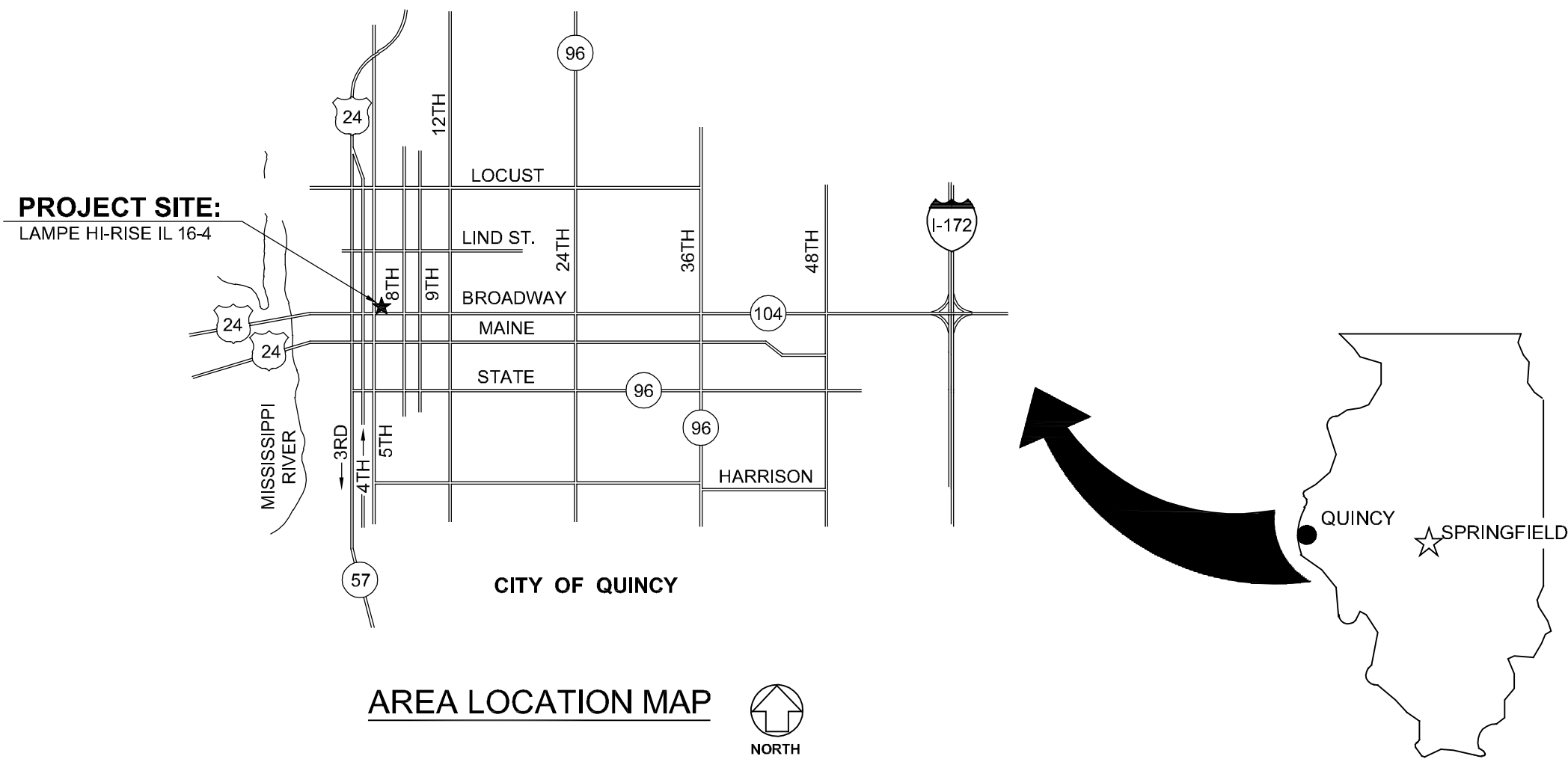


ELEVATOR MODERNIZATION AT: LAMPE HI-RISE (IL 16-4)

QUINCY HOUSING AUTHORITY

540 HARRISON STREET
QUINCY, ADAMS COUNTY, ILLINOIS

JERRY GILLE
EXECUTIVE DIRECTOR



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. ANY DISCREPANCIES BETWEEN STATED AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. DISCREPANCIES OR CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE MADE KNOWN TO THE ARCHITECT FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THOSE AREAS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS, AS PER THE WRITTEN SPECIFICATIONS, TO MAINTAIN SAFETY AT THE CONSTRUCTION SITE. AND HE IS SOLELY RESPONSIBLE FOR SAFETY MEASURES. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REGARDING EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES AND RECEIVE LOCAL AND STATE APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE BUILDING LAWS, ORDINANCES, OR REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTOR, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
10. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
12. SITE LAYOUT IS TO BE AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECT.
13. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE SET OF PRINTS MARKED WITH ANY CHANGES FROM ORIGINAL CONTRACT DOCUMENTS.
14. ALL EXISTING CIRCUIT CONDUCTORS AND RACEWAYS IN BUILDING UNITS TO REMAIN UNLESS NOTED OTHERWISE.

