

ARCHITECHNICS, INC.  
510 MAINE STREET  
QUINCY, ILLINOIS 62301

PROJECT NO. : 5910A

**ADDENDUM NO.:** 1  
ISSUED: 5/1/2020

Project: PARKNG LOT EXPANSION AND ENTRANCE RECONFIGURATION  
RALLS COUNTY R-II SCHOOL DISTRICT  
21622 HIGHWAY 19  
CENTER, MO 63436

This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated April 24, 2020. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

ITEM	DESCRIPTION
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**CLARIFICATIONS**

1.0	Clarify	Contractor who is awarded the project will be provided with CAD plans from the engineer. Contractor will be required to sign a hold harmless agreement for use of CAD plans.
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**SPECIFICATIONS**

1.0	Section 00 1113 Ad for Bids	Replace	Replace with attached section. Plans available date modified.
2.0	Section 00 1113 Ad for Bids	Replace	Replace with attached section. <b>Bid date revised to 5/13/2020.</b>
3.0	Section 01 5000 Temporary Facilities and Controls	Replace	Replace with attached section. Sections 2.1 and 2.2 omitted.

**ADDITIONAL ITEMS**

**Refer to attached addendum #1 by Prarie Engineers for additioanl items.**

Attachments: Specification Sections 00 1113; Prarie Engineers Add. #1

**DOCUMENT 001113**  
**ADVERTISEMENT FOR BIDS**

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Qualified bidders may submit bids for project as described in this Document. Submit bids according to the Instructions to Bidders.
- B. Project Identification: Ralls County RII Parking Expansion.
  - 1. Project Location: Center, Missouri.
- C. Owner: Center, Missouri.
  - 1. Owner's Representative: Tara Lewis, Superintendant.
- D. Architect: Quincy, Illinois.
- E. Construction Contract: Bids will be received for the following Work:
  - 1. General Contract (all trades).

1.2 BID SUBMITTAL AND OPENING

- A. Owner will receive sealed lump sum bids until the bid time and date at the location given below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
  - 1. Bid Date: May 13, 2020.
  - 2. Bid Time: 2:00 p.m. , local time.
  - 3. Location: Architect's Office , 510 Maine Street, 10th Floor , Quincy, IL 62301 .
- B. Bids will be thereafter publicly opened and read aloud.

1.3 BID SECURITY

- A. Bid security shall be submitted with each bid in the amount of 5 percent of the bid amount. No bids may be withdrawn for a period of 60 days after opening of bids. Owner reserves the right to reject any and all bids and to waive informalities and irregularities.

1.4 PREBID MEETING

- A. A pre-bid meeting will not be held, however site visits can be accommodated upon request. Submit questions to architect/engineer no later than 7 days prior to bid opening date.

1.5 DOCUMENTS

- A. Online Procurement and Contracting Documents: Obtain access after April 24, 2020 , by contacting Architect . Online access will be provided to all registered bidders and suppliers. A fee of \$50.00 is required to download electronic documents.

1.6 TIME OF COMPLETION

- A. Successful bidder shall begin the Work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time.

1.7 BIDDER'S QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work. A Performance Bond, separate Labor and Material Payment Bond, and Insurance in a form acceptable to Owner will be required of the successful Bidder.

1.8 NOTIFICATION

- A. This Advertisement for Bids document is issued by Ralls County R-II School District .

**END OF DOCUMENT 001113**

**SECTION 015000**  
**TEMPORARY FACILITIES AND CONTROLS**

**PART 1 - GENERAL**

**1.1 SUMMARY**

- A. Section includes requirements for temporary utilities, support facilities, and security and protection facilities.
- B. Related Requirements:
  - 1. Section 01 1000 "Summary" for work restrictions and limitations on utility interruptions.

