

## ADDENDUM

Client: Quincy Public School District #172

Project Name: Health Life Safety Work: Replace Plumbing Fixtures In Girls Locker Room At Quincy Junior High

Project Number: 5776

Addendum Number: 01

Issued: 03-05-2019

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This addendum becomes a part of the bidding and contract documents and modifies the drawings and specifications dated **February 13, 2019**. Acknowledge receipt of this addendum by noting such on the Contractor's Proposal (Bid) Form.

### FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION

This addenda and all future addendums with a Plan Holders List will be also be posted on the website of Architechnics, Inc. and updated daily. Check the Current Projects tab on the site: [www.architechnicsinc.com](http://www.architechnicsinc.com)

ITEM	DESCRIPTION	NOTES
<b>SUBSTITUTIONS ((ACCEPTED))</b>		
Sheet A2.0		<u>Hardware Substitutions Accepted:</u>
		Hinges - PBB BB45 series
		Lockset - PDQ GT Series
		Closer - PDQ 7100 series
		<u>Toilet/Shower Accessories:</u>
		Mirror - AJW U700 Series
		Grab Bars - AJW UG3-A
		Shower Seat - AJW U928

### DRAWINGS:

A1.0	Modify	Drawing (1/A1.0) Revision to location of accent walls, addition of accent paint to lavatory wall.
A1.0	Add	Drawing (4/A1.0) Added Ceiling detail to close off the plaster ceiling that was modified for access to build the fire wall.
A1.0	Clarify	<b>Keyed Note 18</b> - Approximate square footage of plaster repair was clarified.
A1.0	Add	<b>Keyed Note 20</b> - Drywall ceiling note added to shut off the area that was made for access to build the fire wall.

A2.0	Modify	Drawing (10/A2.0) addition of accent paint. Drawing (12/A2.0) revised accent wall
A1.0, P1.0, E1.0	Add	Contractors are responsible for coordinating removal and reinstallation of existing ceiling supports and tile in rooms below as required for demolition and new work as part of this project.
P2.0	Add	Keyed notes added to Drawings P2.0.
This addendum consists of 2 pages; current Plan Holders List; Pre-Bid Attendance Record; Pre-Bid Meeting Minutes; Drawings A1.0, A2.0, P2.0.		

# **RECORD OF PLANS AND SPECIFICATIONS**

PAGE NO. One

NAME OF PROJECT

Health Life Safety Work:

Replace Plumbing Fixtures in Girls Locker Room at: Quincy Junior High School

PROJECT NO. 5776DATE BIDS DUE Tuesday, March 12, 2019DEPOSIT \$150.00

TIME AND PLACE OF LETTING

4:00 PM Architechnics, Inc

510 Maine Street - Floor 10, Quincy, IL

\*\*\* Indicates Potential Bidding Contractor

Pre-Bid Meeting: 3:30pm 2/27/19

CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED
Architect	#1				
Owner	#2				
*** Fischer Builders, Inc. 814 Ohio Quincy, IL 62301 217-222-4322 Fax 217-222-2393 ryan@fischerbuilders.com	#3	2/18/2019			
Prairie State Plumbing & Heating 1499 West State Route 29 Athens, IL 62613 217-636-9000 Fax: 217-636-8927 elegg@prairiestateinc.com	D	2/20/2019			
Construct Connect 3825 Edwards Road, STE. 800 Cincinnati, OH 45209 800-364-2059 brittany.murdock@constructconnect.com	D	2/19/2019			
*** Waterkotte Construction 2630 Wisman Lane Quincy, IL 62305 217-222-5413 Fax 217-222-9155 Jterwelp@waterkotteconstinc.com	D	2/19/2019			
Vinson & Sill, Inc PO Box 74 Lima, IL 62348 217 985-5100 Fax: 217 985-4900 vinsil@adams.net	D	2/19/2019			
*** Laverdiere Construction 4055 W. Jackson Macomb, IL 61455 309-837-1258 Fax 309-833-4993 mlynn@lavconinc.com	D	2/19/2019			
Brinkman Plumbing Co. 2510 Ellington Rd. Quincy, IL 62301 217 223-1962 Fax: 217 223-1972 janderson@brinkmanplumbing.com	#4	2/20/2019			
M.E. Mechanical 2501 Ellington Rd Quincy, IL 62305 217-242-0395 eric@memechanicalllc.com	D	3/1/2019			

# **RECORD OF PLANS AND SPECIFICATIONS**

PAGE NO. Two

NAME OF PROJECT

Health Life Safety Work:

Replace Plumbing Fixtures in Girls Locker Room at: Quincy Junior High School

PROJECT NO.

DATE BIDS DUE

3/12/19 4:00 PM

DEPOSIT:

\$150.00

CONTRACTOR NAME ADDRESS/PHONE/EMAIL	COPY NO.	DATE RECEIVED	DATE RETURNED	DEPOSIT RECEIVED	DEPOSIT RETURNED
Sparrow Plumbing 313 Delaware Quincy, IL 62301 217 223-9289 Fax: 217 223-9880 bird@adams.net	D	3/4/2019			
Doors N More 255 S 36th St #300 Quincy, IL 62301 217-223-6677  nick@doorsnmore.net	D	3/4/2019			
Dodge Data & Analytics 4300 Beltway Place, STE #180 Arlington, Texas 888-667-8198  charisse.riley@construction.com	D	3/5/2019			

# ARCHITECHNICS

architects • engineers • interior designers

## ATTENDANCE RECORD

Client: Quincy Public School District #172

Project Name: Health Life Safety Work: Replace Plumbing Fixtures In Girls Locker Room at Quincy Junior High School

Project Number: 5776

Meeting Description: Pre-Bid meeting and walk through.

Date: 02/27/2019

Time: 3:30 p.m.

### Attendants

Name & Title	Representing	Email	Phone
Chris Clark	Architechnics	<a href="mailto:cclark@architechnicsinc.com">cclark@architechnicsinc.com</a>	217-222-0554
Issac Miller	Architechnics	<a href="mailto:imiller@architechnicsinc.com">imiller@architechnicsinc.com</a>	217-222-0554
Nick Willer	Doors-N-More	<a href="mailto:Nick@doorsnmore.net">Nick@doorsnmore.net</a>	217-223-6677
James J Brinkman	Brinkman PL	<a href="mailto:jbrinkman@brinkmanpl.com">jbrinkman@brinkmanpl.com</a>	217-223-1962
Chasson Gardner	Vinson & Gill, Inc	<a href="mailto:cgardner@gmail.com">cgardner@gmail.com</a>	217-985-5100
Ed Clegg	Prairie State	<a href="mailto:eclegg@prairiestateinc.com">eclegg@prairiestateinc.com</a>	217-636-9000
Jack Terwelp	Waterkotte Const.	<a href="mailto:jterwelp@waterkotteconst.com">jterwelp@waterkotteconst.com</a>	217-222-5413
DAVE Womble	QPS	<a href="mailto:womble4@QPS.org">womble4@QPS.org</a>	779-9770
Dan Barnes	QPS	<a href="mailto:barnesd@qps.org">barnesd@qps.org</a>	683-4493
Ryan Fischer	Fischer Const		
Rick Owsley	QJHS		217-440-4951
John Howard	Peters/NOI	<a href="mailto:jhoward@petersnoi.net">jhoward@petersnoi.net</a>	217-222-1260