A.D.A. COMPLIANCE

THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.)

AMERICANS WITH DISABILITIES ACT (A.D.A.)

ARCHITECTS, TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTS CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A., WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

INDEX OF DRAWINGS

G001	COVER SHEET
A101	FLOOR PLANS
A102	MACHINE ROOM FLOOR PLAN

ABBREVIATIONS

ABV A.F.F. ADDN. A.C. A.H.U. ALT ALUM A.D.A.	ABOVE ABOVE FINISHED FLOOR ADDITION AIR CONDITIONING AIR HANDLING UNIT ALTERNATE ALUMINUM AMERICANS WITH DISABILITIES ACT	ANCS. AUTO. BM. BRG. BITUM. BLKG. BLDG BD. BTM. B.P. BLDG. BUR CA. CARPET C.I. CAT CLG. C.T. C.W.B. C.B. CLOS. C.O. CO. COMP. CONC C.M.U.	ANCHORS AUTOMATIC BEAM BEARING BITUMINOUS BLOCKING BUILDING BOARD BOTTOM BRICK PAVERS BUILDING BUILT-UP ROOF CARPET CAST IRON CEILING CERAMIC TILE CERAMIC WALL BASE CHALK BOARD CLOSET CLEAN OUT COMPANY COMPOSITION CONCRETE CONCRETE MASONRY UNIT	COND. CONN. CONST. C.J. CONT. CONTR. CORD CORRIDOR COUNTER C.R. C.F.M. MINUTE DEMO DET DIA DIM. DISP. DIV. DR. DBL. D.S.	CONDENSATION CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUOUS CONTRACTOR CORRUGATED CORRIDOR COUNTER CRUSHED ROCK CUBIC FEET PER MINUTE DEMOLITION DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOWNSPOUT	DWG D.F. EA. E.W. E.M.R. ELEC. E.P. EL ELEV. EXH. E.F. EXIST E.J. EXT E.I.F.S. F.W.C. F.V. F.E.C. FIX. PT. FL. F.D. FLOUR. FTG. FND. G.P.M. GALV GA. G.W.T. G.B. G.F.B. GYP. BD. H.D. HC HR. HDWE. H.V.A.C. HT. H.C. H.M. HORIZ. INC. INSUL. INSUL.G. JAN. J.T. J.F. JST. J.B. LAM. LAV. L.H. L.G.	DRAWING DRINKING FOUNTAIN EACH EACH WAY ELASTOMERIC MEMBRANE ROOFING ELECTRIC ELEVATION ELEVATOR EXHAUST EXHAUST FAN EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSULATION FINISH SYSTEM FABRIC WALL COVERING FIELD VERIFY FINISH FIRE EXTINGUISHER CABINET FIXTURE PAINT FLOOR FLOOR DRAIN FLUORESCENT FOOTING FOUNDATION GALLONS PER MINUTE GALVANIZED PLYWOOD GLAZED WALL TILE GRAB BAR GROUND FACE BRICK GYPSUM WALLBOARD HAIR/HAND DRYER HANDICAPPED HANDRAIL HARDWARE HEATING, VENTILATING, & AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL INCORPORATED INSULATION INSULATED GLASS JANITOR JOINT JOINT FILLER JOIST JUNCTION BOX LAMINATE LAVATORY LEFT HAND LONG	M.A.U. M.H. MFGR. M.T. MK. M.O. MATL. MECH. MET. MIN. MISC. M.R. MTD. N.D. NAPKIN DISPENSER NOT IN CONTRACT NOM. NO. OFC. O.C. OPG. OPP. HND. OH. OVERHEAD PAINT PAIR PARTN. PERF. PRESSURE DROP PLAS. P.S. P.V. PLYWD. P.V.C. P.S.F. PREFIN. PROJ. MAN. QTY. Q.T. RADIUS RAD. RECEP. REF. R.A. R.H. R. R.D. R.B. R.C.B. REQD. R.O.W. RM. R.I. R.O. R.S.T. R.T. SAN. SCHED.	MAKEUP AIR UNIT MANHOLE MANUFACTURER MARBLE TILE MARK MASONRY OPENING MATERIAL MECHANICAL METAL MINIMUM MISCELLANEOUS MOISTURE RESISTANT MOUNTED NAPKIN DISPENSER NOT IN CONTRACT NOMINAL NUMBER OFFICE ON CENTER OPENING OPPOSITE HAND OVERHEAD PAINT PAIR PARTITION PERFORATED PRESSURE DROP PLASTIC PLUMBING STACK PLUMBING VENT PLYWOOD POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT PREFINISHED PROJECT MANUAL QUANTITY QUARRY TILE RADIUS RECEPTACLE REFERENCE RETURN AIR RIGHT HAND RISERS ROOF DRAIN RUBBER BASE RUBBER COVE BASE REQUIRED RIGHT OF WAY ROOM ROUGH IN ROUGH OPENING RUBBER STAIR TREAD RUBBER TILE SANITARY (SEWER) SCHEDULE	SECT. SHT. SIM. S.C. SPEC. S.A.V. S.S. STD. STL. STOR. S.T.S. S.G.T. S.A.P. T. & S. T.B. T.D.D. T.G. T.R.G. TZ. T.T. THK. THRESHOLD T.P. T. & G. T. & B. TRANS. TREADS TYP. U.L. U.N.O. U.P. V.P. VERT. VEST. V.C.T. V.W.C. V.C.P. W.C. W.W.F. W. WDW. W.G. W. W/O WD. T. U.L.	SECTION SHEET SIMILAR SOLID CORE SPECIFICATION STAIN AND VARNISH STAINLESS STEEL STANDARD STEEL STORAGE STORM SEWER STRUCTURAL GLAZED TILE SUSPENDED ACOUSTICAL PANELS TACK BOARD TAPE AND SAND TELECOMMUNICATIONS DEVICE FOR DEAF TEMPERED GLASS TEMPERED REFLECTIVE GLASS TERRAZZO TERRAZZO TILE THICK/THICKNESS THRESHOLD TOILET PAPER TONGUE AND GROOVE T. & B. TOP AND BOTTOM TRANSITION TREADS TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE UTILITY POLE VAPOR BARRIER VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL WALL COVERING VITRIFIED CLAY PIPE WATER CLOSET WELDED WIRE FABRIC WIDTH WINDOW WIRE GLASS WITH WITH OUT WOOD TREADS TYPICAL UNDERWRITERS
---	--	--	---	--	---	--	---	--	---	--	---