**1.2 USE CHARGES**

- A. General: Installation and removal of and use charges for temporary facilities shall be included in the Contract Sum unless otherwise indicated. Allow other entities engaged in the Project to use temporary services and facilities without cost, including, but not limited to, Architect, testing agencies, and authorities having jurisdiction.
- B. Water and Sewer Service from Existing System: Water from Owner's existing water system is available for use without metering and without payment of use charges. Provide connections and extensions of services as required for construction operations.
- C. Electric Power Service from Existing System: Electric power from Owner's existing system is available for use without metering and without payment of use charges. Provide connections and extensions of services as required for construction operations.

**1.3 INFORMATIONAL SUBMITTALS**

- A. Site Utilization Plan: Show temporary facilities, temporary utility lines and connections, staging areas, construction site entrances, vehicle circulation, and parking areas for construction personnel.
- B. Project Identification and Temporary Signs: Show fabrication and installation details, including plans, elevations, details, layouts, typesets, graphic elements, and message content.

**1.4 QUALITY ASSURANCE**

- A. Electric Service: Comply with NECA, NEMA, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.
- B. Tests and Inspections: Arrange for authorities having jurisdiction to test and inspect each temporary utility before use. Obtain required certifications and permits.

## 1.5 PROJECT CONDITIONS

- A. Temporary Use of Permanent Facilities: Engage Installer of each permanent service to assume responsibility for operation, maintenance, and protection of each permanent service during its use as a construction facility before Owner's acceptance, regardless of previously assigned responsibilities.

## PART 2 - PRODUCTS

## PART 3 - EXECUTION

### 3.1 TEMPORARY FACILITIES, GENERAL

- A. Conservation: Coordinate construction and use of temporary facilities with consideration given to conservation of energy, water, and materials. Coordinate use of temporary utilities to minimize waste.
  - 1. Salvage materials and equipment involved in performance of, but not actually incorporated into, the Work. See other Sections for disposition of salvaged materials that are designated as Owner's property.

### 3.2 INSTALLATION, GENERAL

- A. Locate facilities where they will serve Project adequately and result in minimum interference with performance of the Work. Relocate and modify facilities as required by progress of the Work.
  - 1. Locate facilities to limit site disturbance as specified in Section 011000 "Summary."
- B. Provide each facility ready for use when needed to avoid delay. Do not remove until facilities are no longer needed or are replaced by authorized use of completed permanent facilities.

### 3.3 SUPPORT FACILITIES INSTALLATION

- A. Temporary Roads and Paved Areas: Construct and maintain temporary roads and paved areas adequate for construction operations. Locate temporary roads and paved areas within construction limits indicated on Drawings.
  - 1. Provide dust-control treatment that is nonpolluting and nontracking. Reapply treatment as required to minimize dust.
- B. Temporary Use of Planned Permanent Roads and Paved Areas: Locate temporary roads and paved areas in same location as permanent roads and paved areas. Construct and maintain temporary roads and paved areas adequate for construction operations. Extend temporary roads and paved areas, within construction limits indicated, as necessary for construction operations.

1. Coordinate elevations of temporary roads and paved areas with permanent roads and paved areas.
  2. Prepare subgrade and install subbase and base for temporary roads and paved areas according to Section 312000 "Earth Moving."
  3. Recondition base after temporary use, including removing contaminated material, regrading, proofrolling, compacting, and testing.
  4. Delay installation of final course of permanent hot-mix asphalt pavement until immediately before Substantial Completion. Repair hot-mix asphalt base-course pavement before installation of final course according to Section 321216 "Asphalt Paving."
- C. Traffic Controls: Comply with requirements of authorities having jurisdiction.
1. Protect existing site improvements to remain including curbs, pavement, and utilities.
- D. Parking: Provide temporary parking areas for construction personnel.
- E. Project Signs: Provide Project signs as indicated. Unauthorized signs are not permitted.
1. Identification Signs: Provide Project identification signs as indicated on Drawings.
  2. Temporary Signs: Provide other signs as indicated and as required to inform public and individuals seeking entrance to Project.
    - a. Provide temporary, directional signs for construction personnel and visitors.
  3. Maintain and touch up signs so they are legible at all times.