## **MEETING MINUTES**

Client: Quincy Public Schools

Project Name: Health Life Safety Work: Replace Plumbing Fixtures in Girls Locker Room at  
Quincy Junior High School

Project Number: 5776

Date: 02/27/2019

## **MEETING SUMMARY:**

Meeting Description: Pre-Bid Meeting and Walk Through

Meeting Location: Girls Locker Room

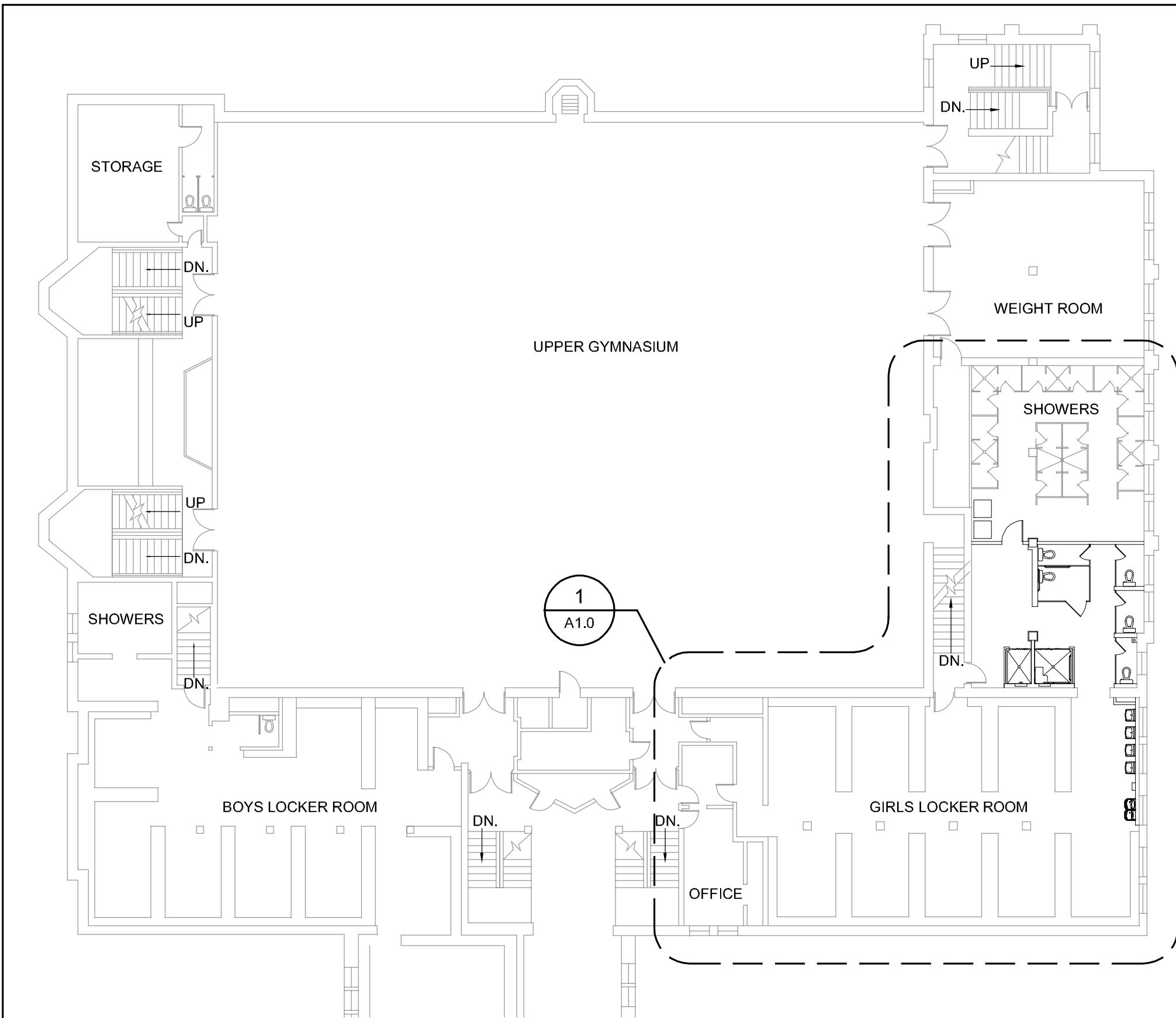
Meeting Time: 3:30 p.m.