CURRENT DATE: 4/5/2019



LICENSE EXPIRES: 11/30/20

ELEVATOR MODERNIZATION AT: LAMPE HI-RISE (IL 16-4)
QUINCY HOUSING AUTHORITY
540 HARRISON STREET, QUINCY, ILLINOIS 62301
JERRY GILLE, EXECUTIVE DIRECTOR

**CONSTRUCTION
DOCUMENT
PHASE**

**ISSUED FOR
CONSTRUCTION**

ISSUE DATE: 4/5/2019

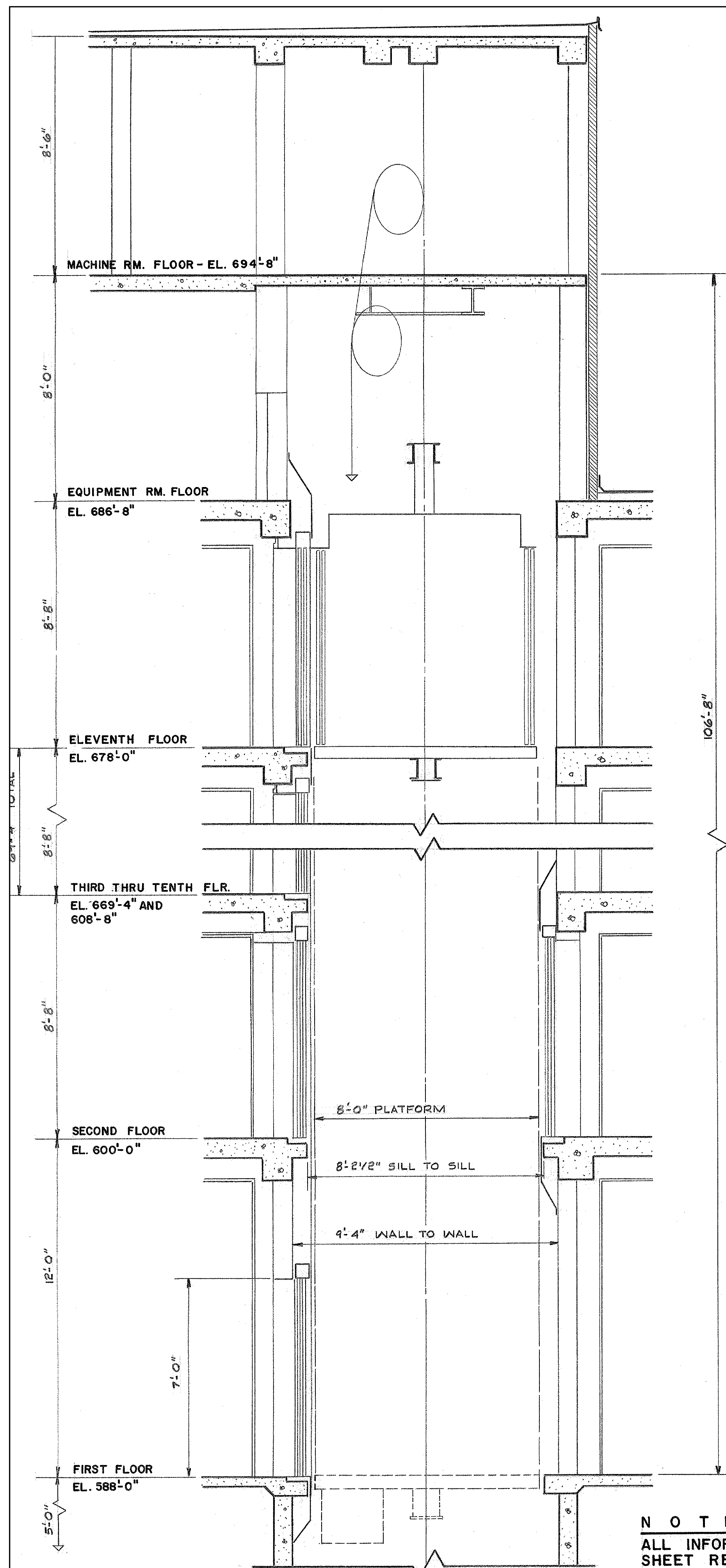
REVISIONS