### 3.4 SECURITY AND PROTECTION FACILITIES INSTALLATION

- A. Protection of Existing Facilities: Protect existing vegetation, equipment, structures, utilities, and other improvements at Project site and on adjacent properties, except those indicated to be removed or altered. Repair damage to existing facilities.
1. Where access to adjacent properties is required in order to affect protection of existing facilities, obtain written permission from adjacent property owner to access property for that purpose.
- B. Temporary Erosion and Sedimentation Control: Provide measures to prevent soil erosion and discharge of soil-bearing water runoff and airborne dust to undisturbed areas and to adjacent properties and walkways, according to erosion- and sedimentation-control Drawings .
1. Verify that flows of water redirected from construction areas or generated by construction activity do not enter or cross tree- or plant-protection zones.
  2. Inspect, repair, and maintain erosion- and sedimentation-control measures during construction until permanent vegetation has been established.
  3. Clean, repair, and restore adjoining properties and roads affected by erosion and sedimentation from Project site during the course of Project.
  4. Remove erosion and sedimentation controls and restore and stabilize areas disturbed during removal.

- C. Stormwater Control: Comply with requirements of authorities having jurisdiction. Provide barriers in and around excavations and subgrade construction to prevent flooding by runoff of stormwater from heavy rains.
- D. Site Enclosure Fence: Before construction operations begin , furnish and install site enclosure fence in a manner that will prevent people from easily entering site except by entrance gates.
  - 1. Extent of Fence: As required to enclose entire Project site or portion determined sufficient to accommodate construction operations .

### 3.5 OPERATION, TERMINATION, AND REMOVAL

- A. Supervision: Enforce strict discipline in use of temporary facilities. To minimize waste and abuse, limit availability of temporary facilities to essential and intended uses.
- B. Maintenance: Maintain facilities in good operating condition until removal.
  - 1. Maintain operation of temporary enclosures, heating, cooling, humidity control, ventilation, and similar facilities on a 24-hour basis where required to achieve indicated results and to avoid possibility of damage.
- C. Temporary Facility Changeover: Do not change over from using temporary security and protection facilities to permanent facilities until Substantial Completion.
- D. Termination and Removal: Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete or, if necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.
  - 1. Materials and facilities that constitute temporary facilities are property of Contractor. Owner reserves right to take possession of Project identification signs.
  - 2. Remove temporary roads and paved areas not intended for or acceptable for integration into permanent construction. Where area is intended for landscape development, remove soil and aggregate fill that do not comply with requirements for fill or subsoil. Remove materials contaminated with road oil, asphalt and other petrochemical compounds, and other substances that might impair growth of plant materials or lawns. Repair or replace street paving, curbs, and sidewalks at temporary entrances, as required by authorities having jurisdiction.
  - 3. At Substantial Completion, repair, renovate, and clean permanent facilities used during construction period. Comply with final cleaning requirements specified in Section 01 7700 "Closeout Procedures."

### **END OF SECTION 015000**

**ADDENDUM NO. 1  
RALLS COUNTY R-II SCHOOL DISTRICT  
PARKING LOT EXPANSION  
21622 HIGHWAY 19  
CENTER, MISSOURI 63436  
APRIL 30th, 2020**

The following shall be considered a part of the Contract Documents for the subject project and shall apply to all construction thereunder.

**SPECIFICATIONS:**

1. General - A full-time superintendent shall be provided during periods of construction on State ROW. A part-time superintendent is acceptable for construction activities of State ROW given the superintendent is readily available to provide guidance/communication with owner and has adequate knowledge of daily tasks and progress.
2. General - A full-time superintendent shall be provided during periods of construction on State ROW. A part-time superintendent is acceptable for construction activities of State ROW given the superintendent is readily available to provide guidance/communication with owner, and has adequate knowledge of daily tasks and progress.
3. General – Temporary fencing shall be provided around all exposed excavations. No other areas will be required to be fenced.
4. General – All employees shall be background checked prior to working on site.
5. General – If school is not in session existing parking areas may be used for contractor parking. Contractor shall coordinate with owner for designated staging area.
6. 329200 Turf and Grasses - Temporary barriers for turf areas should be placed in areas where traffic (both vehicular & pedestrian) needs to be prohibited to allow proper establishment of turf. Example areas adjacent to sidewalks should have a temporary barrier with signage to deter entrance to unestablished areas.
7. 329200 Turf and Grasses – Turf Maintenance shall be the responsibility of the contractor until the school district accepts responsibility or 60 days as stated in specification
- 8.