Attachments Included: N/A

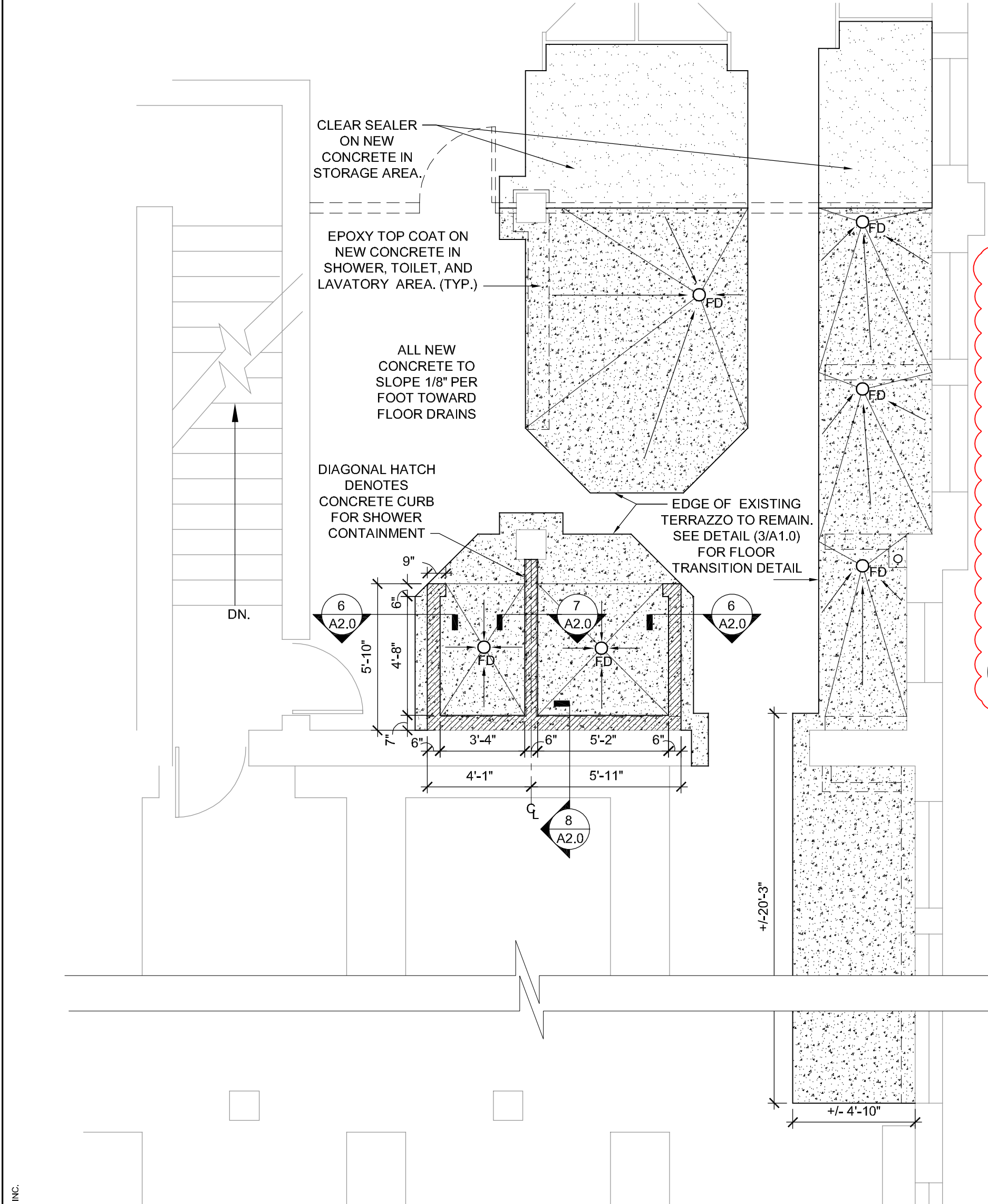
## **SUMMARY**

1. Architechnics to verify the square footage of plaster repair work.
2. Dumpster location will either be on Jersey Street or in the parking lot north of the Gym. QPS will coordinate with contractor as the construction date gets closer.
3. Terrazzo removal was explained in detail to give the bidder a better understanding of the task.
4. Contractors toured the remodeled areas and rooms below.

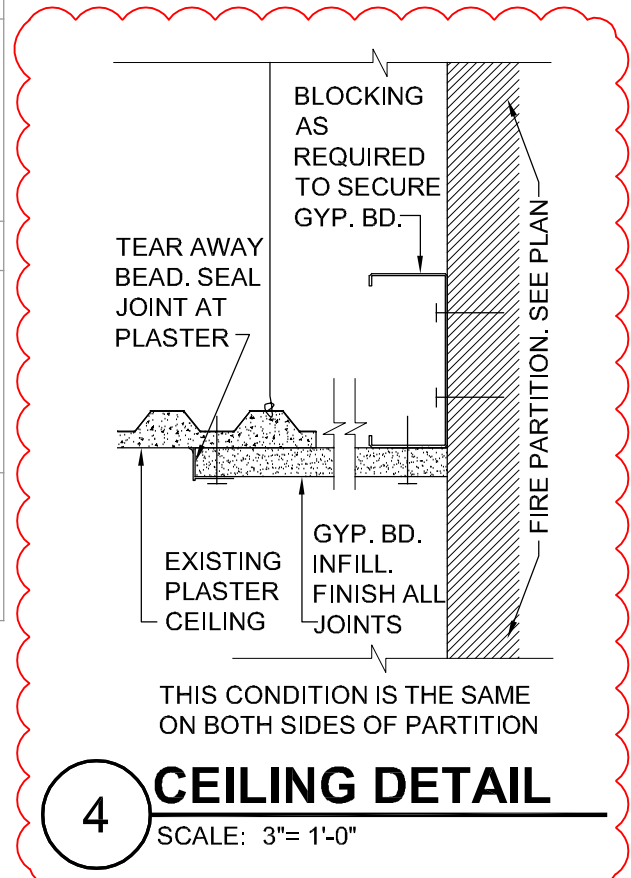




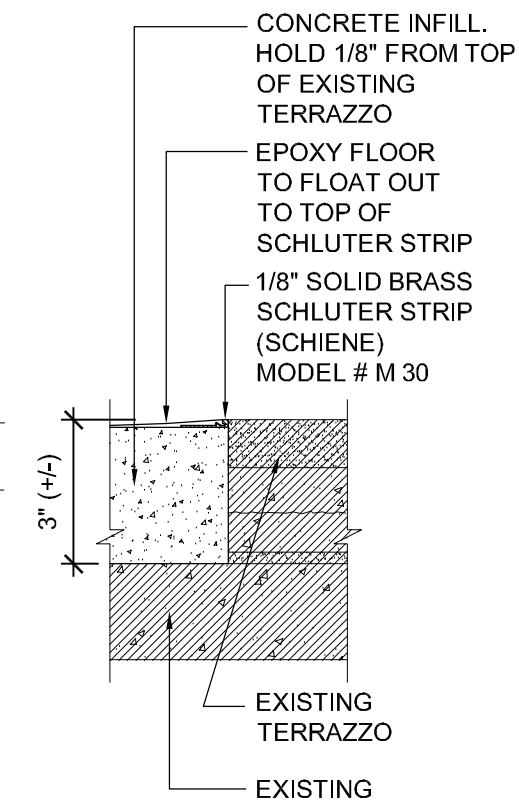
**OVERALL GYMNASIUM WING FLOOR PLAN**  
SCALE: 1/16"= 1'-0"