PROJECT NUMBER: 5811

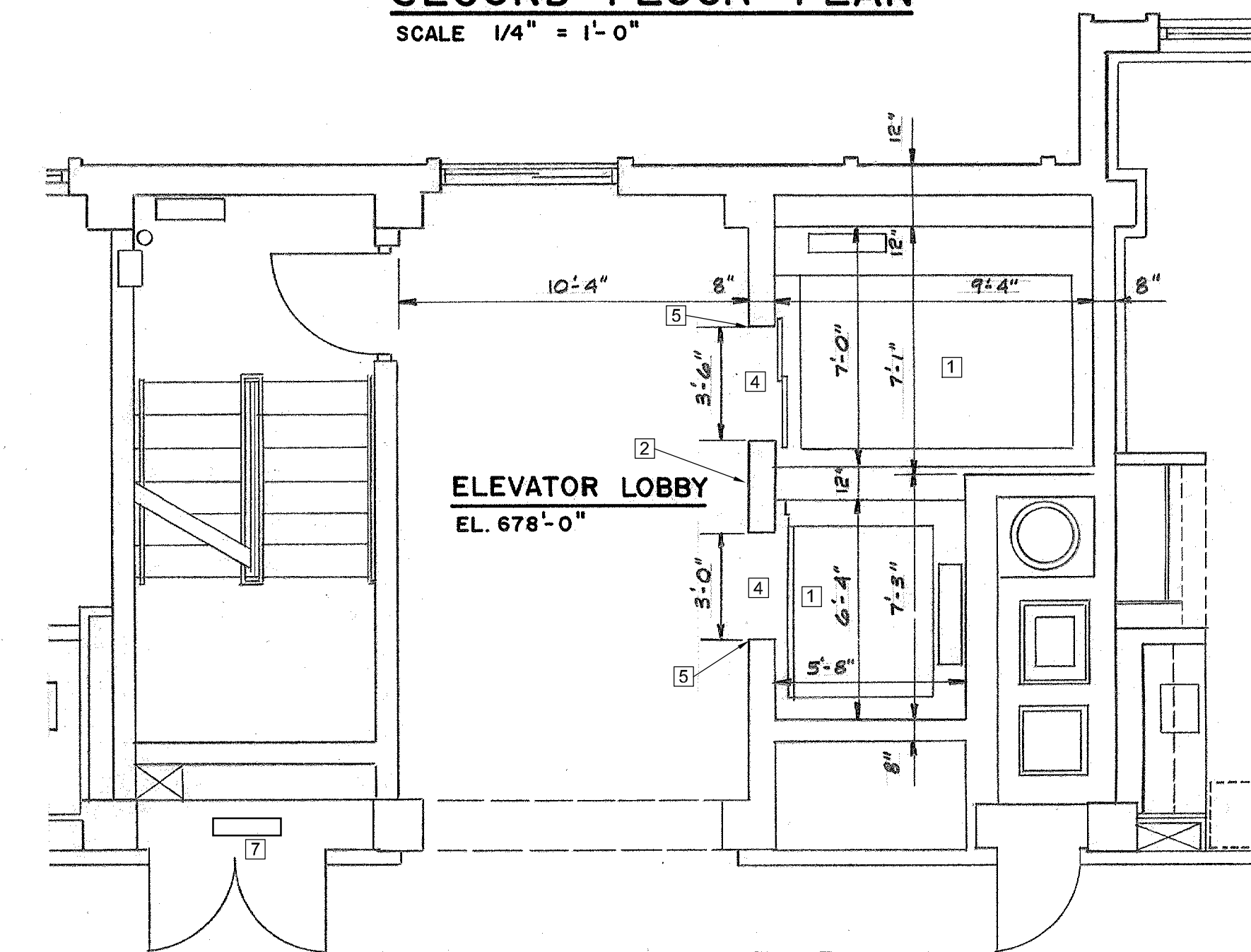
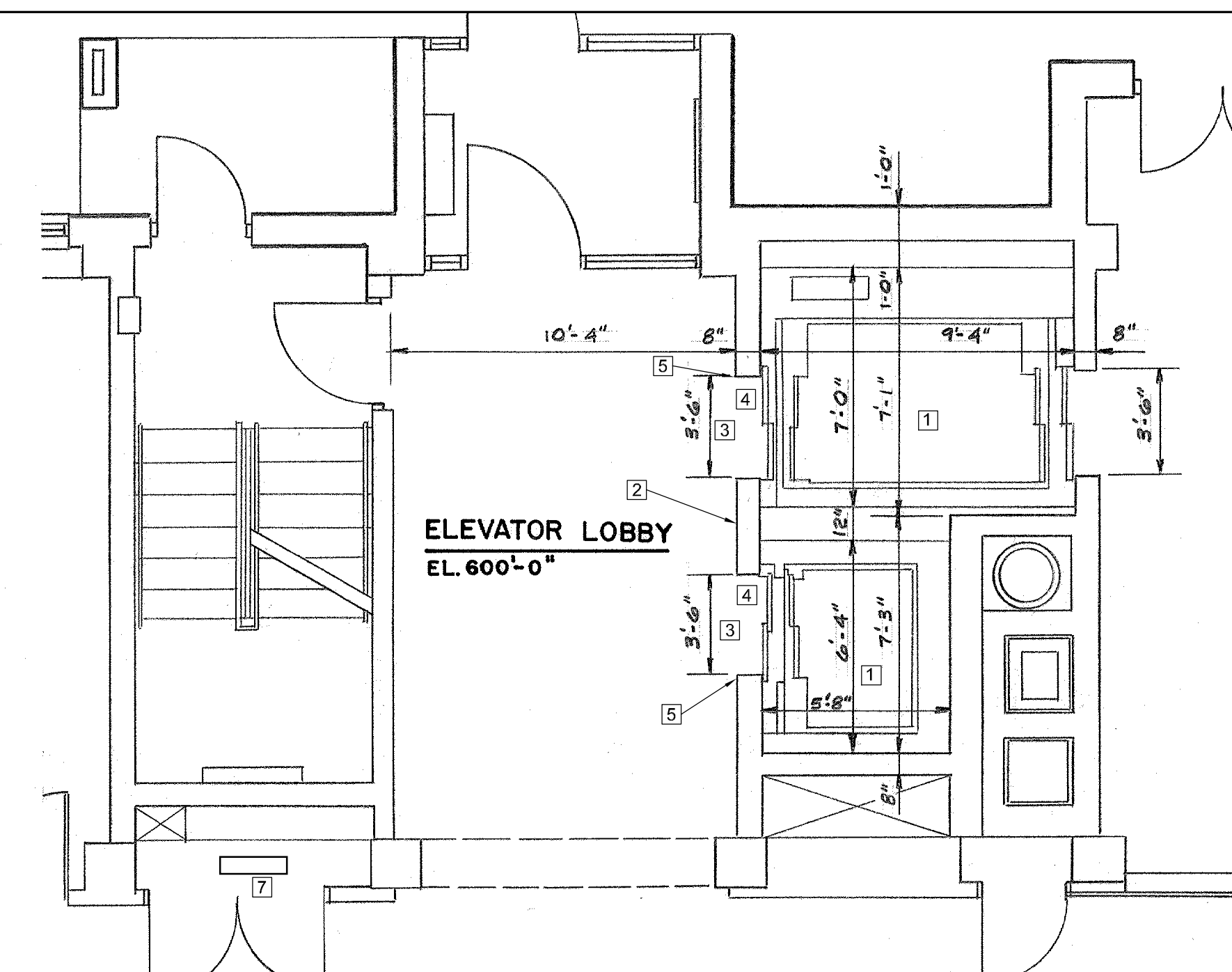
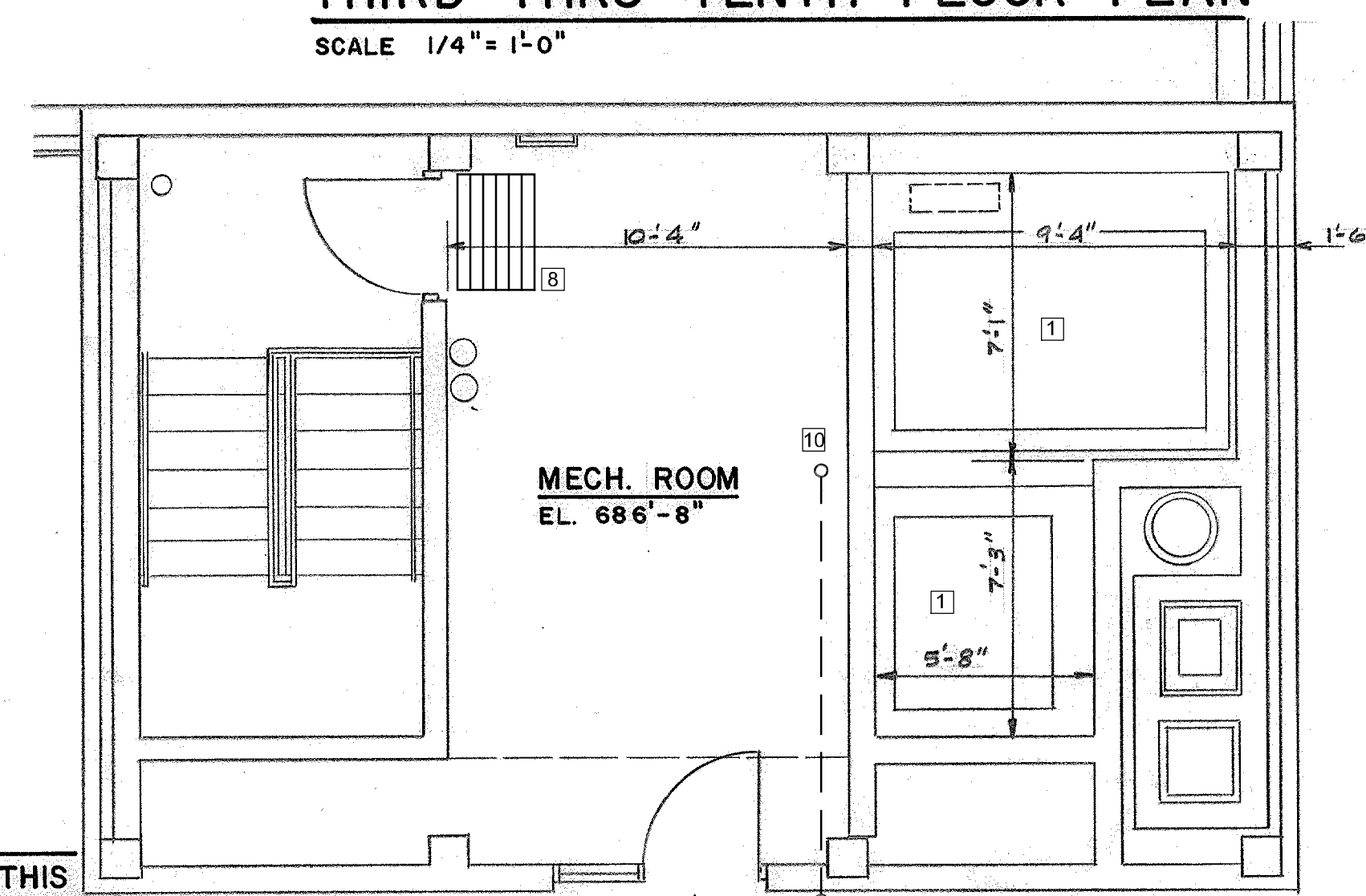