**PLANS:**

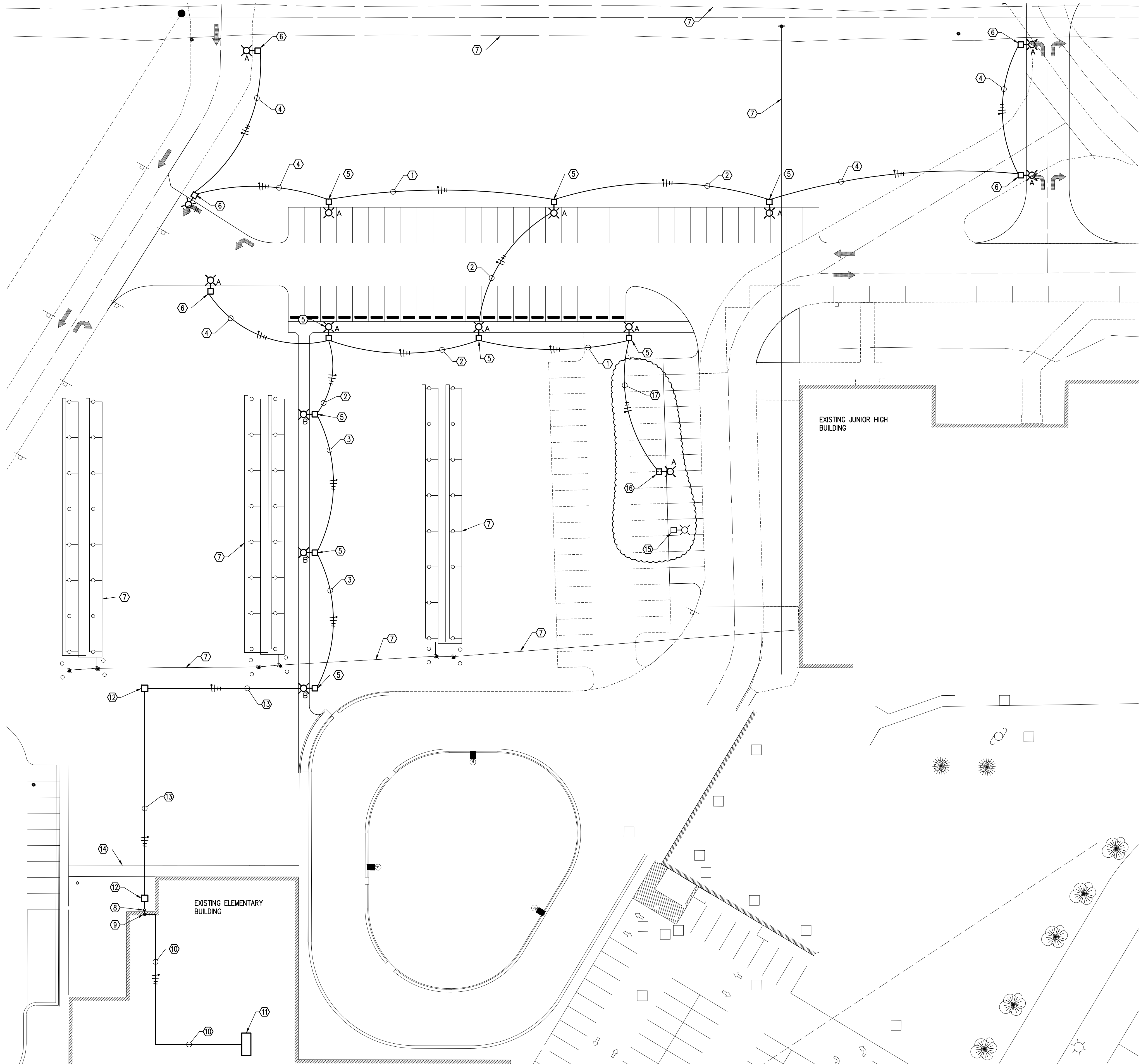
1. Sheet C100 - Removals associated with the Junior High or East Entrance shall be considered part of the Alternate Bid #1.
2. Sheet C101 - Centerline joint of all drive lanes including the Junior Entrance and Drive lane of parking lot shall be doweled with  $\frac{3}{4}$ " dowels as detailed.
3. Sheet 503 – Detail 1 shows an "optional" barrier curb. No curb will be installed.



