# RALLS COUNTY R-II SCHOOL DISTRICT

**21622 HIGHWAY 19, CENTER, MISSOURI 63436** 

### ISSUED FOR BIDDING 03/05/2021

ARCHITECT OF RECORD:

### ARCHITECHNICS

architects • engineers • interior designers

**CONTACT PERSON: JACQUES REYNOLDS** 

### **INDEX OF DRAWINGS**

ARCHITECTURE AD101 SENIOR HIGH DEMO PLAN AD102 CAFETERIA, LOCKERS AND MUSIC DEMO A101 SENIOR HIGH FLOOR PLAN A102 CAFETERIA, LOCKERS & MUSIC FLOOR PLANS A103 SENIOR HIGH REFLECTED CEILING PLAN A104 LOCKER ROOMS AND MUSIC RCP A201 ELEVATIONS, SECTIONS, DETAILS

ELECTRICAL SENIOR HIGH ELEC DEMO PLAN - CEILING LOCKER ROOMS & MUSIC MECH. AND ELEC. DEMO-CLNG

NOTE: MINOR MEP WORK DESIGNATED ON **ARCHITECTURAL SHEETS** 

#### **GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE
- AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE, AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY
- PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF
- HIS EMPLOYEES. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY MEASURES FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.

RESPONSIBLE FOR ITS SAFETY.

### **ALTERNATES**

1. ALTERNATE B-1: PROVIDE LVT IN LIEU OF VCT. MATERIAL ALLOWANCE FOR LVT TO BE \$3.00/SF. FINAL SELECTION PROVIDED BY INTERIOR DESIGNER IF ALTERNATE IS ACCEPTED.



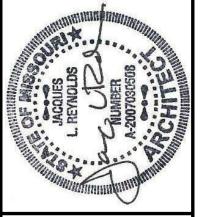
STATE OF MISSOURI

SCALE: 12" = 1'-0"