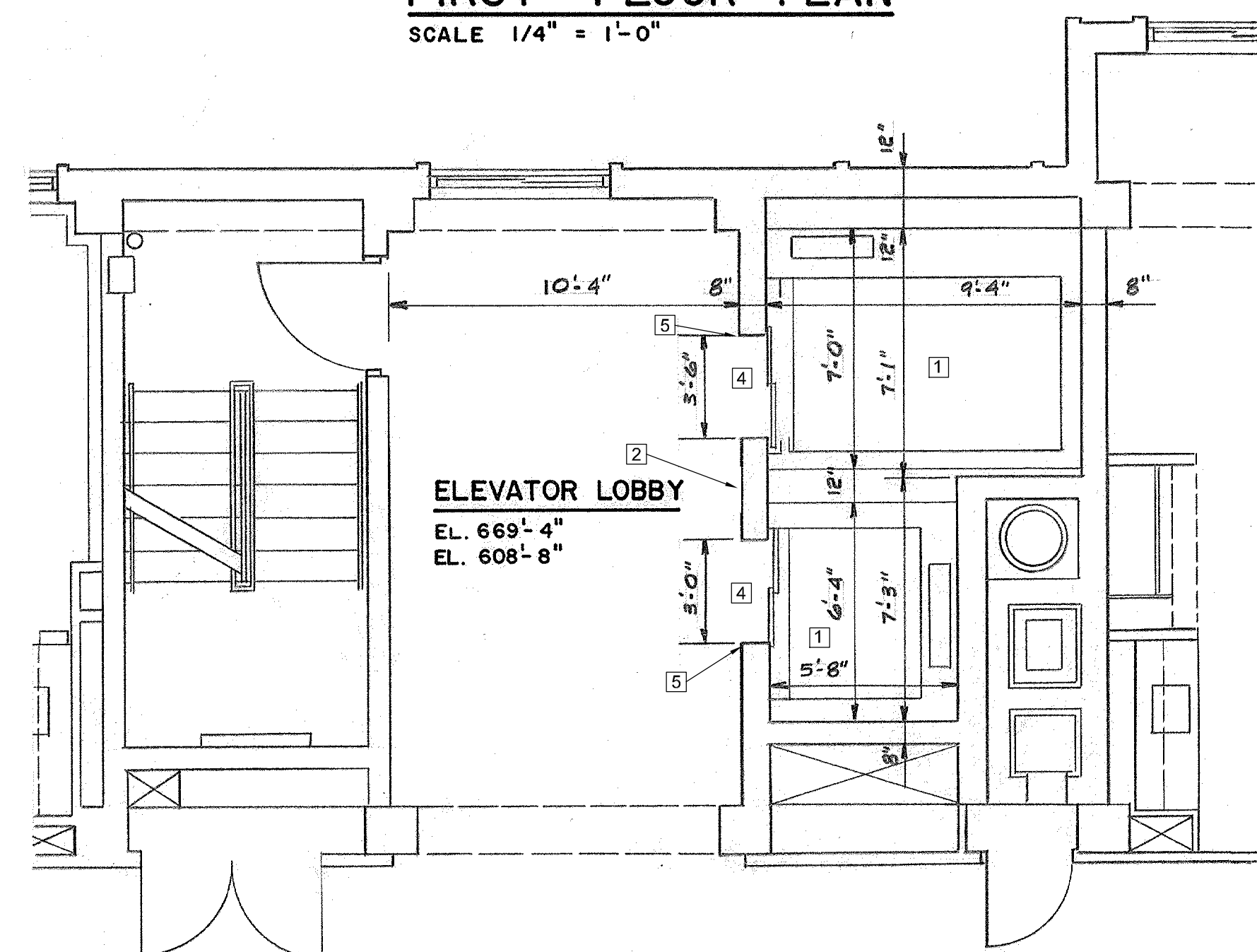
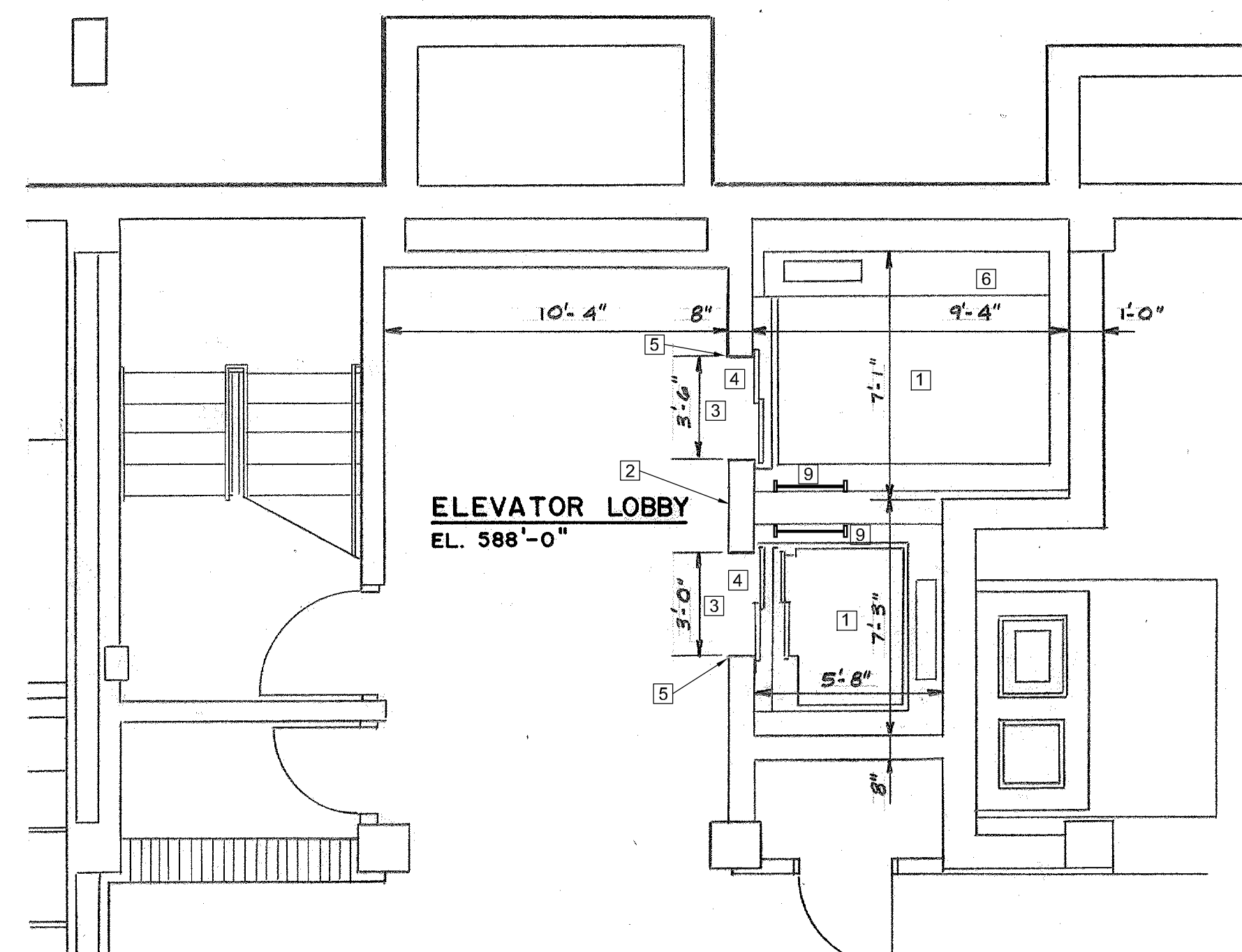
**COVER
SHEET**