**2 CONCRETE AND EPOXY TOPCOAT PLAN**  
SCALE: 1/4"= 1'-0"



**4 CEILING DETAIL**  
SCALE: 3"= 1'-0"



**3 NEW FLOOR TRANSITION DTL**  
SCALE: 3"= 1'-0"

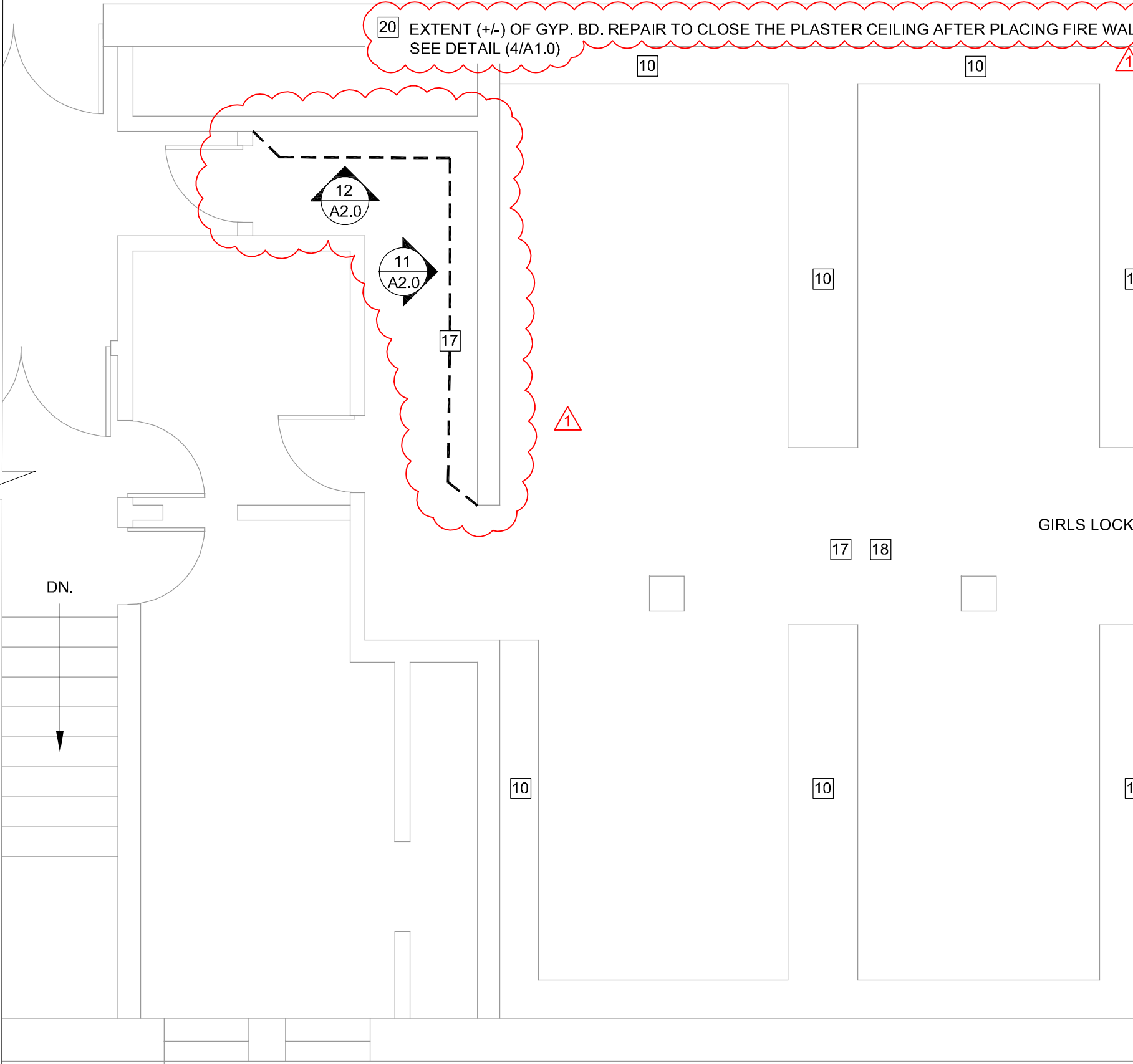
WALL PARTITION TYPES			NOTE: MOISTURE RESISTANT GYPSUM BOARD IS TO BE USED IN THE SHOWER, TOILET AND LAVATORY AREA.		
SYMBOL	DETAIL	DESCRIPTION	SYMBOL	DETAIL	DESCRIPTION
	(UL U419)  (1) LAYER 5/8" GYPSUM WALLBOARD, EACH FACE TO DECK  3 5/8" MTL STUDS AT 16" O.C. TO DECK	<b>TYPE "A"</b> AS DETAILED  <b>TYPE "A1"</b> - 3 5/8" MTL STUD TO THE HEIGHT OF THE EXISTING EXTERIOR WINDOW SILL. GYP. BD. ON BOTH SIDES. ADD FRP TO BOTH SIDES		(1) LAYER 5/8" GYPSUM WALLBOARD, EACH FACE  6" MTL STUDS AT 16" O.C.	<b>TYPE "B"</b> - 6" MTL STUD TO THE HEIGHT OF THE EXISTING EXTERIOR WINDOW SILL. GYP. BD. ON BOTH SIDES
	FURRING WALLS  (1) LAYER 5/8" GYPSUM WALLBOARD  7/8" HAT CHANNEL AT 16" O.C. 6" ABOVE LAY-IN CLNG.  EXISTING COLUMN/ WALL	<b>TYPE "C"</b> AS DETAILED  <b>TYPE "C1"</b> - 3 5/8" MTL STUD FURRING TO 6" ABOVE LAY-IN CEILING. GYP. BD. ON ONE SIDE <b>TYPE "C2"</b> - 6" MTL STUD FURRING TO 6" ABOVE LAY-IN CEILING. GYP. BD. ON ONE SIDE <b>TYPE "C3"</b> - SAME AS "C1" BUT TAKE WALL TO PLASTER CLNG. <b>TYPE "C4"</b> - 6" MTL STUD TO 6" ABOVE LAY-IN CEILING. GYP. BD. ON ONE SIDE W/ F.R.P. <b>TYPE "C5"</b> - 6" MTL STUD. GYP. BD. ON ONE SIDE. SEE ELEVATION (10/A2.0) FOR HGT.		HORIZONTAL BRACE  (1) LAYER 5/8" GYPSUM WALLBOARD, EACH FACE  3 5/8" MTL STUDS AT 16" O.C.	MTL STUD WALL TO THE HEIGHT OF THE EXISTING EXTERIOR WINDOW SILL

**INTERIOR FINISH SPECIFICATIONS**

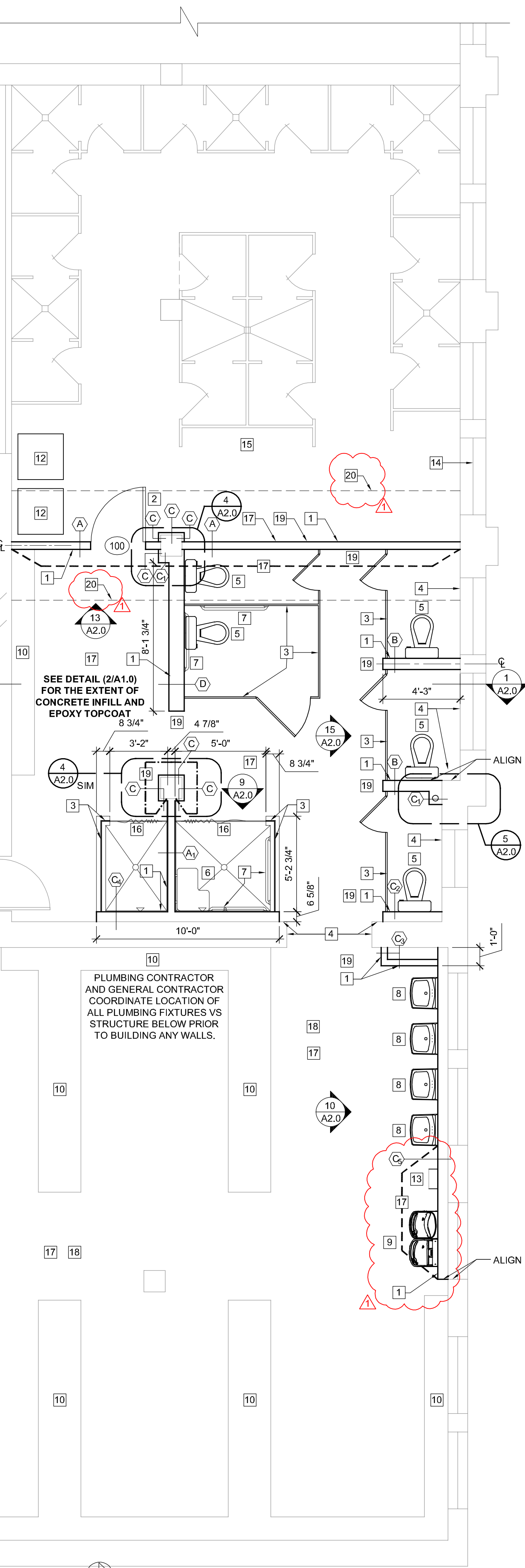
- ACOUSTIC CEILING TILE**  
**ACT-1**  
MFG: ARMSTRONG  
STYLE: CERAMAGUARD  
NO: 605  
(UNPERFORATED)  
EDGE: 15/16" SQUARE  
SIZE: 24"x24"  
COLOR: WHITE
- SUSPENSION SYSTEM:**  
MFG: ARMSTRONG  
STYLE: PRELUDE PLUS XL  
MATERIAL: ALUMINUM  
GRID SIZE: 15/16"  
GRID COLOR: WHITE  
TRIM: AXIOM 2" CLASSIC,  
SEE ELEVATION  
REP: KEEGAN CRAWFORD  
717.396.3159
- PAINT**  
**P1 (WALLS)**  
MFG: SHERWIN WILLIAMS  
COLOR: PANDA WHITE  
NO: SW 6147
- P2 (GYP. CEILINGS)**  
MFG: SHERWIN WILLIAMS  
COLOR: GREEK VILLA  
NO: SW7551  
FINISH: FLAT
- P3** BLUE ACCENT  
MFG: SHERWIN WILLIAMS  
COLOR: TBD  
NO: TBD
- P4** YELLOW ACCENT  
MFG: SHERWIN WILLIAMS  
COLOR: TBD  
NO: TBD
- P5** GRAY ACCENT  
MFG: SHERWIN WILLIAMS  
COLOR: LINK GRAY  
NO: SW 6200
- RESINOUS FLOORING**  
**RES-1**  
MFG: SHERWIN WILLIAMS  
STYLE: EPOXY  
COLOR: TBD  
REP: HANK MEINKING  
314.281.7485
- RUBBER COVE BASE**  
**RCB-1**  
MFG: JOHNSONITE  
STYLE: 4" COVE  
COLOR: TBD  
REP: MIKE GRIGAITIS  
773.354.5424