AERIAL PHOTO

RALLS COUNTY R-II 21622 HIGHWAY 19, CENTER, MISSOURI 63436



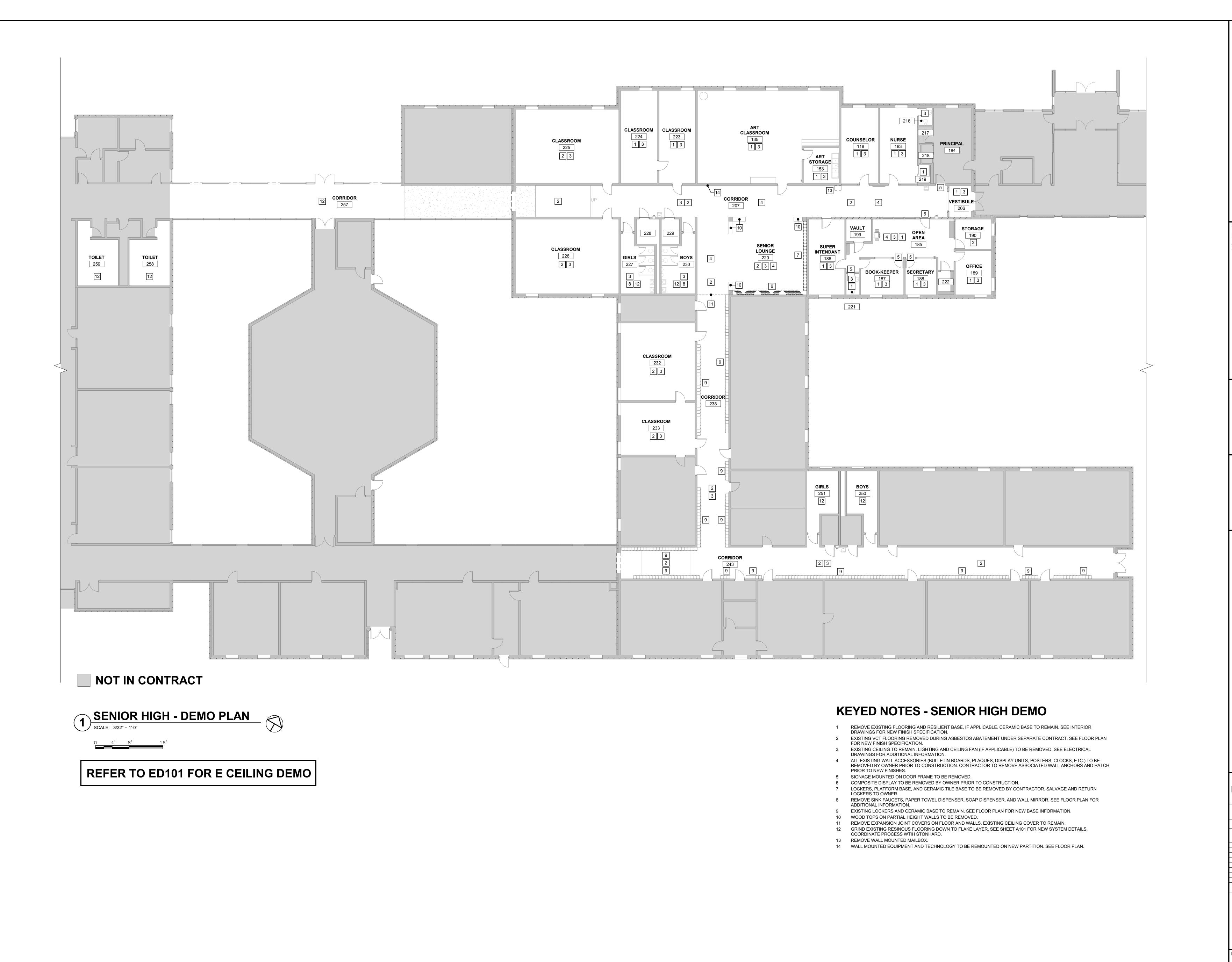
**BIDDING PHASE** 

CONSTRUCTION ISSUE DATE: 03/05/2021

TITLE

PROJECT NUMBER: 5998