4. Replace sheet E201 with the attached revised sheet E201: By Alternate Bid #2, Existing light fixture, pole, and conductors to be removed. Existing conductors to be removed back to nearest junction box. Modify existing circuit, as required, to maintain power to all devices to remain. Contractor shall provide a new light fixture and pole, as scheduled, securely mounted to concrete base. Contractor shall provide (3) #6 and #8 ground in 1-1/2" Dia Schedule 40 PVC.

END OF ADDENDUM NO. 1

APR 30, 2020, 7:42 AM, MULLER  
C:\USERS\MULLER\DESKTOP\PROJECTS\280.2001 RALLS COUNTY SCHOOL PARKING LOT SHEET\ADDENDUM #1 E201 LIGHTING SITE PLAN.DWG

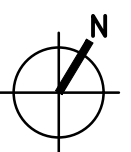


**KEYED NOTES:** ⑩

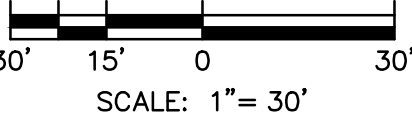
- ① BY BASE BID, PROVIDE (3) #6 AND #8 GROUND IN 1-1/2" SCH 40 PVC CONDUIT.
- ② BY BASE BID, PROVIDE (3) #4 AND #6 GROUND IN 1-1/2" SCH 40 PVC CONDUIT.
- ③ BY BASE BID, PROVIDE (3) #2 AND #4 GROUND IN 2" SCH 40 PVC CONDUIT.
- ④ BY ALTERNATE BID #1, PROVIDE (3) #6 AND #8 GROUND IN 1-1/2" SCH 40 PVC CONDUIT.
- ⑤ BY BASE BID, PROVIDE LIGHT FIXTURE AND POLE, AS SCHEDULED, SECURELY MOUNTED TO CONCRETE BASE. REFER TO DETAIL 1/E301 FOR ADDITIONAL INFORMATION.
- ⑥ BY ALTERNATE BID #1, PROVIDE LIGHT FIXTURE AND POLE, AS SCHEDULED, SECURELY MOUNTED TO CONCRETE BASE. REFER TO DETAIL 1/E301 FOR ADDITIONAL INFORMATION.
- ⑦ APPROXIMATE LOCATION OF EXISTING BELOW GRADE UTILITY. TAKE CARE NOT TO DAMAGE.
- ⑧ ROUTE CONDUCTORS/CONDUIT THROUGH WALL, AS CLOSE TO STAGE FLOOR AS POSSIBLE, AND DOWN EXTERIOR OF BUILDING TO BELOW GRADE AND OUT TO PULL BOX. ATTACH CONDUIT SECURELY TO BUILDING AT 36" INTERVALS. CORE DRILL WALL FOR CONDUIT PENETRATION AND SEAL ANNUAL SPACE WITH NON-SHRINK GROUT TO MAKE WATER AND WEATHER TIGHT. PAINT CONDUIT AND FASTENERS TO MATCH BUILDING COLOR.
- ⑨ ROUTE (3) #1 AND #2 GROUND IN 2" SCH 40 PVC CONDUIT UP INTERIOR OF STAGE ALL AND INTO OPEN CEILING SPACE ABOVE STAGE. PROVIDE PULL BOXES AS REQUIRED. SECURE CONDUIT TO STAGE WALL AT 36" INTERVALS. COORDINATE LOCATION OF CONDUIT TO AVOID CONFLICT WITH EXISTING COMPONENTS ALONG WALL AND IN CEILING.