**FLOOR PLAN KEYED NOTES**

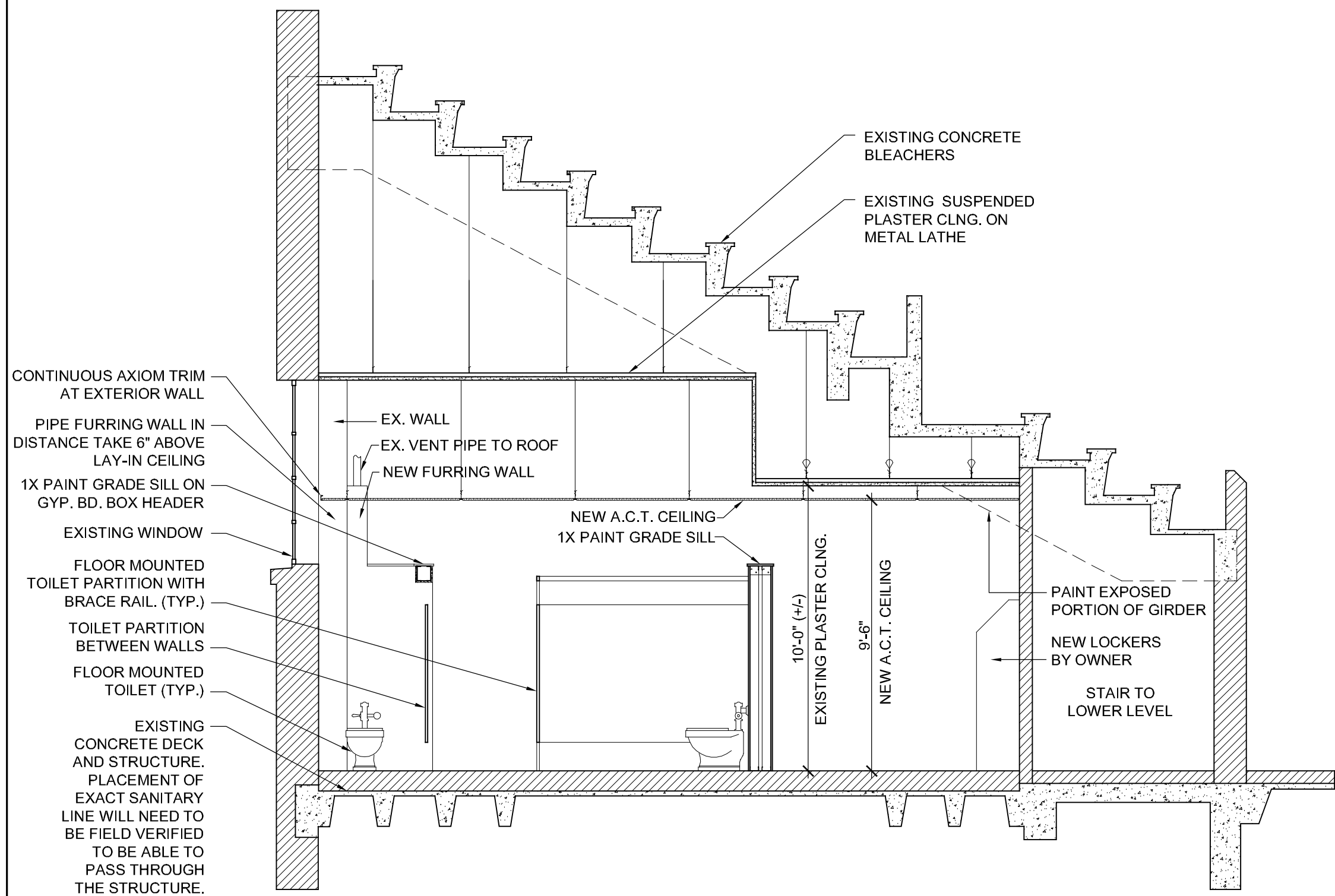
- NEW GYPSUM BOARD PARTITION. SEE PARTITION KEY FOR CALLOUT.
- NEW HOLLOW METAL DOOR AND FRAME. FRAME AND DOOR TO BE PAINTED (P1). SEE DOOR SCHEDULE FOR DESCRIPTION.
- NEW TOILET PARTITION WITH OVERHEAD BRACE
- CLEAN AND REPAIR PLASTER ON WALLS WHERE TERRAZZO WAS REMOVED. PAINT.
- NEW FLOOR MOUNTED TOILET WITH FLUSH VALVE. SEE PLUMBING
- NEW ADA SHOWER SHOWER SEAT SECURED TO WALL.
- NEW GRAB BARS. 36", 42" HORIZONTAL AND 18" VERTICAL. SEE ELEVATION.
- NEW WALL MOUNTED LAVATORY. SEE PLUMBING
- NEW DUAL ADA DRINKING FOUNTAIN WITH BOTTLE FILLER. SEE PLUMBING
- LOCKERS BY OWNER (TYP.)
- REPAIR DAMAGED AREAS ON CEILING AND WALLS. CLEAN AND PAINT ALL PLASTER IN LOCKER ROOM PORTION. THIS INCLUDES WALLS, BEAMS, PIPING (NOT COPPER)
- WASHER AND DRYER BY OWNER. SEE PLUMBING
- EXISTING AUTOMATIC PAPER TOWEL DISPENSER RELOCATED.
- REMOVE EXISTING TOP SASH OF WINDOW AND GLAZING FOR MECHANICAL EXHAUST. REPLACE WITH MAPES PANEL.
- EXISTING TERRAZZO SHOWER STALLS TO REMAIN. (TYP.)
- NEW SHOWER CURTAIN AND HORIZONTAL SUPPORT BY TOILET PARTITION MANUFACTURER.
- ALL WALLS TO BE PAINTED (P1) WITH THE EXCEPTION OF ACCENT WALLS SHOWN W/ DASHED LINE. ANY LOOSE PLASTER MUST BE REPAIRED BEFORE PAINTING.
- ALL CEILINGS TO BE PAINTED (P2). ANY LOOSE PLASTER (APPROX. 300 SQUARE FEET) MUST BE REPAIRED BEFORE PAINTING.
- ALL GYP. WALLS TO RECEIVE RUBBER COVE BASE (RCB-1) WITH THE EXCEPTION OF SHOWER WALLS DETAILED ON SHEET A2.0. SEE PLAN FOR EXTENTS ON COLUMN.
- EXTENT (+/-) OF GYP. BD. REPAIR TO CLOSE THE PLASTER CEILING AFTER PLACING FIRE WALL. SEE DETAIL (4/A1.0)