**G**000



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TERIOR RENOVATIONS AT IN JUNIOR/SENIOR HIGH

BIDDING PHASE

NOT FOR CONSTRUCTION
ISSUE DATE: 03/05/2021

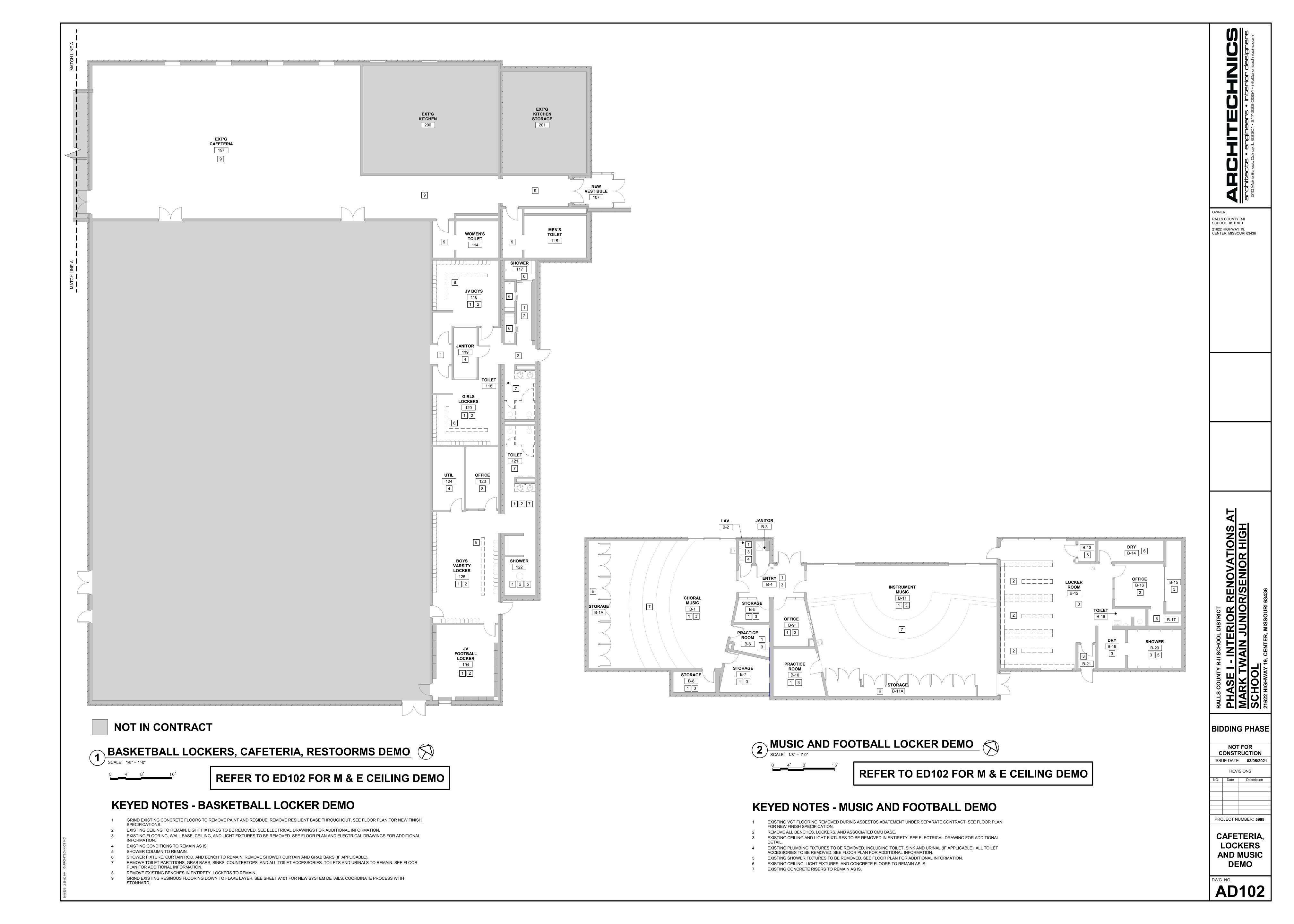
REVISIONS

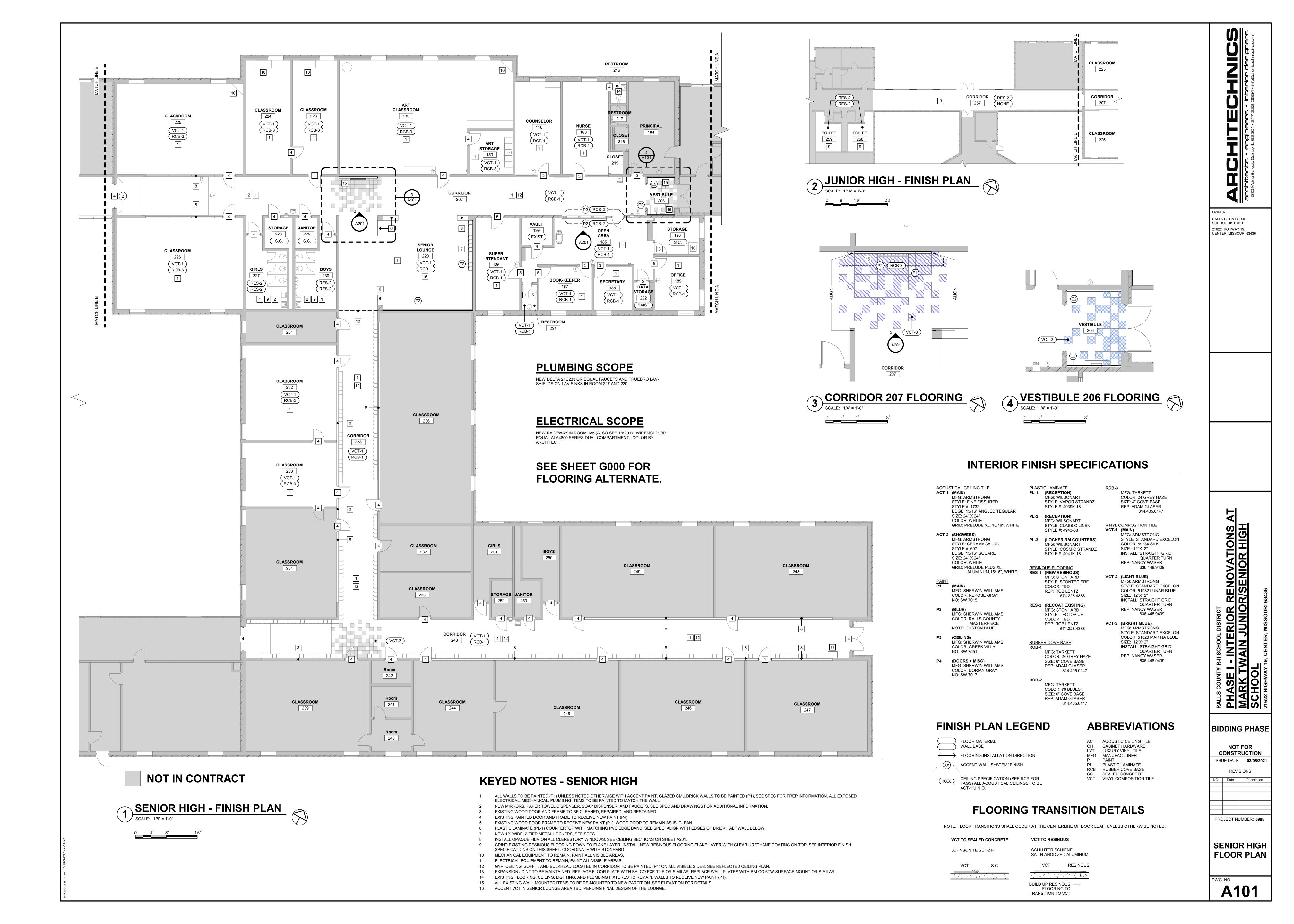
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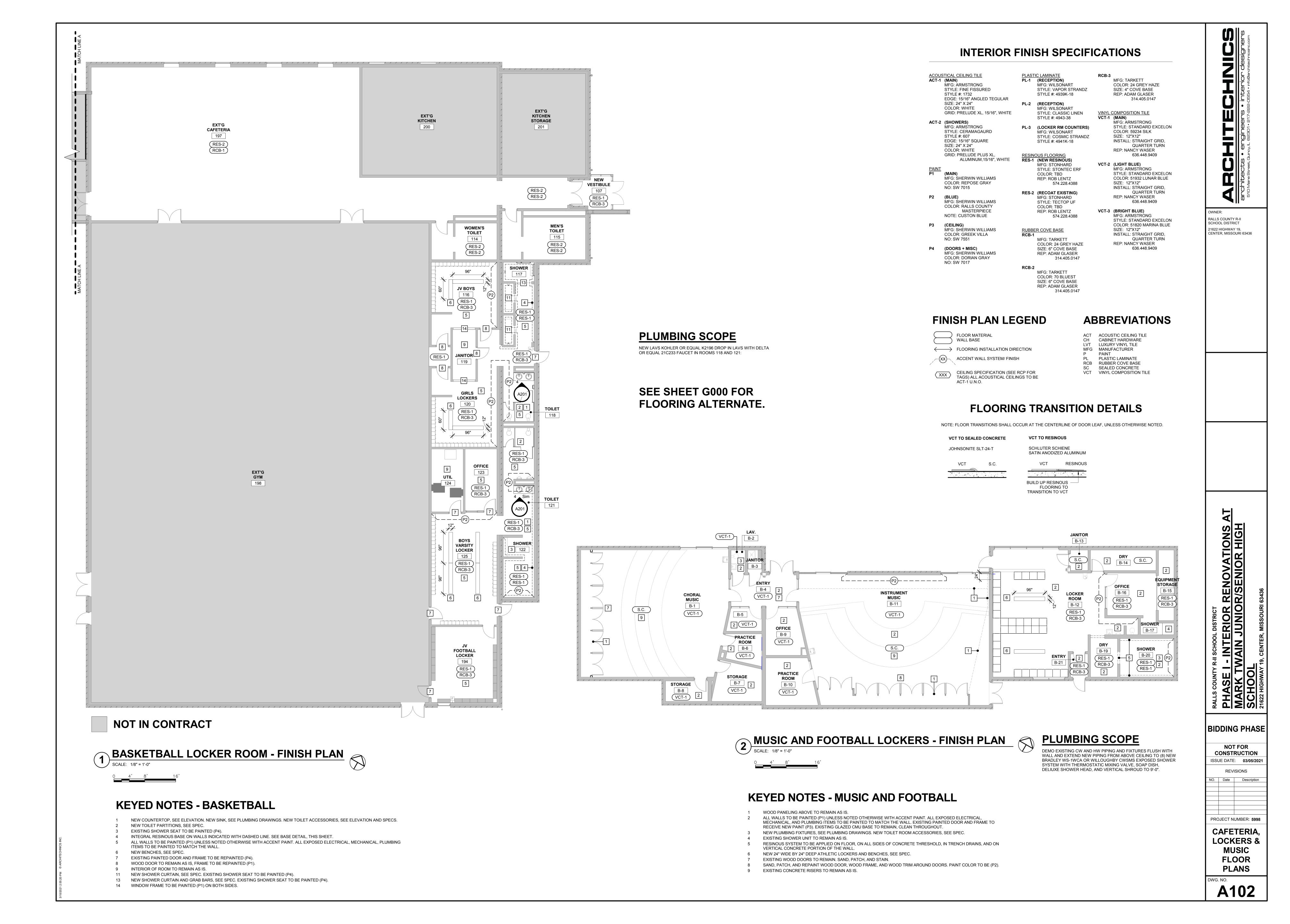
PROJECT NUMBER: 5998