DWG. NO.

G001



N O T E
ALL INFORMATION ON THIS
SHEET REPRESENTS EXISTING
CONDITIONS



KEYED DRAWING NOTES

- 1 EXISTING ELEVATOR CAB TO REMAIN, PROVIDE NEW INTERIOR FINISHES, SEE SPEC. 14210
- 2 NEW ELEVATOR CONTROLS, SEE SPEC. 14210 - BASE BID "B" CONTRACTOR TO SAND, POLISH AND CLEAN EXISTING STAINLESS STEEL PANEL AS REQUIRED
- 3 NEW CAR POSITION INDICATOR ABOVE ELEVATOR DOOR, 1ST AND 2ND FLOORS ONLY, SEE SPEC. 14210
- 4 EXISTING ELEVATOR DOORS TO REMAIN - BASE BID "B" CONTRACTOR TO SAND AND REPAINT, COLOR TO MATCH EXISTING
- 5 EXISTING ELEVATOR DOOR FRAMES TO BE REPAINTED, MATCH EXISTING FINISH, VERIFY AT PROJECT SITE - EXISTING STAINLESS STEEL JAMBS TO BE SANDED, POLISHED AND CLEANED AS REQUIRED - BASE BID "B"
- 6 PROVIDE NEW SUMP PUMP IN EXISTING ELEVATOR PIT, FIELD VERIFY CONNECTION TO EXISTING PLUMBING DRAINAGE SYSTEM
- 7 SEE DETAIL 1/A102 FOR REVISIONS TO ELEVATOR ELECTRICAL SERVICE
- 8 EXISTING STEEL LADDER TO REMAIN
- 9 REMOVE EXISTING PIT ACCESS LADDER, PROVIDE NEW 2'-0" WIDE (MIN.) CODE COMPLIANT STEEL ACCESS LADDER FOR EACH SIDE OF ELEVATOR PIT
- 10 BASE BID "B" CONTRACTOR TO REMOVE EXISTING VENT PIPE THRU ROOF DOWN TO BELOW ELEVATOR EQUIPMENT ROOM FLOOR AND INSTALL NEW VENT PIPE OFFSET UNDER ELEVATOR EQUIPMENT ROOM FLOOR AND THRU EXTERIOR WALL AND UP WALL.



- 1 EXISTING ELEVATOR MACHINES AND CABLES TO REMAIN. REPAIR AND CLEAN AS REQUIRED, SEE SPEC. 14210
- 2 EXISTING VENT PIPE TO BE REMOVED, SEE DRAWING A101 - FILL HOLES AT ROOF AND CEILING WITH EPOXY REPAIR MORTAR EQUIV. TO "TAMMSPATCH II" BY EUCLID CHEMICAL CO. - BASE BID "B"
- 3 BASE BID "B" CONTRACTOR TO REMOVE EXISTING PLYWOOD, INFILL OPENING WITH 3 5/8"-20 GA. METAL STUDS @ 16" O.C. AND (2) LAYERS 5/8" TYPE "X" GYP. WALLBOARD FOR 1 HOUR RATING - PAINT FINISH TO MATCH EXISTING, VERIFY AT PROJECT SITE
- 4 EXISTING ELECTRICAL RECEPTIONAL TO BE REPLACED WITH NEW GFCI RECEPTACLE - (2) LOCATIONS - BASE BID "B"
- 5 INSTALL NEW LED LIGHT FIXTURE EQUIV. TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH. CONNECT TO NEARBY EXISTING LIGHT CIRCUIT IN ELEVATOR EQUIPMENT ROOM - BASE BID "B"
- 6 EXISTING ELECTRICAL JUNCTION BOX AND THERMOSTAT TO BE REMOVED AND REINSTALLED AS REQUIRED - BASE BID "B"
- 7 REMOVE EXISTING AIR CONDITIONING UNIT - INSTALL NEW 18,000 BTU, 120V, 20A THRU WALL AIR CONDITIONING UNIT - BASE BID "B" CONTRACTOR
- 8 REPLACE EXISTING FLUORESCENT LIGHT FIXTURE WITH NEW LED LIGHT FIXTURE EQUIV. TO: LITHONIA CLX-L48-4000LM-SEF-RDL-120-40K-80CRI-WH - BASE BID "B" CONTRACTOR