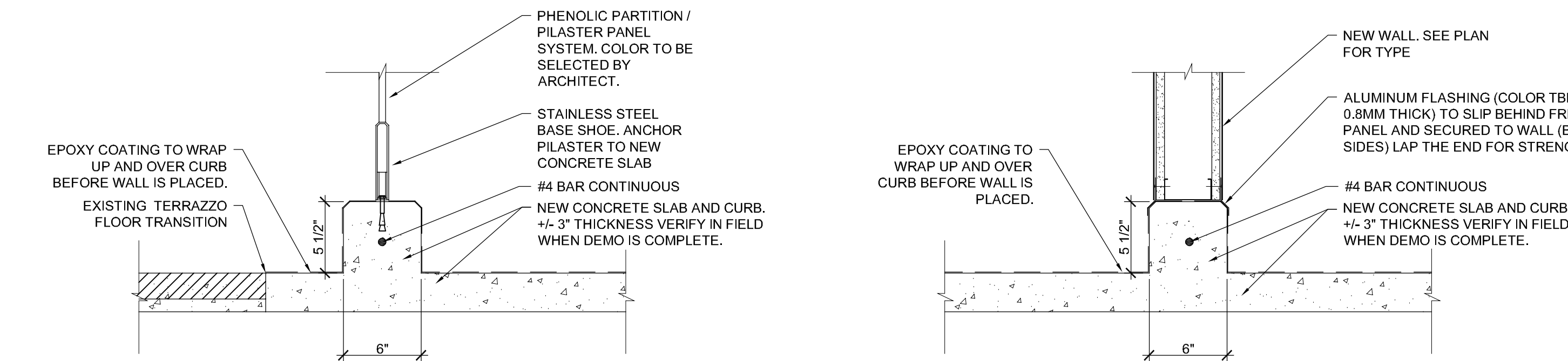
**1 ENLARGED GIRLS LOCKER ROOM FLOOR PLAN**  
SCALE: 1/4"= 1'-0"