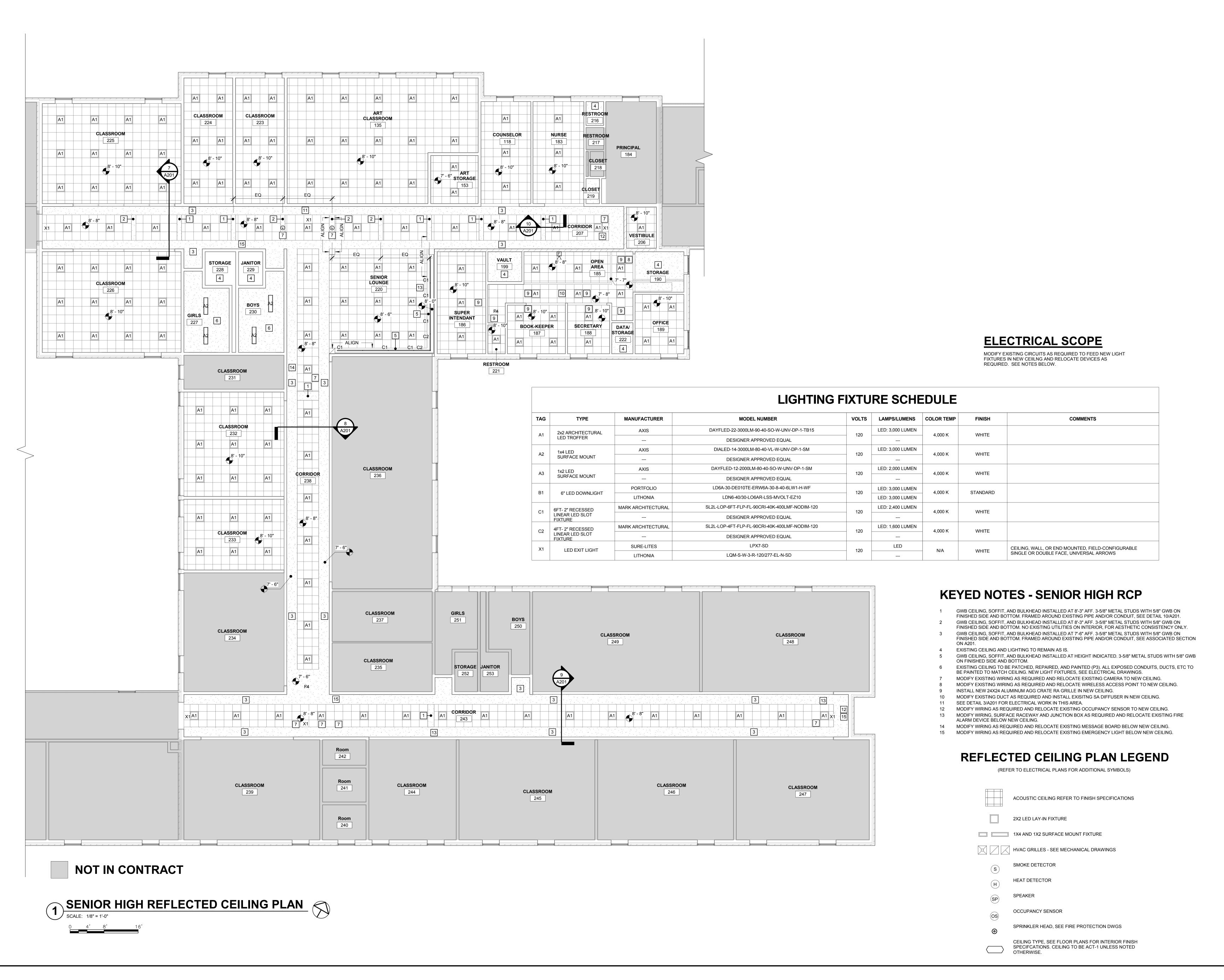
SENIOR HIGH DEMO PLAN

AD101









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PHASE I - INTERIOR RENOVATIONS AT
MARK TWAIN JUNIOR/SENIOR HIGH
SCHOOL

BIDDING PHASE

NOT FOR CONSTRUCTION
ISSUE DATE: 03/05/2021
REVISIONS

REVISIONS

Date Description

SENIOR HIGH

REFLECTED CEILING PLAN

A103

# TOILET LOCKERS 8' - 4" BOYS VARSITY LOCKER A2 SHOWER 1 FOOTBALL A2LOCKER 1 BASKETBALL LOCKER ROOM RCP SCALE: 1/8" = 1'-0"

#### **KEYED NOTES - BASKETBALL RCP**

- EXISTING CEILING TO BE PATCHED, REPAIRED, AND PAINTED (P3). ALL EXPOSED CONDUITS, DIFFUSERS, ACCESS PANELS, DUCTS, ETC TO BE PAINTED TO MATCH CEILING. NEW LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.
- 2 EXISTING CEILING AND LIGHTING TO REMAIN AS IS.

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### REFLECTED CEILING PLAN LEGEND

(REFER TO ELECTRICAL PLANS FOR ADDITIONAL SYMBOLS)

ACOUSTIC CEILING REFER TO FINISH SPECIFICATIONS 2X2 LED LAY-IN FIXTURE 1X4 AND 1X2 SURFACE MOUNT FIXTURE HVAC GRILLES - SEE MECHANICAL DRAWINGS

SPEAKER

OCCUPANCY SENSOR

SPRINKLER HEAD, SEE FIRE PROTECTION DWGS

CEILING TYPE, SEE FLOOR PLANS FOR INTERIOR FINISH SPECIFCATIONS. CEILING TO BE ACT-1 UNLESS NOTED

ARCHITECTURAL,

MECHANICAL, AND ELECTRICAL

**KEYED NOTES - MUSIC AND LOCKER RCP** 

CLEAN EXISTING SA DIFFUSER, MODIFY EXISTING DUCT AS REQUIRED AND RELOCATE TO NEW CEILING

EXISTING CEILING AND LIGHTING TO REMAIN AS IS.

MODIFY EXISTING CIRCUITS AS REQUIRED TO FEED NEW LIGHT FIXTURES IN NEW CEILING. SEE NOTES ABOVE.

**MECHANICAL SCOPE** 

### **ELECTRICAL SCOPE**

LOCKER **ROOMS AND MUSIC RCP** MODIFY EXISTING DUCT AS REQUIRED TO FEED NEW DIFFUSERS AND GRILLES IN NEW CEILING. SEE NOTES ABOVE.