- ⑩ ROUTE (3) #1 AND #2 GROUND IN 2" SCH 40 PVC CONDUIT FROM STAGE INTO GYM AND ALONG GYM WALL IN OPEN CEILING SPACE ABOVE GYM AND TO MECHANICAL ROOM 177. PROVIDE PULL BOXES AS REQUIRED. SECURE CONDUIT TO GYM WALL AT 36" INTERVALS. COORDINATE LOCATION OF CONDUIT TO AVOID CONFLICT WITH EXISTING COMPONENTS.
- ⑪ EXISTING POWER PANEL 'G' IN ROOM 177 OF ELEMENTARY BUILDING TO REMAIN. PROVIDE 208V, 20A, 2-POLE BREAKER IN FIRST AVAILABLE SPACES IN PANEL. CONNECT NEW SITE LIGHTING CONDUCTORS TO CIRCUIT BREAKER.
- ⑫ PROVIDE UNDERGROUND PULL BOX. REFER TO DETAIL 3/E-301.
- ⑬ BY BASE BID, PROVIDE (3) #1 AND #2 GROUND IN 2" SCH 40 PVC CONDUIT.
- ⑭ EXISTING SIDEWALK TO REMAIN. TAKE CARE NOT TO DAMAGE.
- ⑮ BY ALTERNATE BID #2, EXISTING LIGHT FIXTURE, POLE, CONDUIT, AND CONDUCTORS TO BE REMOVED. EXISTING CONDUCTORS TO BE REMOVED BACK TO NEAREST JUNCTION BOX. MODIFY EXISTING CIRCUIT, AS REQUIRED, TO MAINTAIN POWER TO ALL DEVICES TO REMAIN.
- ⑯ BY ALTERNATE BID #2, PROVIDE LIGHT FIXTURE AND POLE, AS SCHEDULED, SECURELY MOUNTED TO CONCRETE BASE. REFER TO DETAIL 1/E301 FOR ADDITIONAL INFORMATION.
- ⑰ BY ALTERNATE BID #2, PROVIDE (3) #6 AND #8 GROUND IN 1-1/2" SCH 40 PVC CONDUIT.

**GENERAL NOTES:**

1. ALTHOUGH SOME UTILITIES ARE SHOWN, LOCATION MAY NOT BE EXACT AND NOT ALL MAY BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL UTILITY COMPANIES SEVEN (7) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. SOME, BUT NOT ALL, OF THE UTILITIES ENCOUNTERED ON THIS PROJECT CAN BE CONTACTED PRIOR TO CONSTRUCTION BY CALLING THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (MISSOURI ONE CALL SYSTEM, (MOCS)), PHONE 800-344-7483. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MOCS BEFORE BEGINNING CONSTRUCTION AND ANYTIME UTILITY MARKINGS NEED TO BE RE-ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES (CABLE, WATER, GAS, SEWER, ETC.).



1 LIGHTING SITE PLAN  
E201 SCALE: 1"=30'



**Prairie Engineers, P.C.**  
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DRAWING DATE	04/24/2020
SURVEYED BY	
DRAWN BY	MJF
CHECKED BY	

REVISION 1	ADDENDUM #1
BY & DATE	MJF 04/30/2020
REVISION 2	
BY & DATE	

LIGHTING SITE PLAN  
RALLS COUNTY R-II SCHOOL DISTRICT  
21622 HIGHWAY 19  
CENTER, MISSOURI 63436

PEI PROJECT NO.	280.2001
PROJECT NAME	RALLS COUNTY R-II PARKING EXPANSION
FILENAME	E201 LIGHTING SITE PLAN.dwg
DRAWING SCALE	1"=30'-0"

E201

13 of 14 sheets