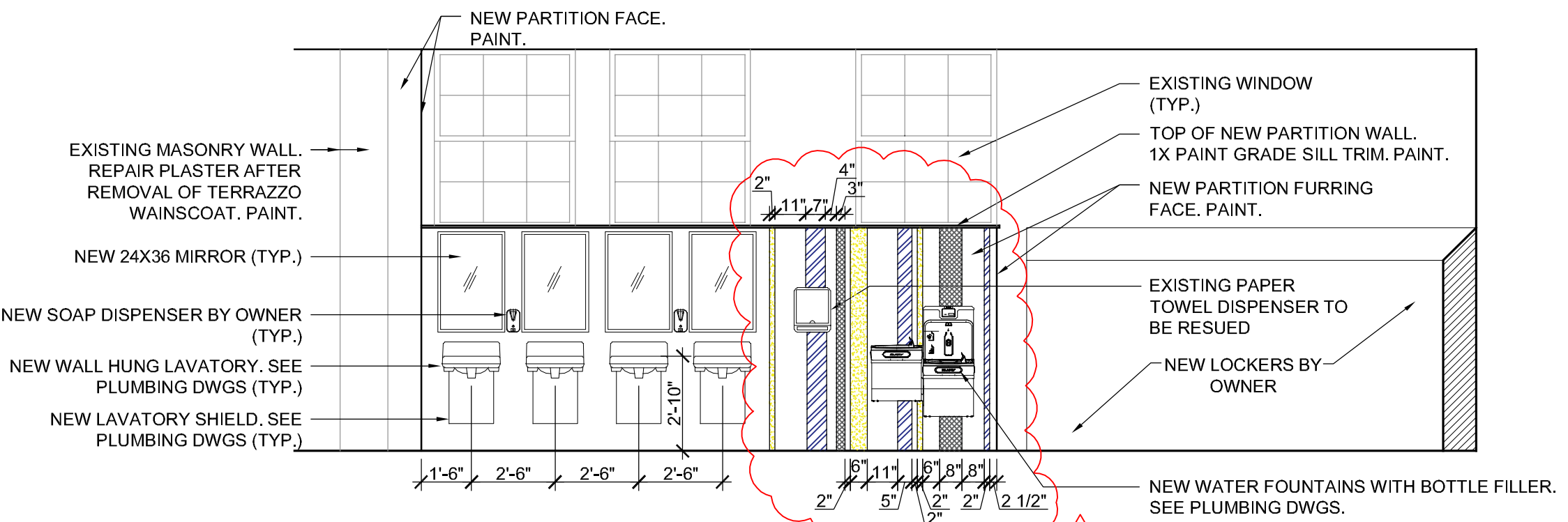


1 NORTH/SOUTH CROSS SECTION LOOKING EAST  
SCALE: 1/4" = 1'-0"

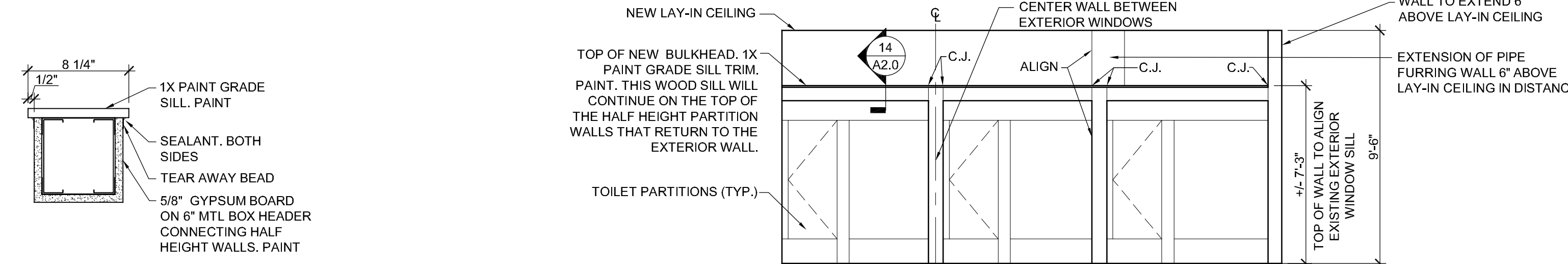


6 CONCRETE CURB DETAIL AT SHOWER PERIMETER  
SCALE: 1 1/2" = 1'-0"

7 CONCRETE CURB DETAIL AT SEPARATION WALL  
SCALE: 1 1/2" = 1'-0"



10 GIRLS LOCKER ROOM LAVATORY ELEVATION  
SCALE: 1/4" = 1'-0"

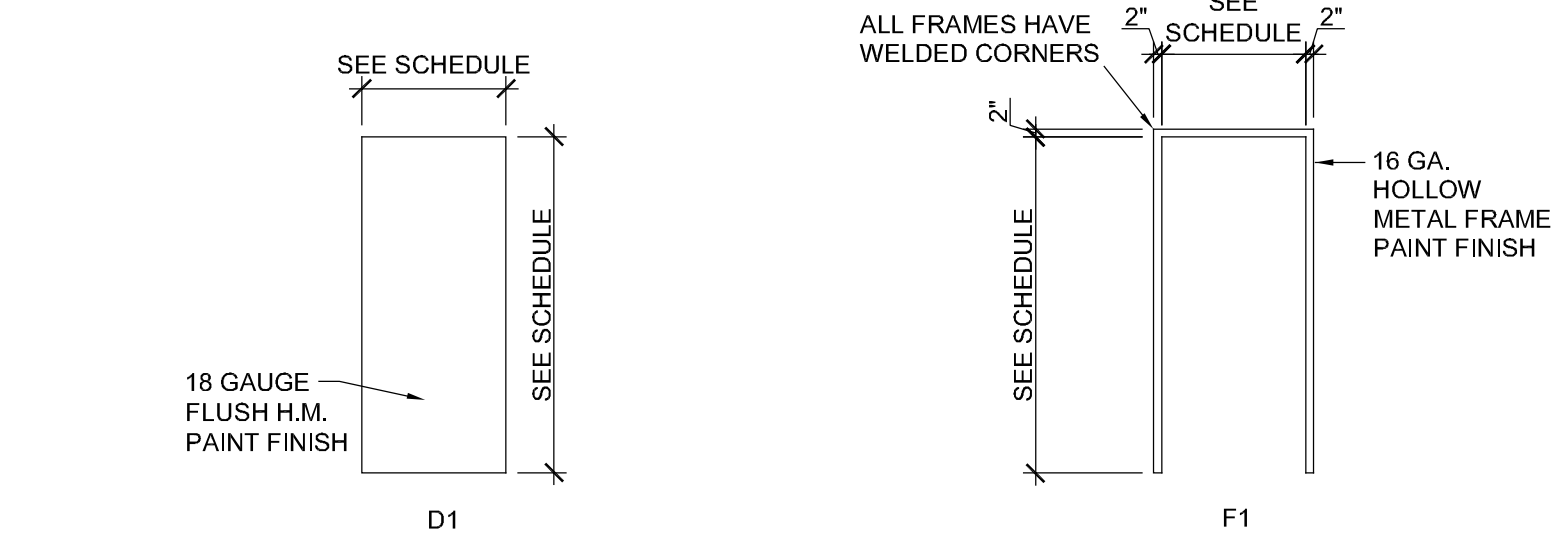


14 BULKHEAD DETAIL  
SCALE: 1 1/2" = 1'-0"

15 GIRLS LOCKER ROOM TOILET PARTITION WALL ELEVATION  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE												
MARK	SIZE			DOOR			FRAME			HARDWARE SET	REMARKS	MARK
	W	H	TH	TYPE / MATERIAL	FINISH	DETAIL	MATERIAL	FINISH	DETAIL			
100	3'-0"	7'-0"	1-3/4"	FHM-L	PAINT	D1	METAL	PAINT	F1	1	45 Minute Door and Frame	100

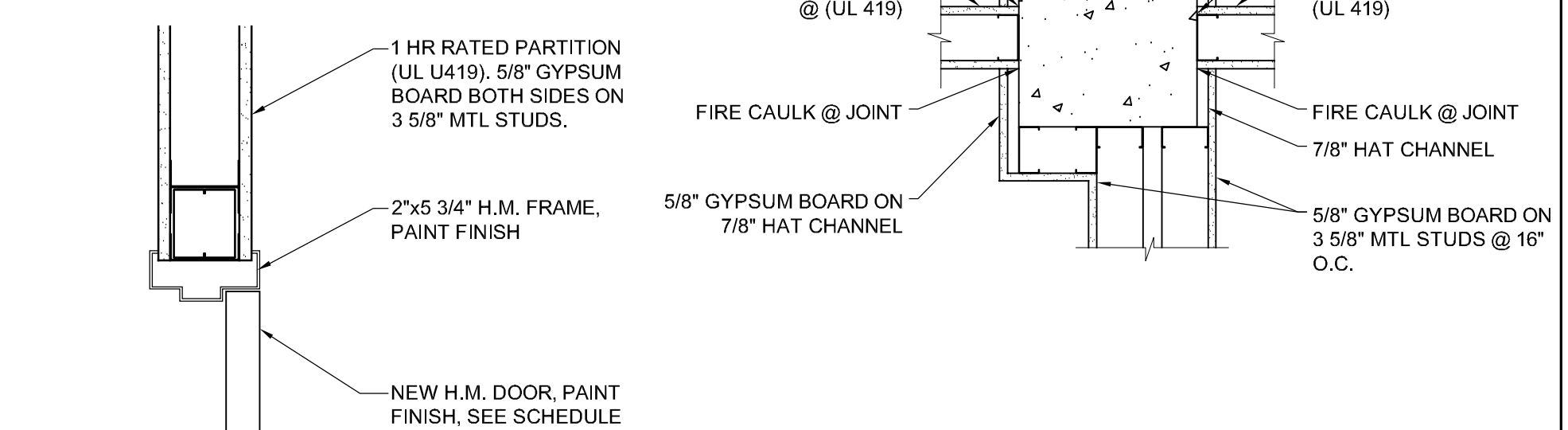
LEGEND - DOOR TYPE/MATERIAL  
FHM-L FLUSH HOLLOW METAL DOOR - LABELED



DOOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

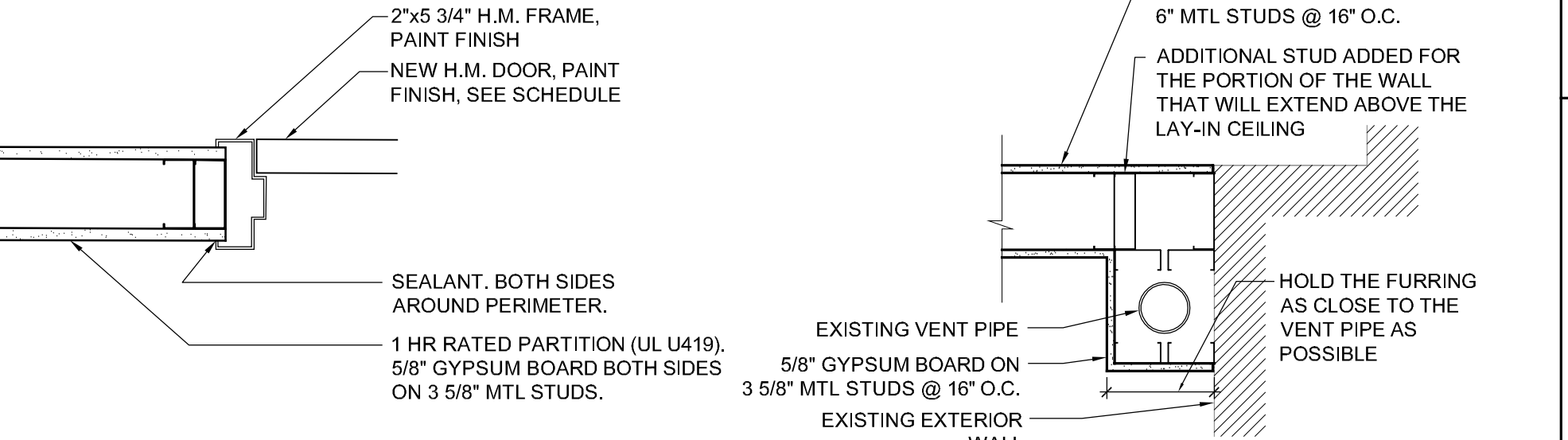
FRAME ELEVATIONS  
SCALE: 1/4" = 1'-0"