A104

BIDDING PHASE

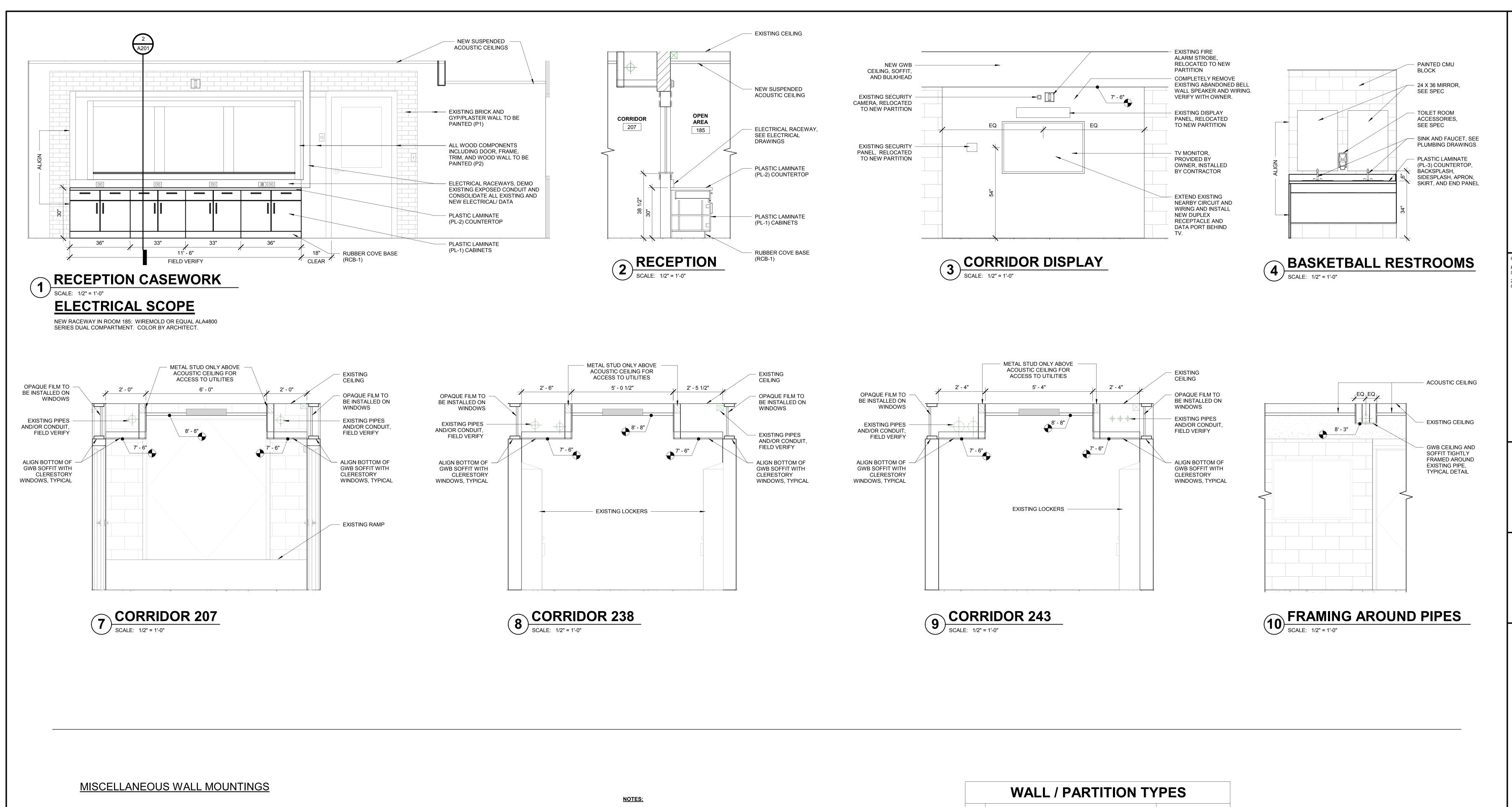
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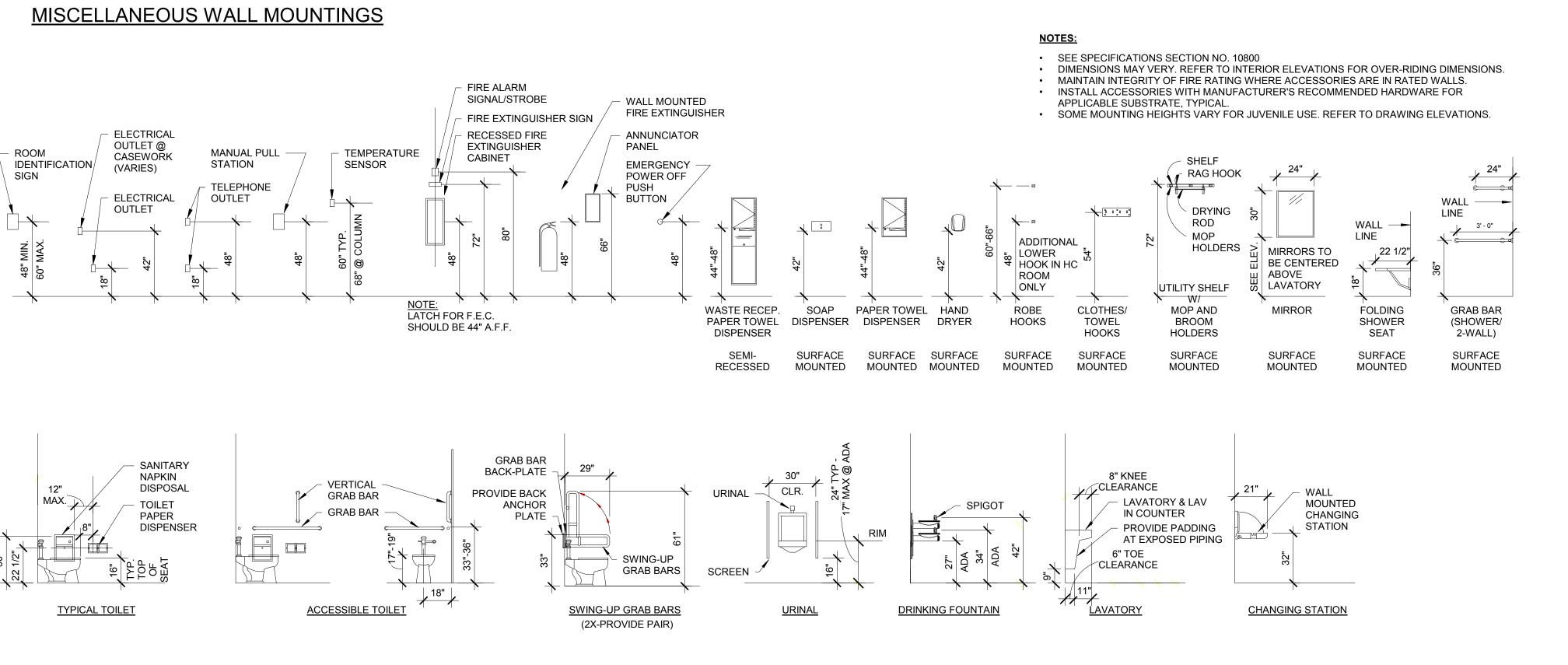
CONSTRUCTION ISSUE DATE: 03/05/2021

