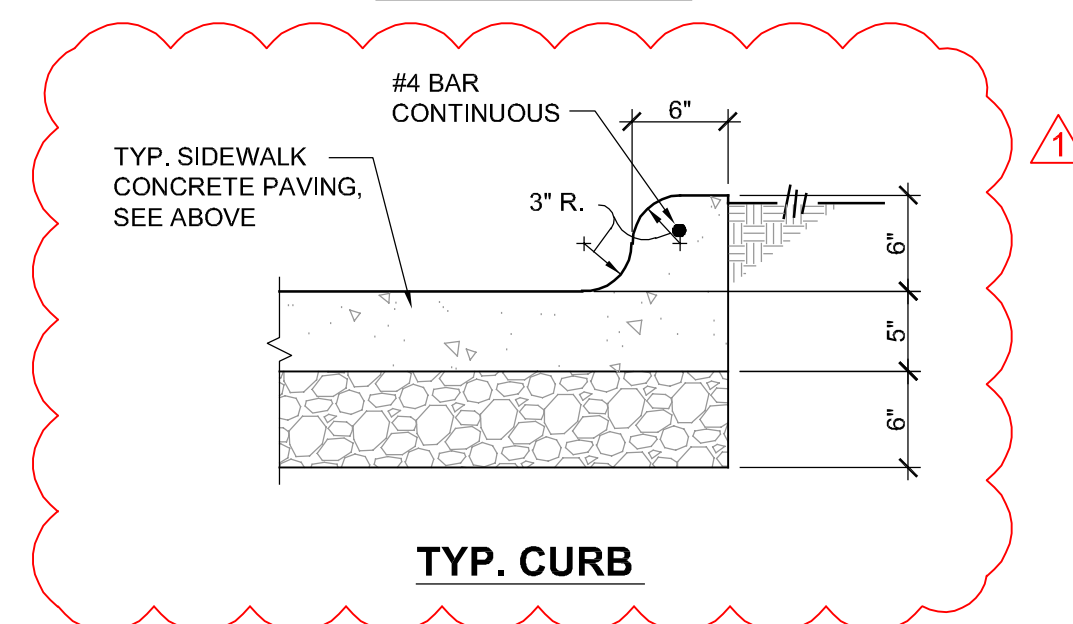
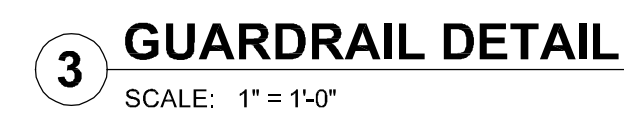


**ENLARGED SITE PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH

- SITE PLAN NOTES:**
- 1 REMOVE EXISTING RAILROAD TIES
  - 2 EXISTING UTILITY POLE TO REMAIN
  - 3 EXISTING PAVING TO REMAIN, PATCH AND REPAIR AS REQUIRED IF DAMAGED DURING DEMOLITION / CONSTRUCTION
  - 4 EXISTING CONCRETE CURB AND GUTTER TO REMAIN
  - 5 EXISTING CONCRETE DRAINAGE CHANNEL TO BE REMOVED AND REPLACED, SEE DETAIL 6/C102
  - 6 EXISTING CONCRETE ISLAND TO REMAIN
  - 7 NEW CONCRETE CURB, SEE DETAILS ON DRAWING C102
  - 8 NEW RETAINING WALL, SEE DETAILS ON DRAWING C102 FOR DIFFERENT BID CATEGORIES
  - 9 EXISTING RIPRAP TO BE REMOVED AND STOCKPILED, COORDINATE LOCATION WITH OWNER
  - 10 NEW GUARDRAIL, SEE DETAILS ON DRAWING C102
  - 11 EXISTING STAIRS AND RAILINGS TO REMAIN
  - 12 NEW CONCRETE PAVING, SEE DETAILS ON DRAWING C102







1. AT INLETS, MANHOLES AND OTHER STRUCTURES, TRANSVERSE JOINTS SHALL BE SHORTENED ONE OR MORE PANELS EITHER SIDE OF THE STRUCTURE TO PERMIT JOINTS TO FALL AT THE CORNERS OF THE BOX-OUT. ONE OR BOTH "L" DIMENSIONS OF THE BOX-OUT MAY BE ADJUSTED TO PROVIDE FOR INTERSECTION OF LONGITUDINAL JOINTS AT BOX-OUT CORNERS.
2. ALL TRANSVERSE JOINTS MUST EXTEND THROUGH CURBS AND MUST BE CONTINUOUS ACROSS PAVEMENT PLACEMENTS OF TRANSVERSE CONSTRUCTION JOINTS. EXPANSION JOINTS WILL BE REQUIRED AS SHOWN ON PLANS.
3. MAXIMUM TRANSVERSE JOINT SPACING SHALL BE 15 FEET, UNLESS OTHERWISE SPECIFIED.
4. PAVEMENT JOINTS SHALL BE SEALED WITH HOT POUR MATERIAL MEETING THE REQUIREMENTS OF SECTION 605.
5. TYPE 1 JOINTS WHICH ARE TO BE COATED SHALL RECEIVE TWO COATS OF ASPHALTIC EMULSION PRIOR TO PLACEMENT OF THE ADJACENT PAVEMENT.