HARDWARE TYPES  
SET #1:  
A. HINGES: STANLEY FBB179  
B. LOCKSET: SCHLAGE ND-SERIES SPARTA ND10S (ANSI F75)  
C. CLOSER: NORTON CLP7500



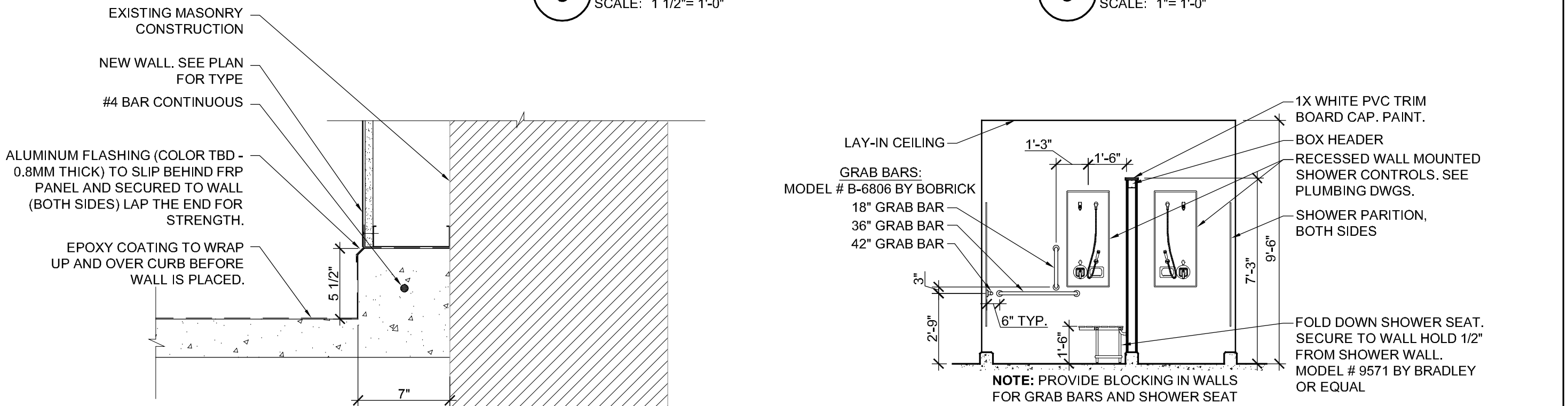
2 DOOR HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"

4 PLAN DETAIL  
SCALE: 1" = 1'-0"



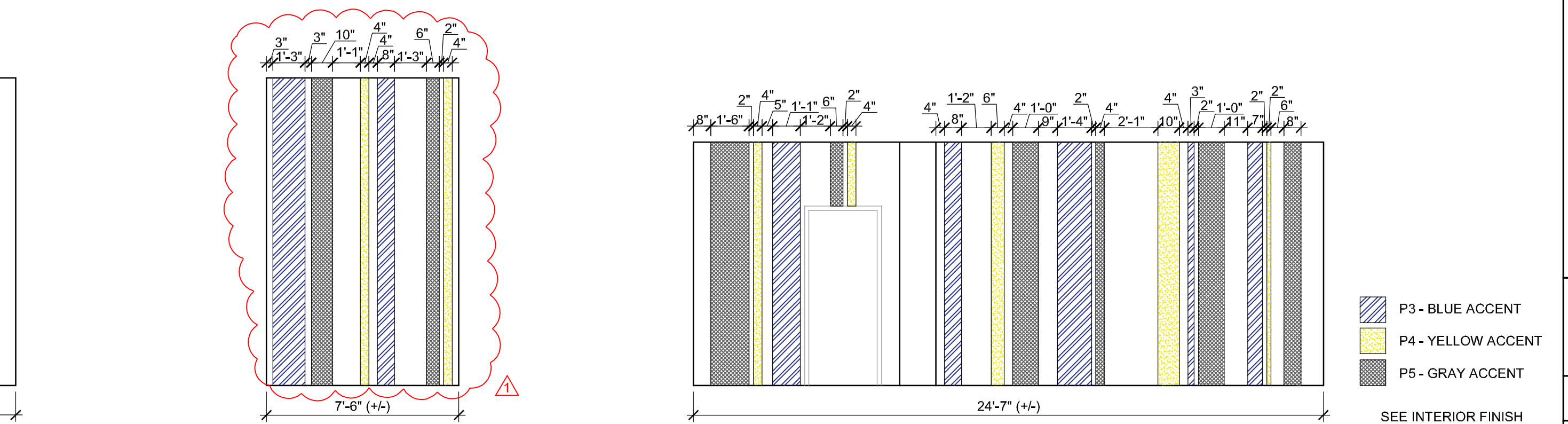
3 DOOR JAMB DETAIL  
SCALE: 1 1/2" = 1'-0"

5 PLAN DETAIL  
SCALE: 1" = 1'-0"



8 CONCRETE CURB DETAIL AT EXISTING WALL  
SCALE: 1 1/2" = 1'-0"

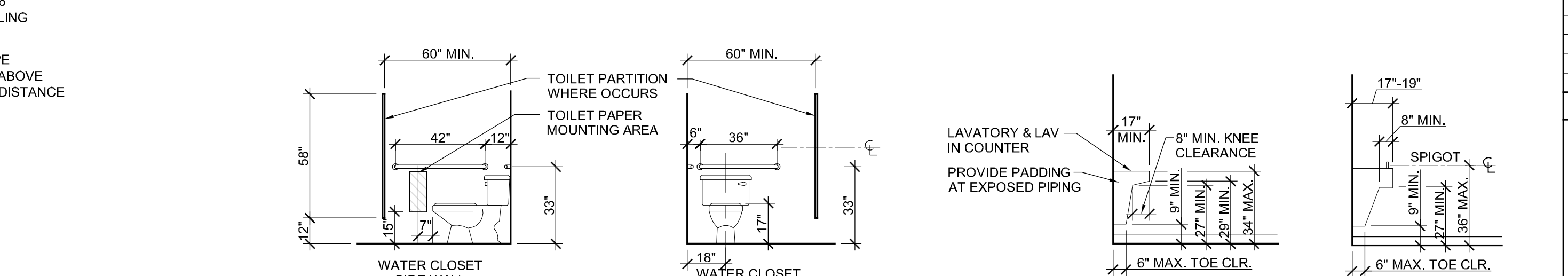
9 GIRLS LOCKER ROOM SHOWER ELEVATION  
SCALE: 1/4" = 1'-0"



11 ACCENT WALL ELEVATION  
SCALE: 1/4" = 1'-0"

12 ACCENT WALL ELEVATION  
SCALE: 1/4" = 1'-0"

13 ACCENT WALL ELEVATION  
SCALE: 1/4" = 1'-0"



16 TYPICAL PLUMBING FIXTURE MOUNTING HEIGHTS  
SCALE: 1/4" = 1'-0"