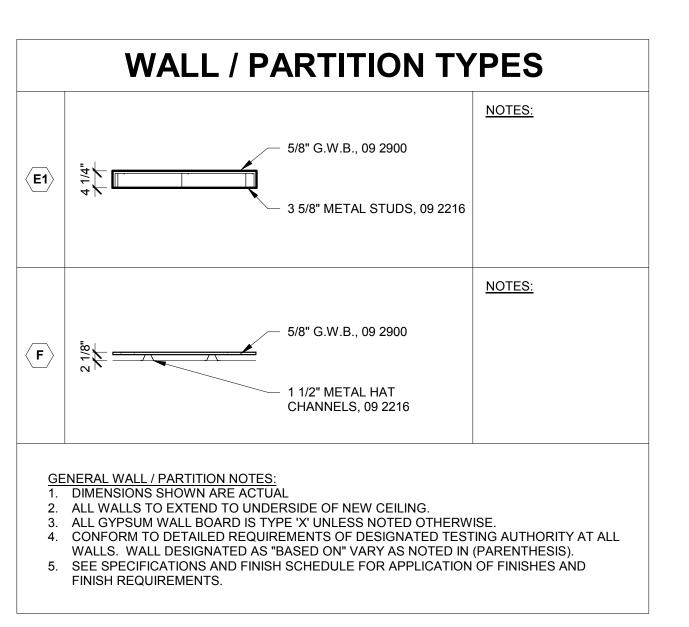
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MUSIC AND FOOTBALL LOCKERS RCP

SCALE: 1/8" = 1'-0"







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PHASE I - INTERIOR RENOVATIONS
MARK TWAIN JUNIOR/SENIOR HIGH
SCHOOL

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ISSUE DATE: 03/05/2021

REVISIONS

NO. Date Description

ELEVATIONS, SECTIONS, DETAILS

PROJECT NUMBER: 5998

A201



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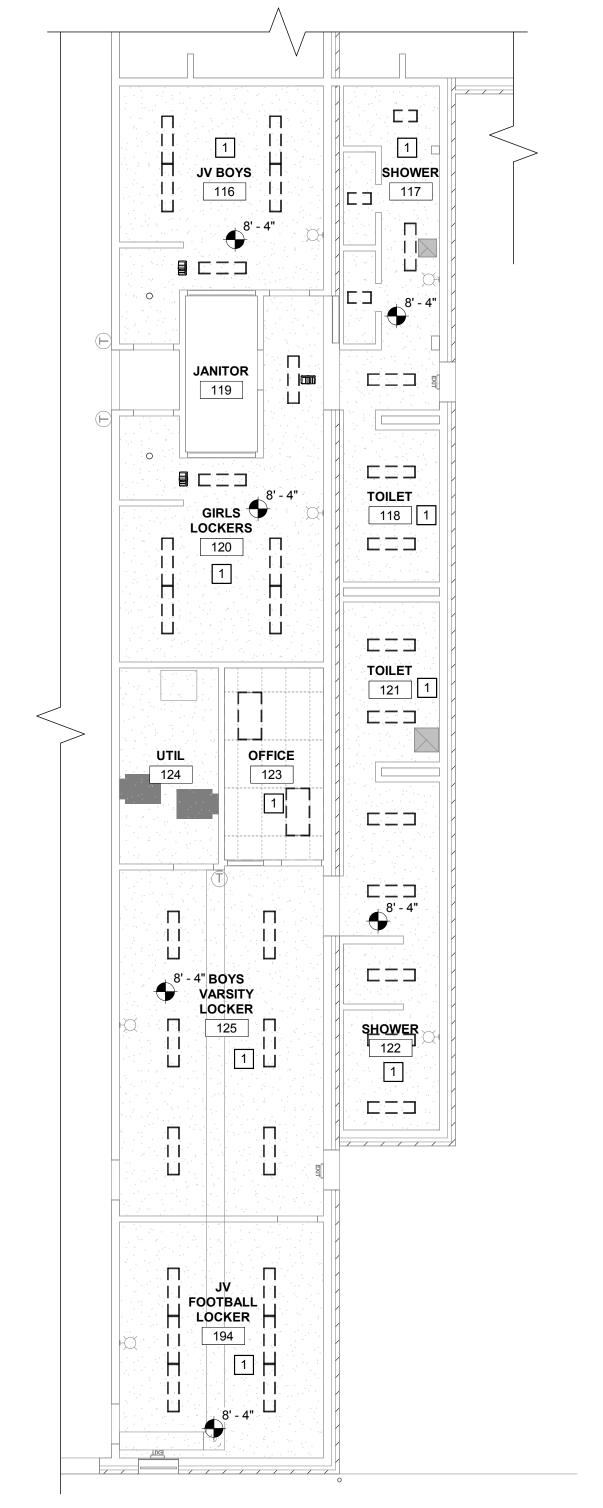
NO. Date Description

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SENIOR HIGH

ELEC DEMO
PLAN CEILING

ED101

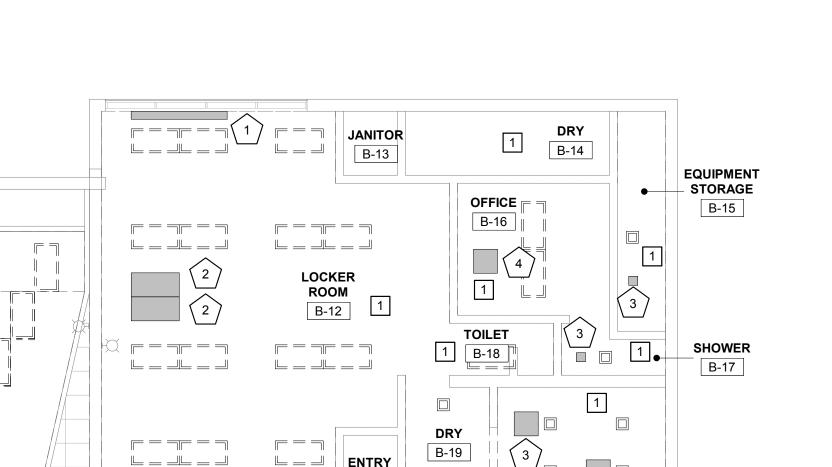


BASKETBALL LOCKER ROOM RCP

JANITOR ENTRY

PRACTICE 2
ROOM
B-6
3

CHORAL HUSIC HUSIC HUSIC



MUSIC AND FOOTBALL LOCKERS RCP

SCALE: 1/8" = 1'-0"

### **KEYED NOTES - ELECTRICAL CEILING DEMO**

- REMOVE ALL EXT'G LIGHT FIXTURES OR CEILING FANS IN THIS ROOM. MODIFY EXT'G CIRCUIT AS REQUIRED FOR NEW WORK. REMOVE UNUSED CIRCUITS.
- REMOVE EXISTING SPEAKER. MODIFY EXISTING WIRING AS REQUIRED TO SERVE NWE SPEAKER. MODIFY EXISTING WIRING AND RELOCATE EXISTING CAMERA TO NEW CEILING.
- REMOVE EXISTING EXIT LIGHT. MODIFY CIRCUIT AS REQUIRED OT SERVE NEW EXIT LIGHT. MODIFY EXISTING WIRING AS REQUIRED AND RELOCATE WIRELESS ACCESS POINT TO NEW CEILING.

### **KEYED NOTES - MECHANICAL CEILING DEMO** (\*)

- CLEAN EXISTING LINEAR DIFFUSER AND RELOCATE TO NEW CEILING REMOVE EXISTING EGG CRATE RA DIFFUSER. SEE DWG. A104 FOR NEW WORK.
- REMOVE EXISTING SA DIFFUSER OR RA GRILLE. SEE DWG. A104 FOR NEW WORK.

### REFER TO A104 FOR NEW LIGHT FIXTURES AND HVAC ITEMS.

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PHASE I - INTERIOR RENOVATIONS
MARK TWAIN JUNIOR/SENIOR HIGH
SCHOOL

**BIDDING PHASE** 

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PROJECT NUMBER: 5998 LOCKER ROOMS &

MUSIC MECH AND ELEC. **DEMO-CLNG** 

**MED102**